

PLANNING MEMORANDUM

1600 E. South Weber Drive
South Weber, UT 84405

www.southwebercity.com

801-479-3177
FAX 801-479-0066

To: Planning Commission
From: Trevor Cahoon, Community Services Director;
Re: Public Hearing and Action on: Kastle Cove Phase 1

Project Information	
Project Name	Kastle Cove Phase 1
Site Location	1050 E Lester Drive
Tax ID Number	Multiple
Applicant	Layne Kap
Owner	Multiple
Proposed Actions	Preliminary Plan, Rezone,
Current Zoning	A, R-M
General Plan Land Use Classification	R-M
Rezone Requested	R-M
Gross Site	Approx 4.194
Lots Requested	9
Units Per Acre	2.15

ACTION

Administrative Action: Consider approval of Preliminary Plat, and consider recommendation of approval of rezone and development agreement.

ITEMS FOR PLANNING COMMISSION REVIEW

- **Preliminary Plat.** Preliminary Plat Items to Consider:
 - *Legal Description:* This has been supplied
 - *Subdivision Name:* The Subdivision name appears on the plat and is consistent with the application that has been submitted.
 - *Lot Sizes and Orientation:* Complete.
 - *Parcel Numbers or Lot Numbers of Surrounding Properties:* When recording the plat, it is necessary to indicate the parcel identification numbers or the lot number for adjoining subdivisions. This plat includes this information.
 - *Right-of-Way (ROW) Dedication:* The ROW has been indicated on the drawings.
 - *Utility Easements:* The General Utility Easement required for property has been indicated on the plat.
 - *Signature Boxes:* Signature Boxes will be required for the Final Plat.
 - **Improvement Plans:** Developer has submitted improvement plans to be included in the submission.
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- **Development Agreement:** A portion of this project involves property that is currently in the possession of South Weber City. In order to secure the future connection of Lester Drive to 7375 S the City is willing to give our land to the Developer on the condition that this connection takes place.

The proposed project includes several important points that must be considered. One of the key points is the timing of the project. According to the agreement, the property will become the developer's once all the improvements are completed. This ensures that the developer will not take possession of the property until all the necessary infrastructure is in place.

The agreement also outlines the sequence of events that must take place once the subdivision, development agreement, rezone, and improvement plans have been approved. This includes a pre-construction meeting, the removal of DeLong's home, the construction of all underground infrastructure, the completion of surface improvements such as asphalt, curb, and gutter, the closing of the north section of 1025 E private road, and the establishment of escrow for the remaining public improvements. Once these steps have been completed, the deed and the plat will be recorded together, with the deed being recorded first. Building permits can then be issued upon the recording of the plat, and the remaining public improvements can be completed. Certificates of occupancy will be issued once the project is fully completed.

Another important aspect of the Development Agreement is the rezone. The agreement includes the rezone as part of the development agreement, ensuring that the project is in compliance with the city's zoning regulations. The project will also connect to existing pavement on 7375 S, and the development agreement will be valid for a term of five years.

Lastly, the agreement includes a reverter clause, which ensures that the property will revert to the city in the event that the developer fails to comply with the terms of the agreement. It is also important to note that the agreement does not supersede Title 10 and Title 11 of the city code, which are the local zoning and development regulations. Overall, the Development Agreement for this proposed project includes several important points that must be considered and implemented by the City Planner to ensure that the project is successful.

APPROVALS PREVIOUSLY GRANTED BY PLANNING COMMISSION

N/A

RECOMMENDATIONS PREVIOUSLY GRANTED BY PLANNING COMMISSION

N/A

STAFF REVIEW SUMMARY

City Staff has done a review of and have reviewed the following items:

Planning Review:

PL-1: **ZONING**

The primary current zoning for this project is Agriculture (A) a small portion of the project is currently zone Residential Moderate (R-M). The developer has requested a rezone for R-M which is consistent with the General Plan.

PL-2: PROJECT SIZE

The Project's approximately 4.194.

PL-3: LOT AREAS

Minimum lot area for R-M is 9000 sq ft. All lots are consistent with this requirement.

PL-4: LOT WIDTH

Minimum widths for R-M is maximum width of 80 feet for 25% of lots and minimum width of 100 feet for 25% of the lots with the average of all lots being more than 90 feet. The lots comply with this requirement.

PL-5: SETBACKS

Development will be able to accommodate all setback requirements with building permits.

PL-6: ACCESS

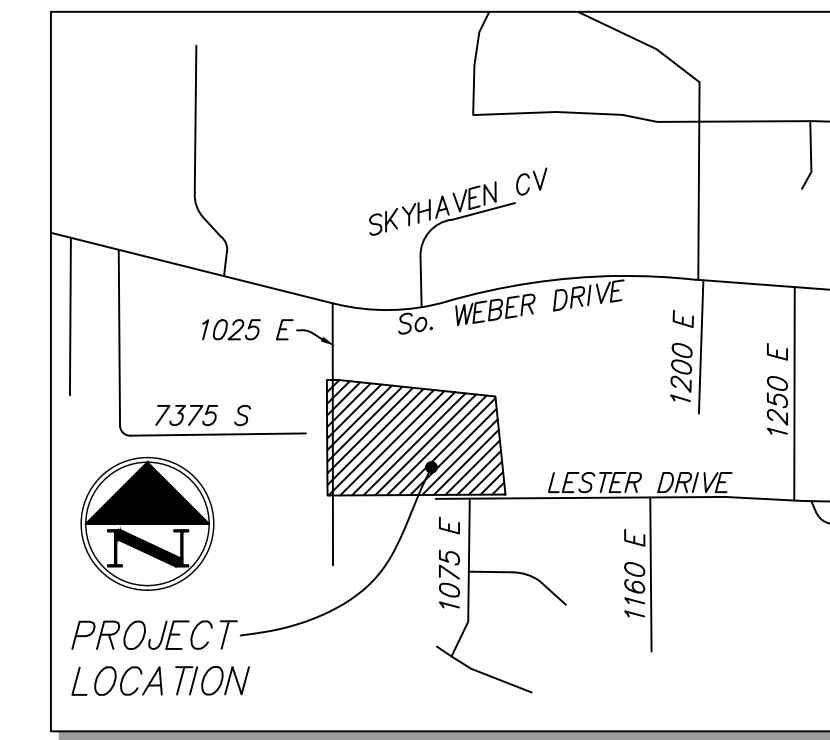
This development has impacts to cross access agreements found on private property. The inclusion of the road stub to the parcels on the south will accommodate access issues off of the Lester Drive extension.

PL-7: ROADS

Developer will be connecting Lester Drive to 7375 South. This will create a second egress opening up development opportunity in this area. Developer must complete this connection prior to any building permits being issued.

KASTLECOVE PHASE 1 SUBDIVISION

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST
SALT LAKE BASE & MERIDIAN
SOUTH WEBER, DAVIS COUNTY, UTAH
APRIL 18, 2023



INDEX OF DRAWINGS

#	SHEET	SHEET TITLE
1	CV1	COVERSHEET
2	GN1	GENERAL NOTES
3	---	PRELIMINARY PLAT
4	CT1	CONTEXT PLAN
5	SP1	SITE PLAN
6	UT1	UTILITY PLAN
7	GP1	GRADING & DRAINAGE PLAN
8	DT1	CROSS-SECTION & DETAILS

DEVELOPER

KASTLE ROCK EXCAVATION & DEVELOPMENT, LLC.
CONTACT: LAYNE KAP
(801) 479-3322

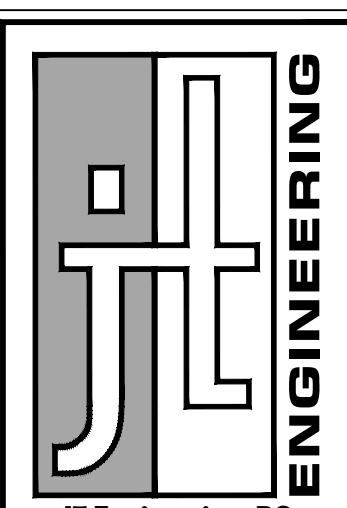
CIVIL ENGINEER

JT ENGINEERING, PC
7886 SOUTH 2325 EAST
SOUTH WEBER, UTAH 84405

CONTACT: JASON THOMPSON
(801) 866-7702

PROJECT DATA

ACREAGE SUMMARY	
LOTS:	3.973
PARCEL A:	0.099
PARCEL B:	0.109
PUBLIC R.O.W.	1.280
TOTAL AREA:	5.461



JT Engineering, PC
7886 South 2325 East
South Weber, Utah
ph 801.866.7702

FOR REVIEW



#	DATE	BY	DESCRIPTION

KASTLECOVE PHASE 1 SUBDIVISION
COVERSHEET
SOUTH WEBER, UTAH
PRELIMINARY SUBMITTAL

SHEET SIZE:	ARCH D
H. SCALE:	1" = 50'
V. SCALE:	N/A
DATE:	APRIL 18, 2023
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SHEET NO.
CV1
1 of 8

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A. GENERAL NOTES

1. ALL WORK DONE OR IMPROVEMENTS INSTALLED WITHIN SOUTH WEBER CITY INCLUDING BUT NOT LIMITED TO EXCAVATION, CONSTRUCTION, ROADWORK AND UTILITIES SHALL CONFORM TO THE SOUTH WEBER CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS, CITY MUNICIPAL CODE AND THE LATEST EDITION OF THE APWA MANUAL OF STANDARD SPECIFICATIONS AND MANUAL OF STANDARD PLANS, AND ANY STATE OR FEDERAL REGULATIONS AND PERMIT REQUIREMENTS OF VARIOUS GOVERNING BODIES. THE CONTRACTOR IS RESPONSIBLE TO HAVE A COPY OF THESE SPECIFICATIONS AND TO KNOW AND CONFORM TO THE APPROPRIATE CODES, REGULATIONS, DRAWINGS, STANDARDS AND SPECIFICATIONS.

2. THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR THE PROTECTION OF UTILITIES AND THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN ON THE PLANS OR NOT IN THE LOCATION SHOWN ON THE PLANS. THIS INCLUDES ALL SERVICE LATERALS OF ANY KIND. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCES, WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE. TO SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH.

3. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES, SURVEY MONUMENTS AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED SATISFACTORY TO THE CITY ENGINEER AND OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.

4. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.

5. PERMITS ARE REQUIRED FOR ANY WORK IN THE PUBLIC WAY. THE CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS CONSTRUCTION.

6. CURB, GUTTER, AND SIDEWALK, FOUND TO BE UNACCEPTABLE PER CITY STANDARDS AND APWA SHALL BE REMOVED AND REPLACED.

7. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. THE EXTENT OF TRANSITIONS TO BE AS SHOWN ON PLANS.

8. ANY SURVEY MONUMENTS DISTURBED SHALL BE REPLACED AND ADJUSTED PER SALT LAKE COUNTY SURVEYORS REQUIREMENTS.

9. ALL PRIVACY WALLS, NEW OR EXISTING, ARE ONLY SHOWN ON CIVIL PLANS FOR THE PURPOSE OF REVIEWING GRADING RELATIONSHIPS; FLOOD CONTROL AND SIGHT DISTANCE AT INTERSECTIONS. ALL WALLS SHALL HAVE A MINIMUM 2 FT X 30 INCH DEEP SPOT FOOTINGS. BOTTOM OF ALL FOOTINGS ON ALL WALLS SHALL BE A MINIMUM OF 30 INCHES BELOW FINISHED GRADE. WALLS GREATER THAN 6 FEET REQUIRE A SEPARATE PERMIT AND INSPECTION BY THE BUILDING DEPARTMENT.

10. ALL CONSTRUCTION MATERIALS PER APWA MUST BE SUBMITTED AND APPROVED BY THE CITY ENGINEER PRIOR TO THE PLACEMENT OF ASPHALT WITHIN CITY RIGHT OF WAY.

11. REQUEST FOR INSPECTION BY THE CITY OF SOUTH WEBER ENGINEERING DEPT. SHALL BE MADE BY THE CONTRACTOR AT LEAST 48 HOURS BEFORE THE INSPECTION SERVICES WILL BE REQUIRED.

12. WORK IN PUBLIC WAY, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.

13. THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION.

14. POWER POLES AND/OR OTHER EXISTING FACILITIES NOT IN PROPER LOCATION BASED ON PROPOSED IMPROVEMENTS SHOWN HEREON WILL BE RELOCATED AT NO EXPENSE TO THE CITY OF SOUTH WEBER. POWER LINES AND ALL OTHER AERIAL UTILITIES ARE TO BE BURIED AND POLES REMOVED AS DETERMINED BY THE CITY ENGINEER.

15. CURB AND GUTTER WITH A GRADE OF LESS THAN FOUR-TENTHS OF ONE PERCENT SHALL BE CONSTRUCTED BY FORMING. EACH JOINT SHALL BE CHECKED FOR A GRADE PRIOR TO CONSTRUCTION AND WATER TESTED AS SOON AS POSSIBLE AFTER CONSTRUCTION.

16. CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.

17. A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES AS PER STATE LAW AS WELL AS PROVIDING A STORM WATER POLLUTION PREVENTION PLAN TO THE CITY.

18. DEVELOPER IS RESPONSIBLE FOR LOCATING AND REPAIRING ALL UNDERGROUND STREETLIGHT WIRES, WATER LINES, STORM DRAIN LINES AND IRRIGATION LINES UNTIL 90% OF THE BOND HAS BEEN RELEASED.

19. ALL CITY MAINTAINED UTILITIES INCLUDING; WATERLINE, FIRE HYDRANTS, STREETLIGHT WIRING, AND STORM DRAIN MUST BE IN PUBLIC RIGHT OF WAY OR IN RECORDED EASEMENTS.

20. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN AS-BUILT DRAWINGS WHICH DEPICT ACTUAL FIELD LOCATIONS OF STORM DRAINAGE, WATERLINES, IRRIGATION, STREET LIGHTING, AND POWER.

21. ASPHALT PAVING BETWEEN OCTOBER 15 AND APRIL 15 IS NOT ALLOWED WITHOUT A WRITTEN EXCEPTION FROM THE ENGINEERING DEPARTMENT.

B. TRAFFIC NOTES

1. IF THE IMPROVEMENTS NECESSITATE THE OBLITERATION, TEMPORARY OBSTRUCTION, TEMPORARY REMOVAL OR RELOCATION OF ANY EXISTING TRAFFIC PAVEMENT MARKING, SUCH PAVEMENT MARKING SHALL BE RESTORED OR REPLACED WITH LIKE MATERIALS TO THE SATISFACTION OF THE CITY ENGINEER, PUBLIC WORKS DIRECTOR OR DESIGNEE.

2. THE STREET SIGN CONTRACTOR SHALL OBTAIN STREET NAMES AND BLOCK NUMBERING FROM THE PLANNING DEPARTMENT PRIOR TO CONSTRUCTION.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL PERMANENT SIGNS SHOWN ON THE PLANS. STREET NAME SIGNS SHALL CONFORM IN THEIR ENTIRETY TO CURRENT CITY STANDARDS. ALL OTHER SIGNS SHALL BE STANDARD SIZE UNLESS OTHERWISE SPECIFIED ON THE PLANS. ALL SIGN POSTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT CITY STANDARDS.

4. ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER. REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR PER APPROVED CONSTRUCTION DRAWINGS UNLESS APPROVED BY THE CITY ENGINEER.

5. BEFORE ANY WORK IS STARTED IN THE RIGHT-OF-WAY, THE CONTRACTOR SHALL INSTALL ALL ADVANCE WARNING SIGNS FOR THE CONSTRUCTION ZONE. THE CONTRACTOR SHALL INSTALL TEMPORARY STOP SIGNS AT ALL NEW STREET ENCROACHMENTS INTO EXISTING PUBLIC STREETS. ALL CONSTRUCTION SIGNING, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PER THE CURRENT EDITION ADOPTED BY UDOT AND BE APPROVED BY THE CITY OF SOUTH WEBER BEFORE CONSTRUCTION BEGINS.

C. STREET LIGHT NOTES, IF APPLICABLE

1. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT SOUTH WEBER CITY STANDARDS AND N.E.C. (NATIONAL ELECTRIC CODE). A STREET LIGHT PLAN SHOWING WIRING LOCATION, WIRING TYPE, VOLTAGE, POWER SOURCE LOCATION, CONDUIT SIZE AND LOCATION SHALL BE SUBMITTED TO THE CITY OF SOUTH WEBER AND BE APPROVED PRIOR TO CONSTRUCTION. NO DEVIATION OF STREETLIGHT, PULL BOXES, CONDUITS, ETC. LOCATIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE CITY ENGINEER OR HIS/HER REPRESENTATIVE.

2. LOCATION OF THE STREET LIGHT POLE.
A. SHALL NOT BE INSTALLED WITHIN 5 FEET OF A FIRE HYDRANT. THE LOCATION SHALL BE SUCH THAT IT DOES NOT HINDER THE OPERATION OF THE FIRE HYDRANT AND WATER LINE OPERATION VALVES.
B. SHALL BE A MINIMUM OF 5 FEET FROM ANY TREE, UNLESS WRITTEN APPROVAL IS RECEIVED FROM THE CITY ENGINEER. BRANCHES MAY NEED TO BE PRUNED AS DETERMINED BY THE ENGINEERING INSPECTOR IN THE FIELD AT THE TIME OF INSTALLATION.
C. SHALL NOT BE INSTALLED WITHIN 5 FEET FROM THE EDGE OF ANY DRIVEWAY.

3. ANTI-SEIZE LUBRICANT SHALL BE USED ON ALL COVER BOLTS AND GROUND BOX BOLTS.

4. ALL EXISTING STREET LIGHTING SHALL REMAIN OPERATIONAL DURING CONSTRUCTION.

5. ANY STRUCTURE SUCH AS BLOCK WALLS, CHAIN LINK FENCES, RETAINING WALLS, ETC. SHALL LEAVE A MINIMUM OF EIGHTEEN (18) INCHES TO THE FACE OF THE STREET LIGHT POLE ON ALL SIDES.

6. ALL SERVICE POINT(S) SHALL BE COORDINATED WITH ROCKY MOUNTAIN POWER AND WHENEVER POSSIBLE BE LOCATED NEAR THE CENTER OF THE CIRCUIT. SERVICE POINT(S) SHALL BE SHOWN ON THE PLANS WITH A SCHEMATIC FROM ROCKY MOUNTAIN POWER. POLE LOCATIONS AS SHOWN ON THE APPROVED PLANS MAY BE ADJUSTED IN THE FIELD BY THE ENGINEERING INSPECTOR AT TIME OF INSTALLATION AT NO ADDITIONAL COST TO THE CITY.

7. IT SHALL BE REQUIRED THAT IN THE ABSENCE OF AN EXISTING WORKABLE CIRCUIT TO ATTACH TO, THAT ALL INSTALLATIONS SHALL REQUIRE A NEW SERVICE FOR OPERATION OF THE CIRCUITS IN THIS CASE DEVELOPER AND OR HIS ENGINEER SHALL CONTACT ROCKY MOUNTAIN POWER.

8. WHEREVER THERE IS AN OVERHEAD UTILITY THAT MAY CONFLICT WITH THE INSTALLATION OF THE STREET LIGHT CIRCUITS AND/OR STREETLIGHT POLES, THOSE CONFLICTS MUST BE RESOLVED BETWEEN THE DEVELOPER AND THE UTILITIES INVOLVED BEFORE THE STREET LIGHT BASES ARE CONSTRUCTED AT NO EXPENSE TO THE CITY OF SOUTH WEBER OR ROCKY MOUNTAIN POWER. THE RESOLUTION MUST BE APPROVED BY THE CITY OF SOUTH WEBER AND ROCKY MOUNTAIN POWER.

9. THE CONTRACTOR SHALL FURNISH A COMPLETE SERVICE TO THE TRANSFORMERS AND CONTROL SYSTEMS IF REQUIRED ON THE PLANS AND/OR IS DEEMED NECESSARY BY ROCKY MOUNTAIN POWER AND/OR SOUTH WEBER CITY.

10. A STREET LIGHT PLAN SHOWING WIRING LOCATION, WIRING TYPE, VOLTAGE, POWER SOURCE LOCATION, CONDUIT SIZE AND LOCATION SHALL BE SUBMITTED TO THE CITY OF SOUTH WEBER AND BE APPROVED PRIOR TO CONSTRUCTION.

11. THE CONTRACTOR SHALL BE REQUIRED TO PERFORM A 10 DAY BURN TEST OF THE STREET LIGHTS AFTER THEY ARE CONNECTED AND ENERGIZED BY ROCKY MOUNTAIN POWER. THIS TEST SHALL BE COORDINATED AND WITNESSED BY A SOUTH WEBER ENGINEERING INSPECTOR.

D. GRADING NOTES

1. IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER AND CITY ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTION.

2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.

3. CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.

4. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.

6. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM THE PUBLIC WORKS DEPARTMENT.

7. THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.

8. IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEMS IS REQUIRED THAT IS NOT SHOWN ON THESE DRAWINGS, THE DEVELOPER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE CITY ENGINEER. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.

9. ALL GRADING WORK SHALL CONFORM TO THE SOILS REPORT AS PREPARED BY THE SOILS ENGINEER AND APPROVED BY THE CITY ENGINEER, AND AS SHOWN ON THESE PLANS.

E. FIRE DEPARTMENT NOTES

1. ON ANY NEW HOME OR BUILDING INSTALLATION, ACCESSIBLE FIRE HYDRANTS SHALL BE INSTALLED BEFORE COMBUSTIBLE CONSTRUCTION COMMENCES AND SAID FIRE HYDRANTS SHALL BE IN GOOD WORKING ORDER WITH AN ADEQUATE WATER SUPPLY.

2. CONTRACTOR SHALL CALL THE PUBLIC WORKS DEPARTMENT AND ENGINEERING INSPECTOR FOR UNDERGROUND INSPECTION, PRESSURE AND FLUSH VERIFICATION OF ALL FIRE HYDRANTS AND FIRE LINES BEFORE BACK FILLING.

3. PAINTING OF THE CURBS AND HYDRANT AND ANY WORK NECESSARY FOR PROTECTION OF HYDRANTS FROM PHYSICAL DAMAGE SHALL BE APPROVED BEFORE BEING CONSTRUCTED.

4. A FLOW TEST MUST BE WITNESSED BY THE FIRE DEPARTMENT PRIOR TO OCCUPANCY FOR VERIFICATION OF REQUIRED ON-SITE WATER SUPPLY.

5. ALL ON-SITE FIRE MAIN MATERIALS MUST BE U.L. LISTED AND A.W.W.A. APPROVED.

6. THE TURNING RADIUS FOR ANY FIRE APPARATUS ACCESS ROAD AND/OR FIRE LANE, PUBLIC OR PRIVATE, SHALL BE NOT LESS THAN FORTY-FIVE FEET (45) OUTSIDE RADIUS AND TWENTY-TWO FEET (22) INSIDE RADIUS AND SHALL BE PAVED.

7. ROADS AND ACCESSES SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS. SURFACE SHALL BE PAVED BEFORE THE APPLICATION OF COMBUSTIBLE MATERIAL.

F. WATER NOTES

1. THE FOLLOWING NOTES ARE INTENDED FOR GENERAL WATER STANDARDS ONLY AND ARE NOT ALL INCLUSIVE. THE CITY HAS INCLUDED THE CULINARY WATER DESIGN AND CONSTRUCTION STANDARDS WITHIN THE CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS.

2. NO WORK SHALL BEGIN UNTIL THE WATER PLANS HAVE BEEN RELEASED FOR CONSTRUCTION BY THE ENGINEERING DEPARTMENT. FOLLOWING WATER PLAN APPROVAL, FORTY-EIGHT (48) HOUR NOTICE SHALL BE GIVEN TO THE ENGINEERING INSPECTOR.

3. ALL WORK WITHIN SOUTH WEBER CITY SHALL CONFORM TO SOUTH WEBER CITY STANDARDS AND SPECIFICATIONS, AWWA AND APWA.

4. FOR RESIDENTIAL DEVELOPMENTS – THE DEVELOPER SHALL PURCHASE AND INSTALL METER BOXES AND SETTERS ACCORDING TO CITY STANDARDS ON NEWLY DEVELOPED LOTS AND REAL PROPERTY AT THE TIME OF WATER MAIN INSTALLATION. THE DEVELOPER SHALL ALSO PROVIDE THE SITE ADDRESS, LOT NUMBER, METER SIZE AND PAY METER FEES PRIOR TO BUILDING PERMIT APPROVAL.

5. FOR COMMERCIAL AND CONDOMINIUM DEVELOPMENTS – THE DEVELOPER SHALL PURCHASE AND INSTALL WATER METERS, METER BOXES AND SETTERS ACCORDING TO CITY STANDARDS.

6. ALL WATER FACILITIES SHALL BE FILLED, DISINFECTED, PRESSURE TESTED, FLUSHED, FILLED AND AN ACCEPTABLE WATER SAMPLE OBTAINED PRIOR TO COMMISSIONING THE NEW WATER LINE TO THE SOUTH WEBER CITY CULINARY WATER DISTRIBUTION SYSTEM.

7. SOUTH WEBER PUBLIC WORKS DEPARTMENT MUST APPROVE WATER SHUT DOWN WHICH MAY REQUIRE EVENING AND WEEKEND SHUT DOWN AS DEEMED NECESSARY, REQUIRING THE CONTRACTOR TO BE BILLED FOR OVERTIME. 48 HOUR NOTICE IS REQUIRED.

8. ALL LINES TO BE PRESSURE TESTED ACCORDING TO SOUTH WEBER CITY AND AWWA STANDARDS AND CHLORINATED PRIOR TO USE AND FINAL ACCEPTANCE.

9. ALL FITTINGS TO BE COATED WITH POLY FM GREASE AND WRAPPED WITH 8-MIL THICK POLYETHYLENE.

10. NO OTHER UTILITY LINES MAY BE PLACED IN THE SAME TRENCH WITH WATER LINE UNLESS APPROVED BY THE CITY ENGINEER.

11. ANY CONFLICT WITH EXISTING UTILITIES SHALL BE IMMEDIATELY CALLED TO THE ATTENTION OF THE CITY ENGINEER OR DESIGNEE.

12. ALL WATER VAULTS WILL BE CONSTRUCTED PER CITY OF SOUTH WEBER STANDARD DRAWINGS AND SPECIFICATIONS. NO VAULTS ARE ALLOWED IN TRAFFIC AREAS WITHOUT PRIOR APPROVAL OF THE CITY ENGINEER.

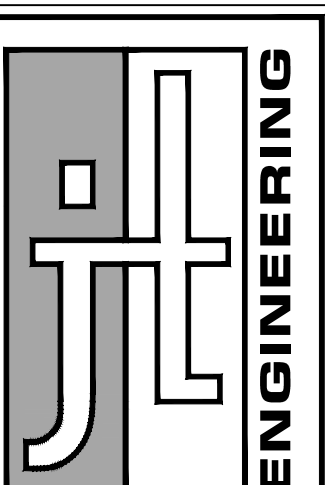
13. LANDSCAPING AND IRRIGATION ADJACENT TO VAULTS SHALL DRAIN AWAY FROM VAULTS.

14. ONCE THE WATERLINE HAS BEEN TESTED, APPROVED AND CITY WATER IS FLOWING THROUGH THE PIPE, ONLY CITY PERSONNEL ARE AUTHORIZED TO SHUT DOWN AND CHARGE THE WATERLINE.

15. MEGALUG FOLLOWING RING OR AN APPROVED EQUIVALENT SHALL BE USED ON ALL FITTINGS.

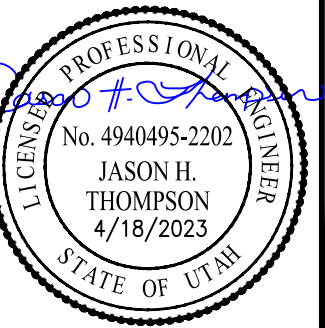
ABBREVIATIONS	
AC	ASPHALT CONCRETE PAVEMENT
AV	BUTTERFLY VALVE
BLDG.	BUILDING
CI	CAST IRON
C	CENTER LINE
CLR	CLEAR
CO	CLEANOUT
COM	COMPRESSION FITTING
CONC	CONCRETE
CONST	CONSTRUCT
CTS	COPPER TUBE STEEL
C.Y.	CUBIC YARD
d	DEPTH OF FLOW
D	DIAMETER OF PIPE
DWG	DRAWING
DI	DIAMETER
DIM.	DIMENSION
DIP	DUCTILE IRON PIPE
E	EAST
EA	EACH
EL, ELEV	ELEVATION
ESMT	EASEMENT
EW	EACH WAY
EXIST OR EX	EXISTING
FI	FEMALE IRON PIPE FITTING
FM	FORCE MAIN
FRP	FIBERGLASS REINFORCED PLASTIC
FL	FLOW LINE
FLG	FLANGE FITTING
FE	FLANGE END
FT	FOOT
FPS	FEET PER SECOND
GV	GATE VALVE
HORIZ	HORIZONTAL
ID	INSIDE DIAMETER
"	INCH(ES)
"	IN
IN	INVERT
LT	LEFT
MAX	MAXIMUM
MGD	MILLION GALLONS PER DAY
MH	MANHOLE
MJ	MECHANICAL JOINT FITTING
N	NORTH, FRICTION FACTOR
N/A	NOT APPLICABLE
#	NUMBER
NTS	NOT TO SCALE
PERM	PERMANENT
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OVERHEAD
P	PROPERTY
PVC	POLYVINYL CHLORIDE
PVI	POINT OF VERTICAL INTERSECTION
PWD	PUBLIC WORKS DEPARTMENT
Q	RATE OF FLOW
REINF	REINFORCEMENT, REINFORCING
REQD	REQUIRED
RES	RESERVOIR
REV	REVISION
RT	RIGHT
R/W	RIGHT OF WAY
S	SOUTH, SLOPE
ST	STATION
STD	STANDARD
STA	STATION
TEMP	TEMPORARY
TYP	TYPICAL
UNB	UNTREATED BASE COURSE
UNO	UNLESS NOTED OTHERWISE
V	VELOCITY
VERT	VERTICAL
W	WEST

LEGEND	
---	BOUNDARY
---	RIGHT OF WAY
---	LOT LINE
---	CENTERLINE
---	PUE&D
---	SIDEWALK
---	CURB AND GUTTER
---	ASPHALT ROADWAY
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	DAYLIGHT – FILL
---	DAYLIGHT – CUT
---	EX. SECONDARY WATER (SIZE AS NOTED)
---	EX. SANITARY SEWER (SIZE AS NOTED)
---	EX. CULINARY WATER (SIZE AS NOTED)
---	EX. STORM DRAIN (SIZE AS NOTED)
---	SECONDARY WATER – PVC C900 (SIZE AS NOTED)
---	STORM DRAIN – RCP CLASS III (SIZE AS NOTED)
---	CULINARY WATER – PVC C900 (SIZE AS NOTED)
---	SANITARY SEWER – PVC SDR35 (SIZE AS NOTED)
---	SEWER MANHOLE (EX. & PROP.)
---	STREET LIGHT (EX. & PROP.)
---	WATER VALVE (EX. & PROP.)
---	PIPE FITTINGS
---	BLOW OFF
---	FIRE HYDRANT (EX. & PROP.)
---	STORM DRAIN INLET (EX. & PROP.)
---	SEWER SERVICE LATERAL
---	WATER METER AND SERVICE LATERAL (SIZE AS NOTED)
---	SECONDARY WATER SERVICE LATERAL (SIZE AS NOTED)
---	SLOPE OF PROP./EX. GRADE
---	ARROW POINTS DOWN GRADIENT



JT Engineering, PC
7886 South 2325 East
South Weber, Utah
ph 801.866.7702

FOR REVIEW



#	DATE	BY	REVISIONS	
			DESCRIPTION	

KASTLECOVE PHASE 1 SUBDIVISION
GENERAL NOTES
SOUTH WEBER, UT-AH
PRELIMINARY SUBMITTAL

SHEET SIZE: ARCH D
H. SCALE: N/A
V. SCALE: N/A
DATE: APRIL 18, 2023
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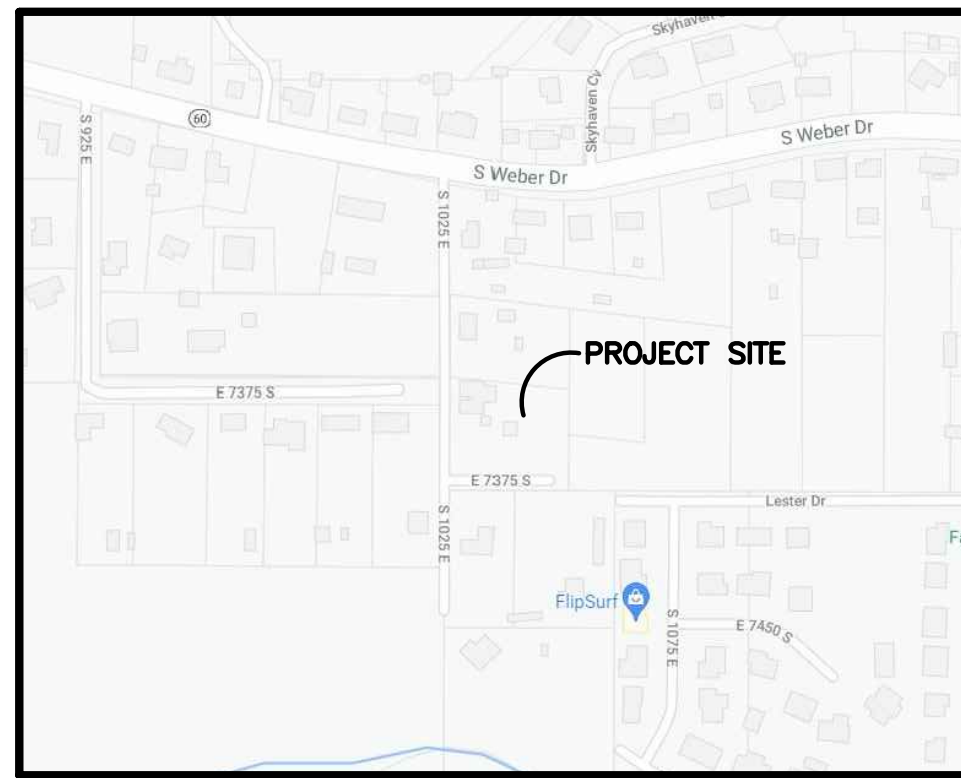
SHEET NO.
GN1
2 of 8



KASTLECOVE SUBDIVISION

PART OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE MERIDIAN, U.S. SURVEY
CITY OF SOUTH WEBER, DAVIS COUNTY, UTAH
MARCH, 2023

PRELIMINARY PLAT NOT FOR RECORDATION



VICINITY MAP
NOT TO SCALE

CURVE TABLE

#	RADIUS	ARC LENGTH	CHD LENGTH	TANGENT	CHD BEARING	DELTA
C1	235.00'	80.71'	80.31'	40.76'	S61°30'14"E	19°40'41"
C2	10.50'	16.49'	14.85'	10.50'	N44°49'39"W	90°00'00"
C3	235.00'	9.77'	9.77'	4.88'	S88°38'12"E	2°22'53"
C4	235.00'	90.00'	89.45'	45.56'	S76°28'28"E	21°56'35"
C5	235.00'	56.76'	56.62'	28.52'	S58°35'02"E	13°50'17"
C6	200.00'	133.21'	130.76'	69.18'	S70°44'46"E	38°09'44"
C7	165.00'	27.71'	27.68'	13.89'	S85°00'56"E	9°37'24"
C8	165.00'	82.19'	81.34'	41.96'	S65°56'04"E	28°32'21"
C9	10.00'	15.71'	14.14'	10.00'	N83°20'06"E	90°00'00"
C10	10.00'	15.71'	14.14'	10.00'	S06°39'54"E	90°00'00"
C11	10.00'	15.71'	14.14'	10.00'	N83°20'06"E	90°00'00"
C12	10.00'	15.71'	14.14'	10.00'	S06°39'54"W	90°00'00"
C13	200.00'	22.25'	22.24'	11.14'	S54°51'07"E	6°22'27"
C14	165.00'	25.53'	25.51'	12.79'	S56°05'54"E	8°52'01"
C15	165.00'	84.37'	83.45'	43.13'	S75°10'47"E	29°17'45"
C16	50.00'	39.49'	38.47'	20.84'	N15°42'42"E	45°14'49"
C17	50.00'	69.28'	63.87'	41.50'	N46°36'23"W	79°23'20"
C18	50.00'	71.86'	65.83'	43.73'	S52°31'39"W	82°20'37"
C19	50.00'	28.82'	28.42'	14.82'	S05°09'17"E	33°01'14"
C20	10.00'	10.47'	10.00'	5.77'	S08°20'06"W	60°00'00"

NARRATIVE

THE PURPOSE OF THIS PLAT IS TO CREATE A NINE LOT SUBDIVISION AS SHOWN. THE BOUNDARY WAS DETERMINED BY OCCUPATION AND DEED. ALL REAR LOT CORNERS WERE SET WITH A 5/8" REBAR AND PLASTIC CAP STAMPED "REEVE & ASSOCIATES".

BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS PLAT IS THE SECTION LINE BETWEEN THE SOUTHEAST CORNER AND THE SOUTH QUARTER CORNER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, SHOWN HEREON AS: NORTH 89°49'39" WEST (NORTH 89°28'34" WEST NAD83)

BOUNDARY DESCRIPTION

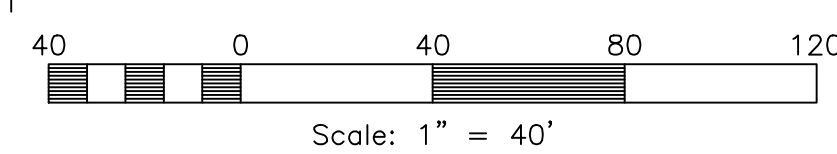
PART OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF LESTER STREET, SAID POINT BEING NORTH 89°49'39" WEST 701.39 FEET FROM THE SOUTHEAST CORNER OF SAID SECTION 28 (SOUTHEAST CORNER BEING SOUTH 89°49'39" EAST 2660.05 FEET FROM THE SOUTH QUARTER CORNER OF SAID SECTION 28); THENCE NORTH 89°49'39" WEST 232.90 FEET; THENCE SOUTH 51°39'54" EAST 15.81 FEET; THENCE ALONG A TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 235.00 FEET, AN ARC LENGTH OF 80.71 FEET, A DELTA ANGLE OF 19°40'41", A CHORD BEARING OF SOUTH 61°30'14" EAST, AND A CHORD LENGTH OF 80.31 FEET; THENCE SOUTH 00°10'21" WEST 22.62 FEET; THENCE ALONG A NON-TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 10.50 FEET, AN ARC LENGTH OF 16.49 FEET, A DELTA ANGLE OF 90°00'00", A CHORD BEARING OF NORTH 44°49'39" WEST, AND A CHORD LENGTH OF 14.85 FEET; THENCE NORTH 89°49'39" WEST 95.52 FEET; THENCE NORTH 00°28'30" EAST 60.00 FEET; THENCE NORTH 89°49'40" WEST 371.20 FEET; THENCE NORTH 00°10'22" EAST 415.23 FEET; THENCE SOUTH 89°49'38" EAST 24.75 FEET; THENCE SOUTH 83°21'41" EAST 571.80 FEET; THENCE SOUTH 05°19'22" EAST 352.46 FEET TO THE POINT OF BEGINNING.

CONTAINING 237,915 SQUARE FEET OR 5.462 ACRES.

LEGEND

- = SECTION CORNER
- = SET 5/8" REBAR AND PLASTIC CAP STAMPED "REEVE & ASSOCIATES"
- = SET NAIL
- = CENTERLINE MONUMENT
- = BOUNDARY LINE
- = LOT LINE
- = ADJOINING PROPERTY
- = ROAD CENTERLINE
- = 10' GENERAL UTILITY EASEMENT (G.U.E.)
- = SECTION TIE LINE



LINE TABLE

LINE	BEARING	DISTANCE
L1	S51°39'54"E	15.81'
L2	S00°10'21"W	22.62'
L3	N51°39'54"W	15.00'

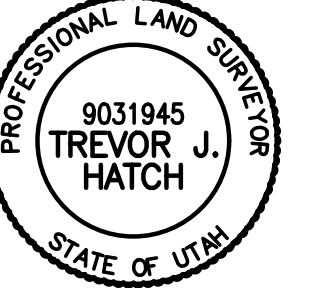


SURVEYOR'S CERTIFICATE

I, **TREVOR J. HATCH**, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF **KASTLECOVE SUBDIVISION** IN **SOUTH WEBER CITY, DAVIS COUNTY, UTAH**, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE **DAVIS COUNTY** RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND, I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF **SOUTH WEBER CITY, DAVIS COUNTY** CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS _____ DAY OF _____, 20____.

9031945
UTAH LICENSE NUMBER



OWNERS DEDICATION AND CERTIFICATION

WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO TWO LOTS AS SHOWN ON THE PLAT AND NAME SAID TRACT **KASTLECOVE SUBDIVISION**, AND DO HEREBY DEDICATE TO SOUTH WEBER CITY, DAVIS COUNTY, UTAH, ALL PARTS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER; AND ALSO DEDICATE TO SOUTH WEBER THOSE CERTAIN STRIPS AS EASEMENTS FOR GENERAL UTILITY AND DRAINAGE PURPOSES AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF GENERAL UTILITY SERVICE LINES AND DRAINAGE AS MAY BE AUTHORIZED BY SOUTH WEBER CITY WITH NO BUILDINGS OR STRUCTURES BEING ERECTED WITHIN ANY EASEMENT DESCRIBED HEREON AND ALSO DEDICATE PARCEL A TO THE OWNER OF LOT 109 TO BE OWNED AND MAINTAINED BY THE SAME AND DEDICATE PARCEL B TO KASTLE ROCK EXCAVATION & DEVELOPMENT LLC TO BE OWNED AND MAINTAINED BY THE SAME.

SIGNED THIS _____ DAY OF _____, 20____.

KASTLE ROCK EXCAVATION & DEVELOPMENT LLC

NAME/TITLE
SOUTH WEBER CITY

NAME/TITLE

ACKNOWLEDGMENT

STATE OF UTAH)SS.
COUNTY OF _____)

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, (AND) _____ BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE _____ OF SAID LLC AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID LLC FOR THE PURPOSES THEREIN MENTIONED.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

RESIDING IN _____ COUNTY, _____

ACKNOWLEDGMENT

STATE OF UTAH)SS.
COUNTY OF _____)

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, (AND) _____ BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE _____ OF SAID CORPORATION AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

RESIDING IN _____ COUNTY, _____

PROJECT INFORMATION

Surveyor: T. HATCH
Project Name: KASTLECOVE SUBDIVISION
Designer: N. ANDERSON
Number: 5918-18
Scale: 1"=40'
Begin Date: 3-8-2023
Revision: _____
Checked: _____

DAVIS COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____
_____ FILED FOR RECORD
AND RECORDED, _____ AT
_____ IN BOOK _____ OF
THE OFFICIAL RECORDS, PAGE _____

RECORDED FOR:

DAVIS COUNTY RECORDER

DEPUTY,

SOUTH WEBER CITY PLANNING COMMISSION

APPROVED BY THE SOUTH WEBER PLANNING COMMISSION ON THIS THE _____ DAY OF _____, 20____.

CHAIRMAN, SOUTH WEBER CITY PLANNING COMMISSION

SOUTH WEBER CITY ENGINEER

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

SOUTH WEBER CITY ENGINEER DATE

SOUTH WEBER CITY COUNCIL

PRESENTED TO THE SOUTH WEBER CITY COUNCIL THIS THE _____ DAY OF _____, 20____, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

SOUTH WEBER CITY MAYOR ATTEST: CITY RECORDER

SOUTH WEBER CITY ATTORNEY

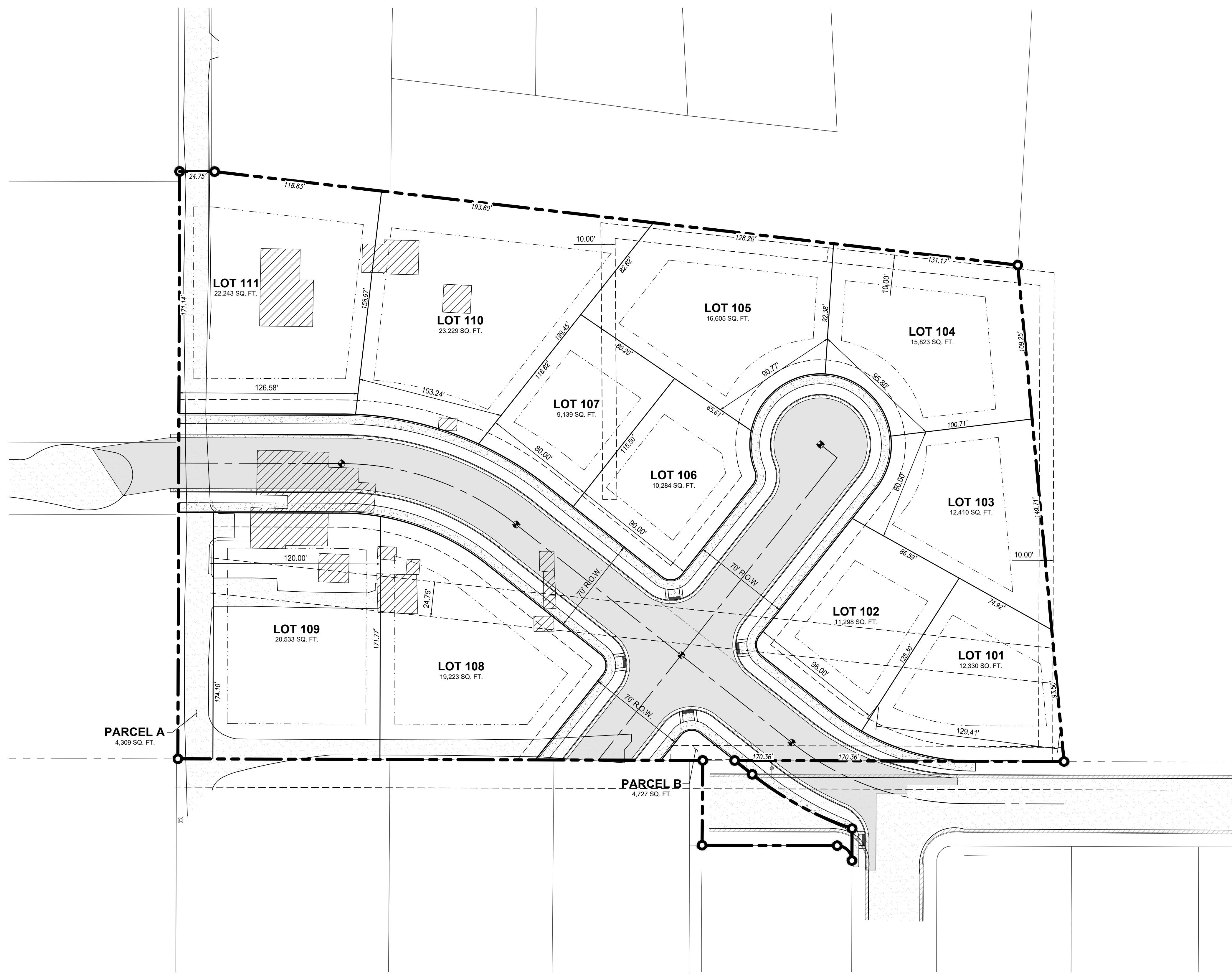
APPROVED BY THE SOUTH WEBER CITY ATTORNEY THIS THE _____ DAY OF _____, 20____.

SOUTH WEBER CITY ATTORNEY



AutoCAD SHX Text
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Coversheet.dwg PLOTTED: April
18, 2023 2:20PM01_KC1_CV1
Coversheet.dwg PLOTTED: April
18, 2023 2:20PM PLOTTED: April
18, 2023 2:20PM April 18, 2023 2:
20PM

PAH: 05_KCI_SF1_Site_Plan.dwg PLOTTED: April 18, 2023 2:20PM



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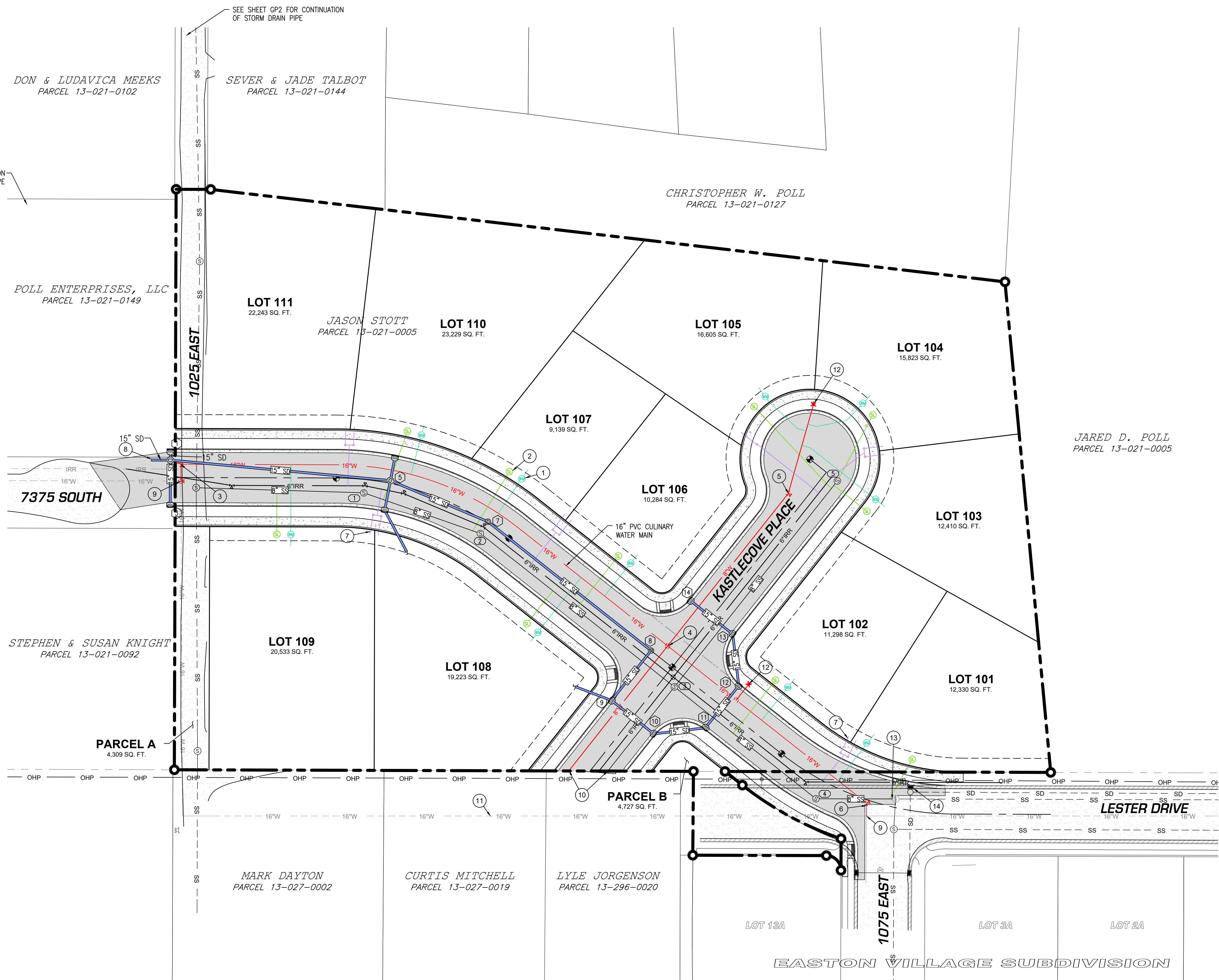
#	DATE	BY	DESCRIPTION

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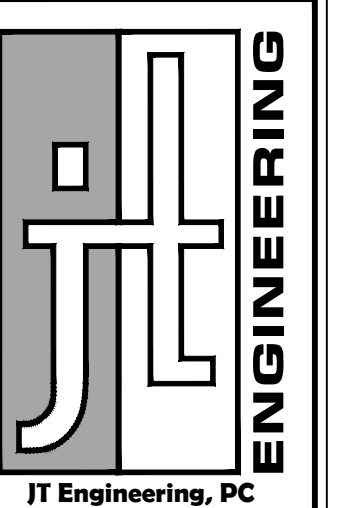
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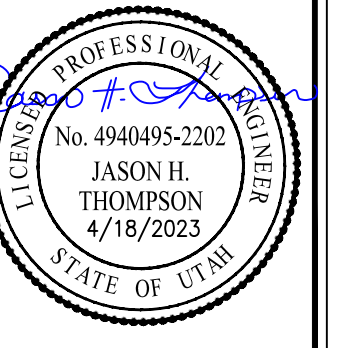
KEY NOTES

- 1 INSTALL CITY STANDARD WATER METER AND SERVICE LATER
- 2 INSTALL 4" SANITARY SEWER LATERAL PER CITY STANDARDS.
- 3 INSTALL 16" 90° BEND WITH THRUST BLOCKS
- 4 INSTALL 16" X 8" CROSS WITH THRUST BLOCKS
- 5 INSTALL 8" 22.5° BEND WITH THRUST BLOCKS
- 6 INSTALL 16" 45° BEND WITH THRUST BLOCKS
- 7 INSTALL SECONDARY WATER SERVICE
- 8 STUB FOR FUTURE EXTENSION
- 9 CONNECT TO EXISTING 16" WATER LINE
- 10 STUB AND PLUG FOR FUTURE
- 11 ABANDON EXISTING 16" WATER LINE
- 12 INSTALL CITY STANDARD FIRE HYDRANT
- 13 CORE EXISTING MANHOLE AND CONNECT SEWER. GROUT OUTLET ON EAST SIDE OF MANHOLE AND ADJUST FLOWLINES OF MANHOLE BASE TO ROUTE FLOW TO THE WEST
- 14 MOVE BOX OR ADJUST CONCRETE AROUND INLET SUCH THAT IT CAN CONTINUE TO COLLECT RUNOFF FROM THE EAST



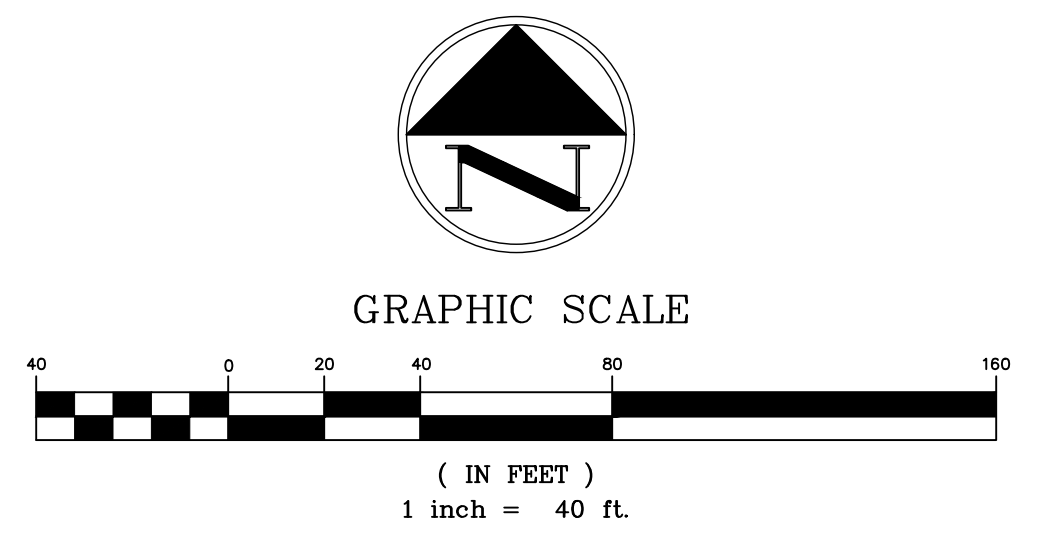
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#	DATE	BY	DESCRIPTION

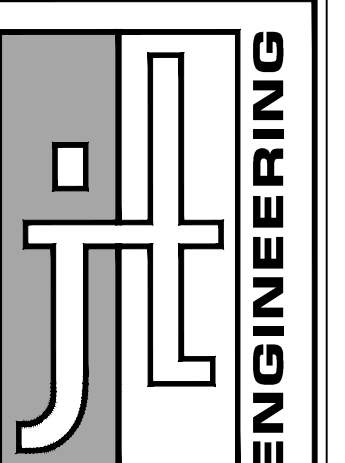
KASTLECOVE PHASE 1 SUBDIVISION
UTILITY PLAN
 SOUTH WEBER, UTAH
 PRELIMINARY SUBMITTAL



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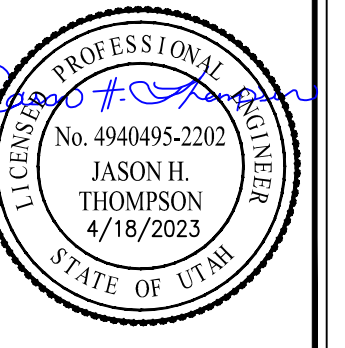
SHEET SIZE: ARCH D
H. SCALE: 1" = 40'
V. SCALE: N/A
DATE: APRIL 18, 2023
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UT1
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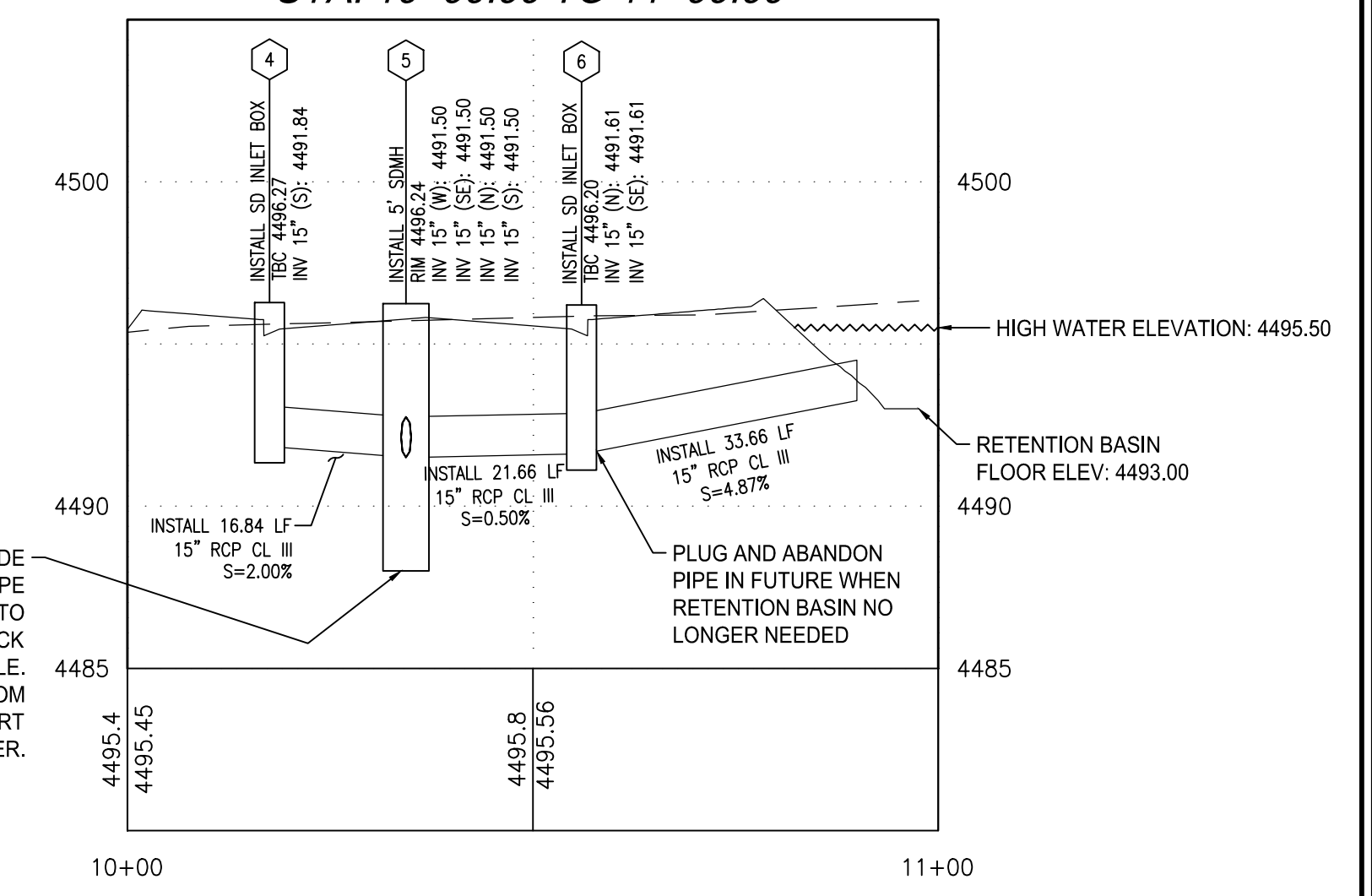
#	DATE	BY	DESCRIPTION

KASTLECOVE PHASE 1 SUBDIVISION
GRADING & DRAINAGE PLAN
SOUTH WEBER, UT, AH

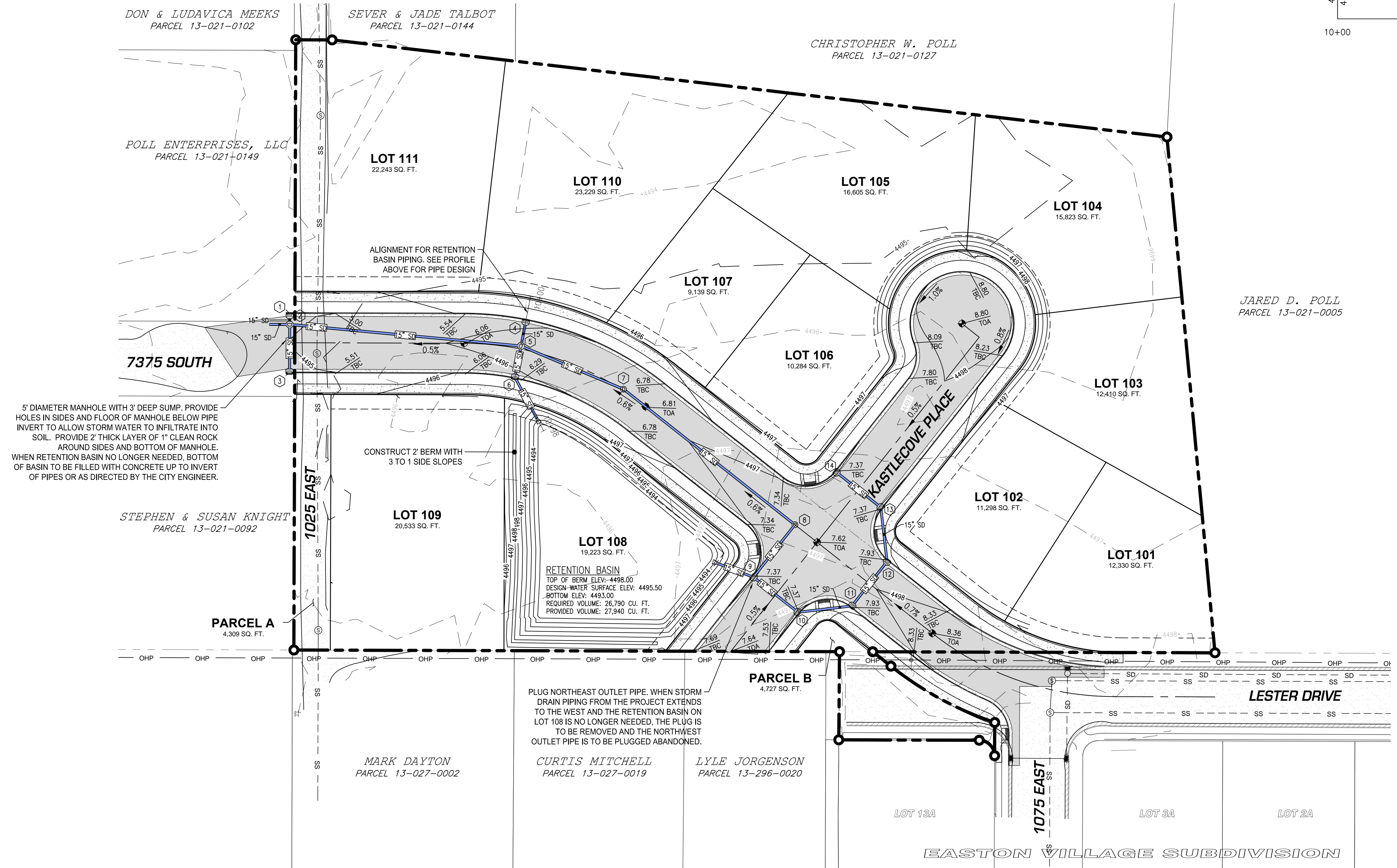
SHEET SIZE: ARCH D
H. SCALE: 1" = 40'
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GP1
7 of 8

RETENTION BASIN PIPING
STA. 10+00.00 TO 11+00.00



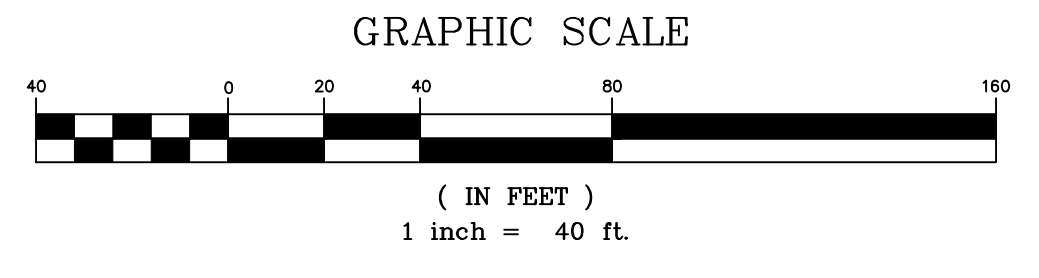
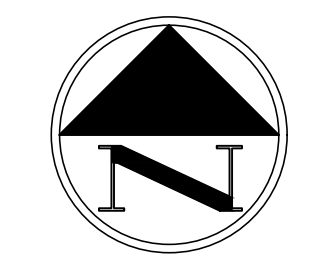
5' DIAMETER MANHOLE WITH 3' DEEP SUMP. PROVIDE HOLES IN SIDES AND FLOOR OF MANHOLE BELOW PIPE INVERT TO ALLOW STORM WATER TO INFILTRATE INTO SOIL. PROVIDE 2" THICK LAYER OF 1" CLEAN ROCK AROUND SIDES AND BOTTOM OF MANHOLE. WHEN RETENTION BASIN NO LONGER NEEDED, BOTTOM OF BASIN TO BE FILLED WITH CONCRETE UP TO INVERT OF PIPES OR AS DIRECTED BY THE CITY ENGINEER.



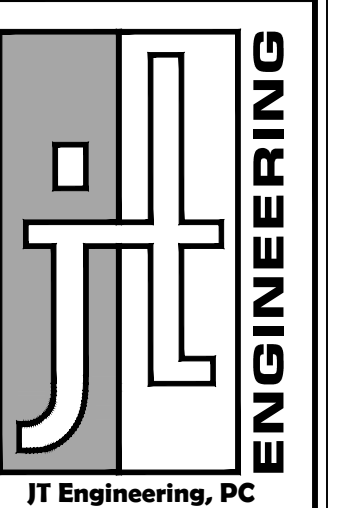
5' DIAMETER MANHOLE WITH 3' DEEP SUMP. PROVIDE HOLES IN SIDES AND FLOOR OF MANHOLE BELOW PIPE INVERT TO ALLOW STORM WATER TO INFILTRATE INTO SOIL. PROVIDE 2" THICK LAYER OF 1" CLEAN ROCK AROUND SIDES AND BOTTOM OF MANHOLE. WHEN RETENTION BASIN NO LONGER NEEDED, BOTTOM OF BASIN TO BE FILLED WITH CONCRETE UP TO INVERT OF PIPES OR AS DIRECTED BY THE CITY ENGINEER.

CONSTRUCT 2' BERM WITH 3 TO 1 SIDE SLOPES

PLUG NORTHEAST OUTLET PIPE. WHEN STORM DRAIN PIPING FROM THE PROJECT EXTENDS TO THE WEST AND THE RETENTION BASIN ON LOT 108 IS NO LONGER NEEDED, THE PLUG IS TO BE REMOVED AND THE NORTHWEST OUTLET PIPE IS TO BE PLUGGED ABANDONED.

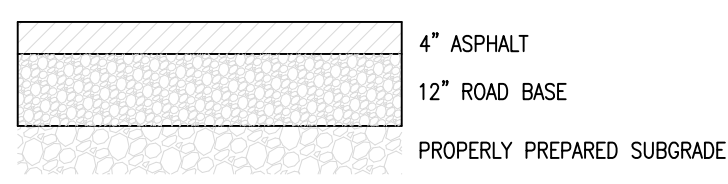
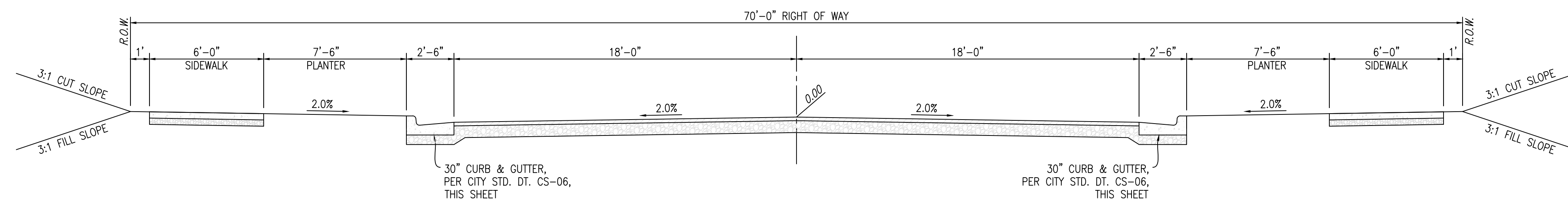
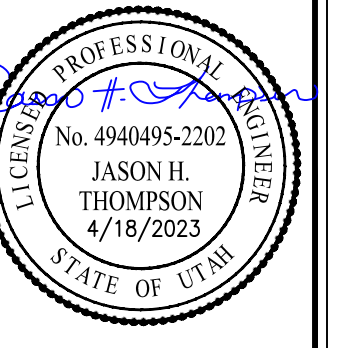


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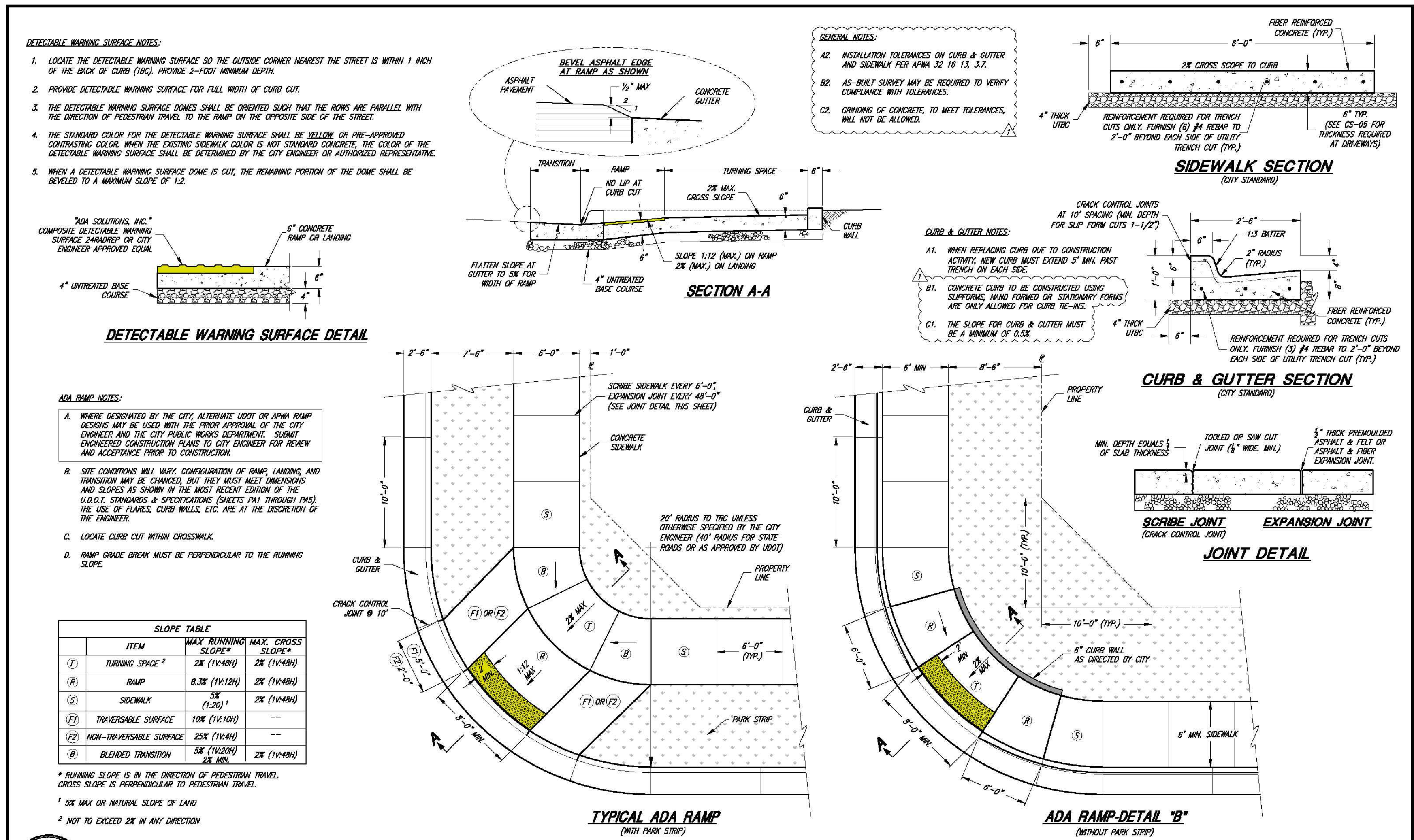
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FOR REVIEW



ROAD CROSS-SECTION
 SCALE: 1" = 4'

PAVEMENT SECTION
 (PER CITY STD. DTL. CS-02, TO BE VERIFIED BY CITY ENGINEER OR GEOTECHNICAL STUDY)



SLOPE TABLE

ITEM	MAX RUNNING SLOPE*	MAX. CROSS SLOPE*
(T) TURNING SPACE ²	2% (1/4:48)	2% (1/4:48)
(R) RAMP	8.3% (1/12:12)	2% (1/4:48)
(S) SIDEWALK	2% (1/20:1)	2% (1/4:48)
(F) TRANSVERSABLE SURFACE	10% (1/10:10)	---
(P) NON-TRANSVERSABLE SURFACE	2.5% (1/4:40)	---
(B) BLENDED TRANSITION	5% (1/20:20)	2% (1/4:48)

* RUNNING SLOPE IS IN THE DIRECTION OF PEDESTRIAN TRAVEL. CROSS SLOPE IS PERPENDICULAR TO PEDESTRIAN TRAVEL.
¹ 5% MAX OR NATURAL SLOPE OF LAND
² NOT TO EXCEED 2% IN ANY DIRECTION

	J. H. Thomason PROJECT ENGINEER 2-22-2023	N.T.S. DATE: APRIL 18, 2023	JONES & ASSOCIATES CONSULTING ENGINEERS 1030 Fashion Point Drive South Ogden, Utah 84403 (801) 478-9787 www.jonesandco.com	SOUTH WEBER CITY CORPORATION PUBLIC WORKS STANDARDS PUBLIC ROADS - TYPICAL ADA RAMP, SIDEWALK, CURB & GUTTER, AND CONCRETE JOINT DETAILS	SHEET: CS-06 OF 24 SHEETS 2
--	---	--------------------------------	---	--	--

#	DATE	BY	DESCRIPTION

KASTLECOVE PHASE 1 SUBDIVISION
CROSS-SECTION & DETAILS
 SOUTH WEBER, UT-AH
 PRELIMINARY SUBMITTAL

SHEET SIZE: ARCH D
H. SCALE: 1" = 4'
V. SCALE: N/A
DATE: APRIL 18, 2023
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SHEET NO.
DT1
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