

PLANNING COMMISSION AGENDA

Watch live, or at your convenience.

<https://www.youtube.com/c/southwebercityut>

PUBLIC NOTICE is hereby given that the Planning Commission of **SOUTH WEBER CITY, Utah**, will meet in a regular public meeting commencing at 6:00 p.m. on **Thursday, February 13, 2024**, in the Council Chambers at 1600 E. South Weber Dr.

OPEN (Agenda items may be moved to meet the needs of the Commission.)

1. Pledge of Allegiance: Chad Skola
2. Public Comment: Please respectfully follow these guidelines.
 - a. Individuals may speak once for 3 minutes or less: Do not remark from the audience.
 - b. State your name & city and direct comments to the entire Commission (They will not respond).

ACTION ITEMS

3. Consent Agenda
 - a. December 12, 2024, Minutes
4. Acknowledgement of re-appointed PC members Gary Boatright, and Marty McFadden
5. Elect Chair and Vice Chair
- 6. Public Hearing for Rezone**
7. Rezone for South Weber Gateway Development Agreement at approximately, 2557 South Weber Drive, applicant South Weber City
8. Preliminary Subdivision Plat for Gateway Subdivision, 2557 South Weber Drive, applicant Justin Nielson, Stillwater Construction
9. Ethics, Conflict of Interest, and Open Meeting Act Training

REPORTS

10. Commission
11. Adjourn

In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify the City Recorder, 1600 East South Weber Drive, South Weber, Utah 84405 (801-479-3177) at least two days prior to the meeting.

The undersigned Deputy Recorder for the municipality of South Weber City hereby certifies that a copy of the foregoing notice was mailed/emailed/posted to: City Office building; Mayor, Council, and others on the agenda; City Website southwebercity.com/; and Utah Public Notice website www.utah.gov/pmn/index.html.

DATE: 02/10/2025

DEPUTY RECORDER: Raelyn Boman

Raelyn Boman

SOUTH WEBER CITY PLANNING COMMISSION MEETING

DATE OF MEETING: 12 December 2024

TIME COMMENCED: 6:00 p.m.

LOCATION: South Weber City Office @ 1600 East South Weber Drive, So. Weber, UT

PRESENT:

COMMISSIONERS:

Gary Boatright
Julie Losee
Marty McFadden
Chris Roberts (excused)
Chad Skola

DEPUTY RECORDER:

Raelyn Boman

FINANCE DIRECTOR:

Brett Baltazar

**COMMUNITY DEVELOPMENT
MANAGER:**

Lance Evans

Minutes: Michelle Clark

ATTENDEES: Craig Hancock, Rod Westbroek, Paul Sturm, Korey Kap, Kamry Dyer, Thomas Hunt, Gordon Smith, Barbara Shupe, Mike Poll, and Michael Grant.

Commissioner Losee called the meeting to order, welcomed those in attendance, and excused Commissioner Roberts from tonight's meeting.

1. Pledge of Allegiance: Commissioner Skola

2. Public Comment: Please respectfully follow these guidelines.

- Individuals may speak once for 3 minutes or less: Do not remark from the audience. State your name & city and direct comments to the entire Commission (Commission will not respond).

ACTION ITEMS:

3. Approval of Consent Agenda

- **14 November 2024 Minutes**

Commissioner Boatright moved to approve the consent agenda. Commissioner Skola seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

Commissioner Boatright moved to open the public hearing for the General Plan Amendment. Commissioner McFadden seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

----- **PUBLIC HEARING** -----

4. Public Hearing for General Plan Amendment

Community Development Manager Lance Evans reported this is a request to amend the Projected Land Use Map from the 2020 South Weber City General Plan from Residential Low Moderate Density (R-LM) to Residential Moderate Density (R-M) on approximately 10.7 acres located at approximately 972 E. South Weber Drive.

Commissioner Losee asked if there was any public comment.

Gordon Smith of South Weber City expressed that it is his understanding this area is a wetland area. He is also concerned about increased traffic.

Craig Hancock of South Weber City is concerned about the egress and ingress to this property and queried on the traffic plan for this area.

Commissioner Boatright moved to close the public hearing for the General Plan Amendment. Commissioner McFadden seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

----- **PUBLIC HEARING CLOSED** -----

Mr. Evans explained there are no designated wetlands in this area. He then reviewed the traffic plan on the City's General Plan traffic map and identified Old Fort Road as a collector road with a collector road on the south side of the property.

Commissioner Losee is concerned about the difference in the number of homes for R-LM and R-M with R-LM having less impact on traffic. Commissioner McFadden does not think this request changes the character of the land. Commissioner Boatright does not favor amending the general plan every time a developer comes in. Mr. Evans understands what Commissioner Boatright is stating, but the direction given has been to amend the general plan prior to approval.

Commissioner Skola does not favor going against the general plan. Commissioner Losee is concerned about going to a higher density. Mr. Evans announced the City Attorney gave the direction to amend the general plan amendment before a rezone request. Commissioner McFadden stated the general plan amendment would give a clearer direction on how the land will be used. He does not think there is considerable difference between the R-LM Zone and the R-M Zone and would be in favor of the general plan amendment.

5. General Plan Amendment for Kapp Legacy from Residential Low Moderate Density (R-LM) to Residential Moderate Density (R-M) at approximately 972 E South Weber Drive, applicants Thomas Hunt, Korey Kap

This application is part of the potential development of 32.86 acres for single-family homes on moderate density lots. Twenty-two acres of the proposed development area is already designated as Residential Moderate Density in the General Plan. This request is to amend the R-LM density designation on the southern 10.7 acres of this project to R-M. (In a separate application the owners are requesting to rezone the entire project area of 32.86 acres from Agricultural to Residential Moderate Density.)

Commissioner McFadden moved to recommend approval to the City Council the General Plan Amendment for Kapp Legacy from Residential Low Moderate Density (R-LM) to Residential Moderate Density (R-M) for 10.7 acres at approximately 972 E South Weber Drive, applicants Thomas Hunt, Korey Kap. Commissioner Skola seconded the motion. Commissioner Losee called for the vote. Commissioners Losee, McFadden, and Skola voted aye. Commissioner Boatright vote nay. The motion carried 3 to 1.

Commissioner Skola moved to open the public hearing for zone change amendment. Commissioner Boatright seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

----- **PUBLIC HEARING** -----

6. Public Hearing for Zone Change Amendment

Community Development Manager Lance Evans explained this is a request to amend the South Weber City Zoning Map from A (Agricultural Zone) to R-M (Residential Moderate Zone) on approximately 27.6 acres located at approximately 972 E. South Weber Drive.

Gordon Smith of South Weber City asked if there is an environmental study on this property.

Commissioner Boatright moved to close the public hearing for Zone Change Amendment. Commissioner Losee seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

----- **PUBLIC HEARING CLOSED** -----

Community Development Director Lance Evans conveyed that if the rezone is approved, extensive studies will be conducted on the property. Commissioner Losee requested that the developer provide a traffic study when the subdivision is presented to the Planning Commission. Commissioner Boatright expressed support for the zone change request.

7. Rezone Request for Kapp Legacy from (A) Agricultural Zone to (R-M) Residential Moderate Density Zone at approximately 972 E South Weber Drive, applicant Thomas Hunt, Korey Kap

Commissioner Skola moved to recommend approval to the City Council the Rezone Request for Kapp Legacy from (A) Agricultural Zone to (R-M) Residential Moderate Density Zone for 27.6 acres at approximately 972 E South Weber Drive, applicant Thomas Hunt, Korey Kap. Commissioner Boatright seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

Commissioner Boatright moved to open the public hearing for Subdivision Code Amendment. Commissioner Losee seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

----- PUBLIC HEARING -----

8. Public Hearing for Subdivision Code Amendment

Community Development Manager Lance Evans explained South Weber City is required by the Utah State Code to allow more than one form of subdivision improvement guarantee. The code currently allows “Cash Escrow account or Letter of Credit guarantee with a federally insured financial institution.” City Staff is concerned that the letter of credit will not provide enough assurance to the city for the completion of a subdivision should it be required. Staff recommended allowing three options for improvement completion assurance.

- 1) cash escrow account guarantee with a federally insured financial institution, or 2) a cash bond with the city, or 3) a surety bond with a reputable bond provider who is licensed to issue surety bonds in the State of Utah. The code amendment to allow these three forms of assurance will better protect the city and assure completion of all subdivision improvements.

(No Public Comment)

Commissioner Skola moved to close the public hearing for Subdivision Code Amendment. Commissioner Losee seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

----- PUBLIC HEARING CLOSED -----

9. Code Amendment 11-8-3: Improvements Completion Assurance and Guarantee of Performance

Commissioner Boatright moved to recommend approval to the City Council for the Code Amendment 11-8-3: Improvements Completion Assurance and Guarantee of Performance. Commissioner McFadden seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

REPORTS:

10. Commission: (None)

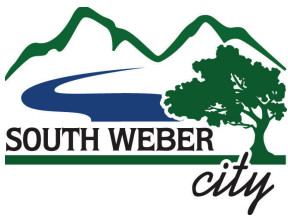
11. ADJOURN: Commissioner Boatright moved to adjourn the Planning Commission meeting at 6:39 p.m. Commissioner Losee seconded the motion. A roll call vote was taken. Commissioners Boatright, Losee, McFadden, Roberts, and Skola voted aye. The motion carried.

APPROVED: _____ Date _____
Chairperson: Julie Losee

Transcriber: Michelle Clark

Attest: _____
Deputy Recorder: Raelyn Boman

DRAFT



PLANNING COMMISSION STAFF REPORT

MEETING DATE

February 13, 2025

PREPARED BY

Lance Evans, AICP
Community Development
Manager

ITEM TYPE

Zone Change

ATTACHMENTS

Projected Land Use Map
Zoning Map

AGENDA ITEM

Public Hearing

Resolution 2025-004: South Gateway Zone change

Applicant: South Weber City

Location: approximately 2557 E. South Weber Drive

Acreage: approximately 27.6 acres

REQUEST

A zone change request to change the zoning on 0.2 acres from R-5 (SG) Residential Multi-Family to Highway Commercial (C-H) on a 10.731-acre parcel.

Property Information

Site Location	Approximately 2557 E. South Weber Drive
Tax ID Number	130340068
Applicant	South Weber City
Owner	Stillwater Construction
Proposed Actions	Recommend approval or denial to City Council
Current Zoning	C-H (Highway Commercial) and R-5 (Residential Multi-Family)
Proposed Zone District	C-H (Highway Commercial)
Acreage	0.2

PROCESS

This is a request to amend the South Weber City Zoning Map. South Weber City Code Section 10-3-5 allows for the Zoning Map to be amended. The Planning Commission is required to hold a public hearing to receive public comments on the proposed amendment, then make a recommendation to the City Council for the approval or denial of the proposed amendment. The City Council will then hold a meeting to review the Planning Commission's recommendation and the application for a final determination.



BACKGROUND

This application is correcting the zoning to match the South Weber Gateway Development Agreement (DA). The third amendment of the DA modified the areas of Highway Commercial and Residential Multi-Family R-5) increasing the commercial area by approximately 0.2 acres. This rezone will correct the zoning districts to match the concept plan in the approved DA.

ANALYSIS

Consistence with General Plan

The proposed zone change matches the land use designation for the property and is consistent with approved development plans and uses.

Compatibility with Surrounding Uses

The approved development will have 57 town homes and 2.62 acres of commercial. The site design will reduce the impact to the adjacent residences and is consistent with the surrounding building height, density, traffic impacts, and visual aesthetics though compliance with city development codes.

Environmental and Infrastructure Considerations

Much of the area around the site is developed. The zone change will have minimal impacts on infrastructure (such as roads, utilities, and public services) and the natural environment (including water resources, wildlife habitats, and air quality).

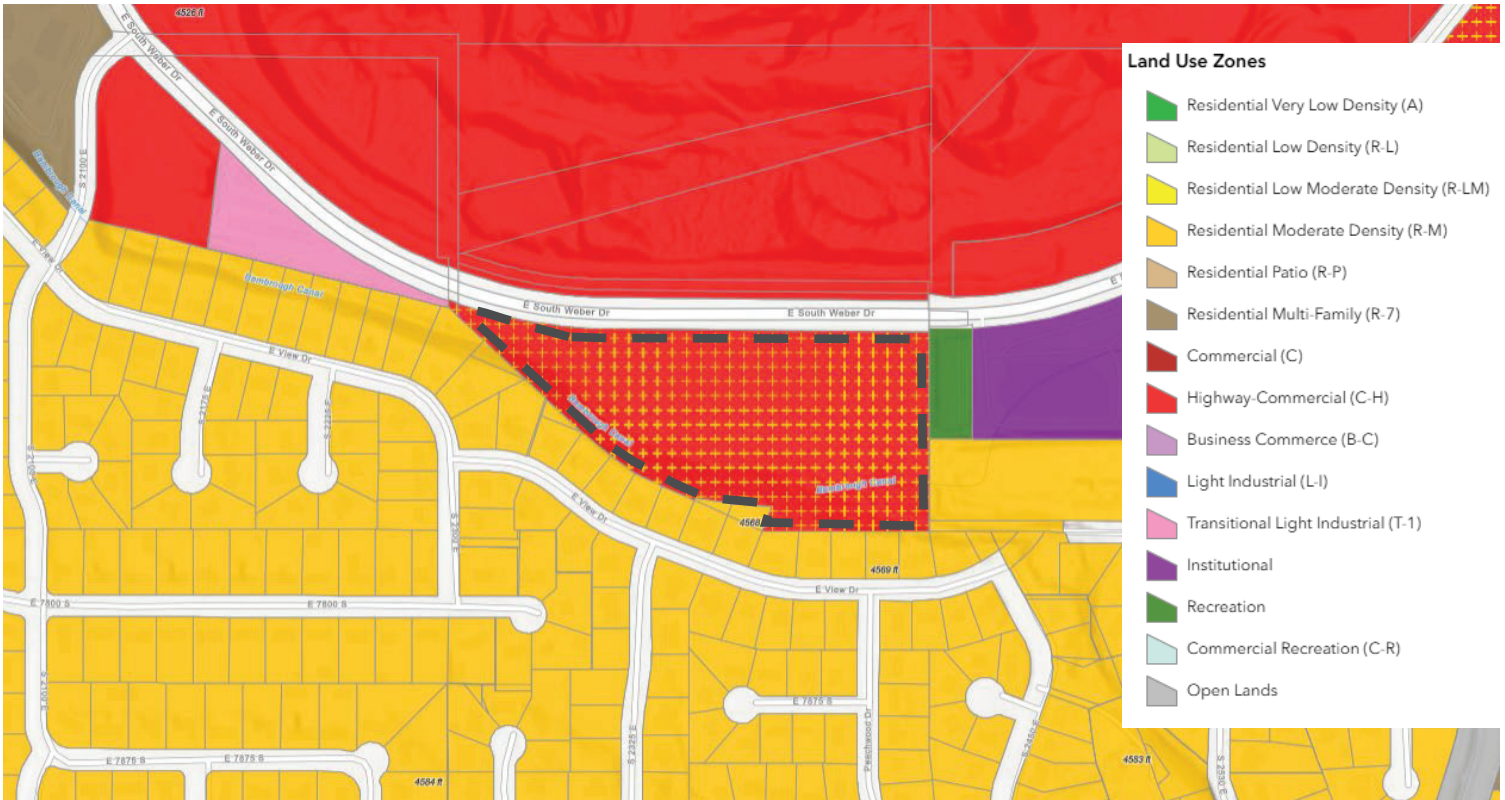
Traffic Impacts

The development is along South Weber Drive and is a location that is anticipated to have additional traffic and road use.

Conclusion

The proposed zone change is consistent with the goals and objectives of the General. Staff recommends approval of the zone change for the 0.2 acres from R-5 (SG) Residential Multi-Family to Highway Commercial (C-H) on a 10.731-acre parcel.

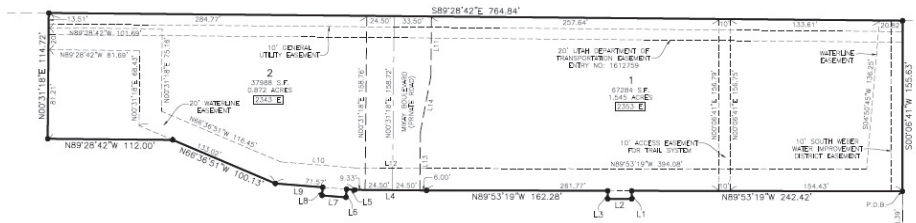




Projected Land Use Map

Commercial Zone Change approx. 0.2 acres from R-5 to C-H

Commercial Area in South Weber Gateway DA 2nd Amendment



Commercial Area in South Weber Gateway DA 3rd and 4th amendment







APPLICABLE CITY CODE

10-3-5: POWERS AND DUTIES:

A. Entrance Upon Land: The Planning Commission, its members and employees, in the performance of its functions, may enter upon any land at reasonable times to make examinations and surveys, and place and maintain necessary monuments and marks thereon. The Planning Commission shall have such powers as may be necessary to enable it to perform its functions and promote Municipal planning.

B. Administrative Duties: The Planning Commission shall:

2. Recommend Land Use Ordinances and maps, and amendments to Land Use Ordinances and maps, to the City Council;

C. Public Hearings; Reports and Recommendations: For purposes of holding public hearings, the Planning Commission is recognized as the Land Use Authority for South Weber City, as defined by Utah Code Annotated 10-9a-103; 10-9a-404, 10-9a-502, 10-9a-503, 10-9a-602, and 10-9a-608, or as otherwise required. The Planning Commission may hold public hearings and shall do so as required by law. It may make reports and recommendations relating to the plan and development of the City to public officials and agencies, other organizations and citizens. It may recommend to executive or legislative officials, programs for public improvements. The City Council shall not hold any public hearing for any Land Use Ordinances, applications, or amendments unless specifically required by State law or a procedural motion approved by the City Council. (Ord. 19-08, 3-12-2019; amd. Ord. 2021-01, 2-23-2021)

MEETING DATE

February 13, 2025

PREPARED BY

Lance Evans
Community Development
Manager

Brandon Jones, P.E.
City Engineer

ITEM TYPE

Administrative

ATTACHMENTS

Preliminary Plat

AGENDA ITEM

Gateway Preliminary Plat

PURPOSE

Administrative Action: Preliminary Subdivision Plat Approval. Final Subdivision Plat and Improvement Plans will be reviewed and approved by the Administrative Land Use Authority (ALUA) Board (See CC 11-5-1).

RECOMMENDATION

Staff has reviewed the proposed preliminary plat and phasing plan and recommends approval.

BACKGROUND

Project Information	
Project Name	Gateway Preliminary Subdivision
Site Location	2557 E South Weber Drive
Tax ID Number	130340068
Applicant	Justin Nielson, Stillwater Construction
Owner	Stillwater Construction
Proposed Actions	Preliminary Plat Approval
Current Zoning	C-H and R-5(SG)
General Plan Land Use Classification	Highway Commercial with Development Plan and Agreement Required
Gross Site	11.643 Acres
Number of Townhome Lots	57 lots
Commercial Lots	13 commercial pads, proposed for 16,292 SF of commercial area
Gross Density Calculation	6.3 dwelling units per acre

OVERVIEW SOUTH WEBER GATEWAY DEVELOPMENT PROCESS

The South Weber Gateway Development was approved as a Development Agreement (DA) and has had several revisions to the DA. The current owner has submitted the preliminary plat application as the next step in the development process for this project. This is the second of five major steps in the development process for the South Weber Gateway project.

1. **Zoning entitlement:** The South Weber Gateway Development received the original rezone from Agricultural (A) to Highway Commercial (C-H) and Residential Multi-Family Seven (R-7) on July 20, 2021 (ORD 2021-10). The R-7 zone was later changed by the City to R-5 with a Strategic Growth Overlay (SG) option and was applied accordingly to this development. A Development Agreement was originally approved in May of 2022. It has since been amended four times to make minor modifications to the site requirements and for changes in ownership. The 4th amendment was approved on the 12th of November 2024.
2. **Subdivision Plat:** the preliminary subdivision plat is being reviewed tonight by the Planning Commission. The preliminary subdivision contains a significant level of detail, and the improvement plans for the development of the utility and road infrastructure. The final plat will complete the subdivision process when it is reviewed, approved, and recorded. Construction of the proposed utilities and site improvements may begin after the preliminary plat approval by the Planning Commission and final approval of the plat and improvement plans by the ALUA Board, but lot sales may not begin until the final plat is recorded.
3. **Site Plan and Architectural Plan:** the development of the vertical buildings and some of the above ground site improvements require the approval of an Architectural Site Plan approval as outlined in Title 10 Chapter 12 of the South Weber City Code. Some of these elements and requirements have been addressed in the subdivision plat and improvement plans but the architectural, parking, and landscape improvements will need to be approved by the Planning Commission and City Council before the submittal of building permit applications.
4. **Conditional Use Permit:** The commercial areas of the plat are over one acre in size and are also required to have a conditional use permit if they are over one acre in size or if a use is proposed that required a CUP in the Land Use Matrix for Highway -Commercial Zone. This may coincide with the Site and Architectural Plan reviews.
5. **Building Permits as per the South Weber Gateway Development Agreement:** The building permits will be reviewed as per the phasing in the South Weber Gateway Development Agreement and the dwelling units and commercial buildings will be the final development stage.

STAFF REVIEW

GATEWAY PRELIMINARY SUB	COMMENTS
<u>11-4-1: Preliminary Plat And Improvement Plans</u>	
11-4-1: PRELIMINARY PLAT AND IMPROVEMENT PLANS:	
A. Purpose: For the Administrative Land Use Authority to complete an initial Subdivision Ordinance Review and an initial Subdivision Plan Review.	Completed
B. Application Required: The Applicant shall submit the required Preliminary Subdivision Plat Application for	Submitted/complies

review and approval by the Administrative Land Use Authority.	
1. Exception: When a proposed Subdivision does not involve the development of new public infrastructure, an exception may be granted by the City Engineer to waive, in writing, the need for the review of the Preliminary Improvement Plans.	NA
C. Complete Application: An application shall be considered complete and begin the first review cycle when the following items are Submitted/complies:	Completed
1. A completed Preliminary Subdivision Plat Application as provided by the City.	
2. Additional studies and information as listed on the application form and as necessary to show feasible compliance with applicable codes and regulations (see subsection 11-7-1D).	Studies Submitted: Traffic Impact Analysis, Geotechnical Report,
3. A signed Owner-Agent Affidavit (if the Owner is being represented by another party).	Submitted/complies
4. Current Davis County ownership plat depicting property proposed for subdivision and all contiguous property around land proposed to be subdivided.	Submitted/complies
5. A recent Title Report covering the proposed subdivided property identifying ownership, easements of record, liens or other encumbrances and verifies payment of taxes and assessments.	An updated report will be required prior to final plat submittal. Title and tax information confirmed.
6. Will serve letters from all applicable service providers.	Submitted/complies, Enbridge Gas, Rocky Mountain Power, South Weber Water Improvement District
7. A digital copy of the preliminary plat as outlined in the Public Works Standards.	Submitted/complies
8. A digital copy of the preliminary improvement plans to include at a minimum the following:	Submitted/complies
a. Grading and drainage plan.	Submitted/complies
(1) Storm Drain calculations.	Submitted/complies
(2) Low Impact Design (LID) analysis and Water Quality Report.	Submitted/complies
b. Utility plan.	Submitted/complies
(1) Payment of fees as stated in the City's current adopted Fee Schedule.	Submitted/complies

SITE PLAN

Final site plan approval will be required prior to the submittal of any building permits. Some site plan and SG overlay requirements have been addressed but the architectural and building requirements need to be addressed prior to submitting building permits.

Engineering Review:

1. **Geotechnical Report.**
 - a. The original geotechnical report was provided by CMT Engineering and is dated September 17, 2021. Updates to this report have been provided based on the various proposed development configurations by various developers over the past 3 years. Prior to final approval, an updated letter / addendum must be provided specifically addressing the current proposed layout.
 - b. A Slope / Non-Disturbance Easement is needed to protect the hillside from being compromised due to unauthorized excavation. Prior to final approval, the geotechnical engineer or geologist should determine where the line should be drawn and the easement needs to be added to the final plat.
2. **Parking.** The following shows the current proposed parking stall counts. The final proposed commercial uses may change this requirement, but we are comfortable that sufficient space has been allocated for the most intense uses.
 - a. **Commercial – Retail (1 stall per 200 gross sf)**
 - i. Phase 1 – 9,096 sf = 46 req. → 58 provided (complies)
 - ii. Phase 2 – 7,196 sf = 36 req. → 52 provided (complies)
 - b. **Residential – Dwelling Unit (2 per unit)**
 - i. Phase 1 – 30 units = 60 req. → 120 provided (complies)
 - ii. Phase 2 – 27 units = 56 req. → 108 provided (complies)
 - c. **Multi-Family Dwelling Visitor (1 per 3 units)**
 - i. Phase 1 – 30 units = 10 req. → 10 provided (complies)
 - ii. Phase 2 – 27 units = 9 req. → 9 provided (complies)
3. **Phasing and unknown Commercial Uses.** Since the final uses of the commercial buildings are not yet known, a complete site plan cannot be reviewed or approved yet. However, the utility lines to support the townhomes traverses commercial property. If the final requested use of these commercial buildings causes a change to what is already proposed or installed, the developer will need to make whatever revisions are necessary to accommodate and support the change (including utility lines, parking, landscaping, etc.).
4. **Grading and Drainage Plan.** The improvement plans provided demonstrate acceptable grading and drainage for preliminary approval.
 - a. The storm drain calculations provided indicate that the proposed detention basin and other drainage facilities will work.
 - b. A Water Quality Report was provided but will need to be stamped up and signed by the preparer to receive final approval.
5. **Utility Plan.** The improvement plans provided demonstrate acceptable utilities for preliminary approval.
6. **Final Plat and Improvement Plans.** The ALUA Board is responsible for reviewing the final plat and improvement plans. Approval must be received before the developer may begin construction.

Staff Recommends approval of the Gateway Preliminary Plat.

Project Narrative/Notes/Revisions

1. 2024/10/03 CK – COMPLETED DESIGN FOR CLIENT & CITY REVIEW.

South Weber Gateway
PUD Subdivision Plans

SOUTH WEBER CITY, DAVIS COUNTY, UTAH
OCTOBER 2024



Vicinity Map
NOT TO SCALE



REVISIONS	DESCRIPTION
DATE	

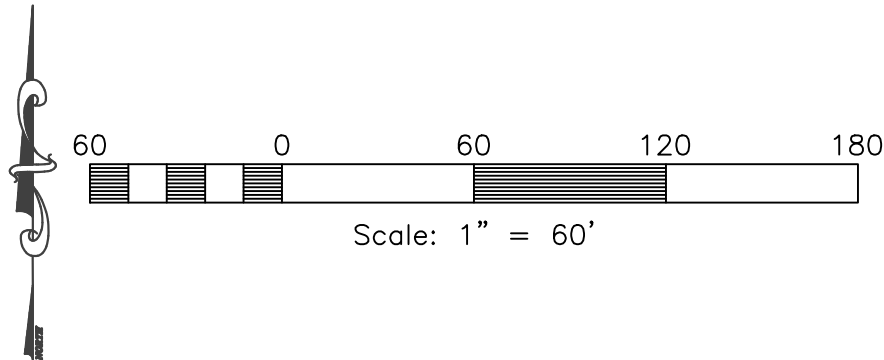


Sheet Index

- Sheet 1 - Cover/Index Sheet
- Sheet 2 - Notes/Legend/Street Cross-Section
- Sheet 3 - Proposed Site Plan
- Sheet 4 - Grading & Drainage Plan
- Sheet 5 - Utility Plan
- Sheet 6 - Utility Outfall & Detention Basin
- Sheet 7 - UDOT Striping Plan
- Sheet 8 - Civil Details
- Sheet 9 - 7700 South Street - 1+00.00-11+00.00
- Sheet 10 - 2400 East Street - 0+50.00-4+00.00
- Sheet 11 - 2350 East Street - 1+00.00-4+45.00
- Sheet 12 - Utility Outfall - 0+00.00 - 9+50.00
- Sheet 13 - Storm Water Pollution Prevention Plan Exhibit
- Sheet 14 - Storm Water Pollution Prevention Plan Details
- Sheet 15 - Landscape Plan

Site Information

APN# 130340068	
SOUTH WEBER CITY, DAVIS COUNTY, UTAH	
PROPERTY ZONE.....R7	
TOTAL PARCEL AREA.....	393,007 s.f.
BUILDING AREA.....	76,082 s.f. 19.3%
HARD SURFACED AREA.....	182,180 s.f. 46.3%
LANDSCAPE AREA.....	98,512 s.f. 25.0%
OPEN SPACE AREA.....	127,193 s.f. 32.3%
PARKING STALLS.....	4 STALLS
GARAGE PARKING.....	114 SPACES
DRIVEWAY PARKING.....	114 SPACES



Engineer's Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

Geotechnical Report:

Dated: 09/17/2021
CMT Engineering
CMT Project No. 900166
PH: (801) 908-5859



Know what's below.
Call before you dig.

Surveyor:

Trevor Hatch
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

Landscape Architect:

Nathan Peterson
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

Developer Contact:

Justin Nielsen
Stillwater Construction
PO Box 638,
Roy, UT, 84067
PH: (801) 668-8778

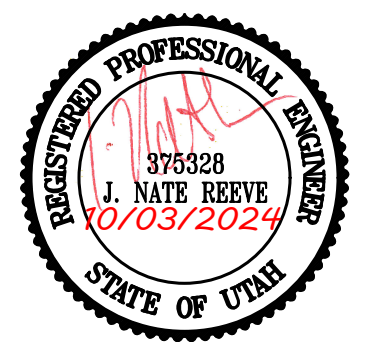
Project Contact:

Nate Reeve
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

South Weber Gateway
PUD Subdivision Plans

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Cover/Index Sheet



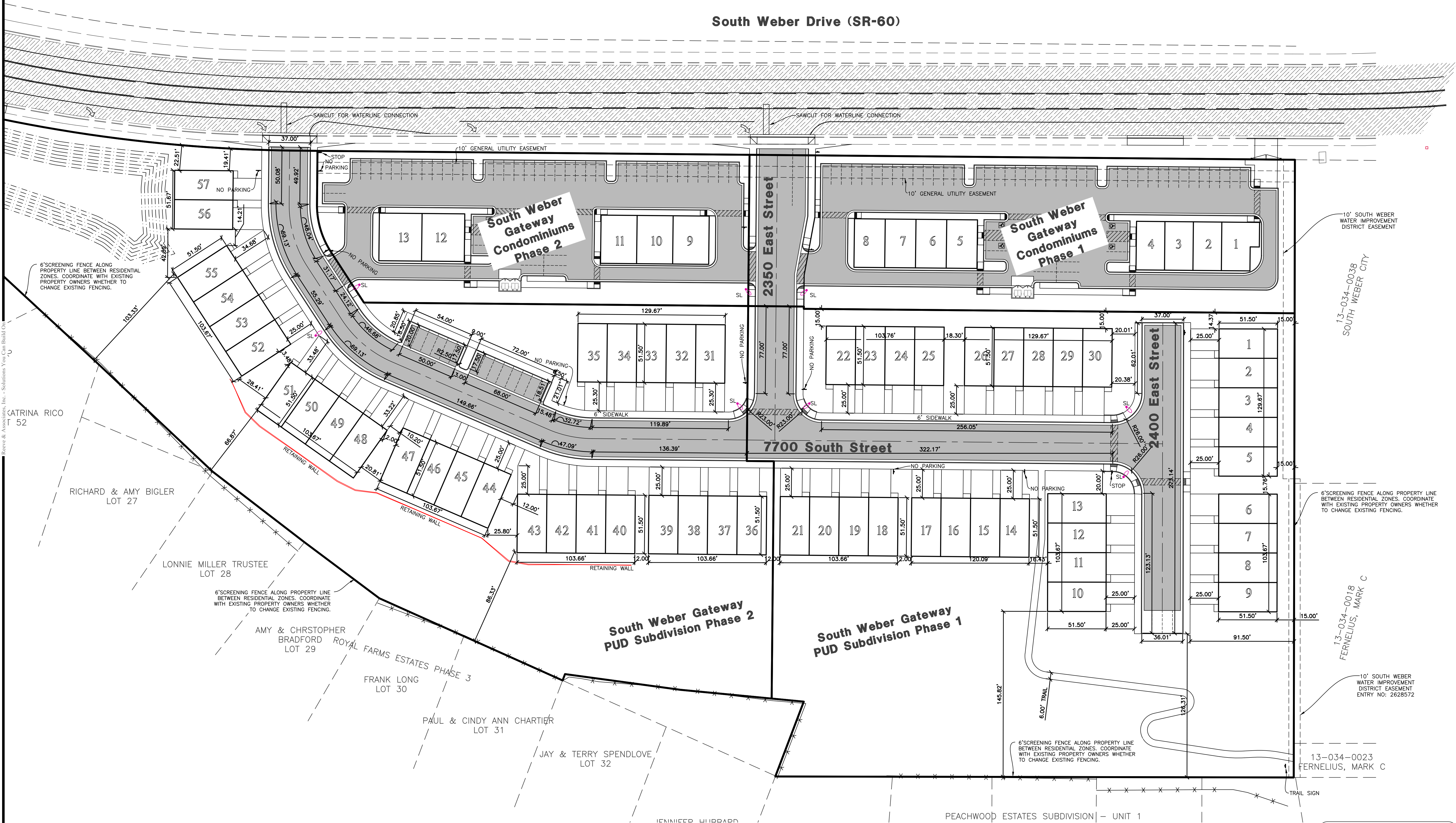
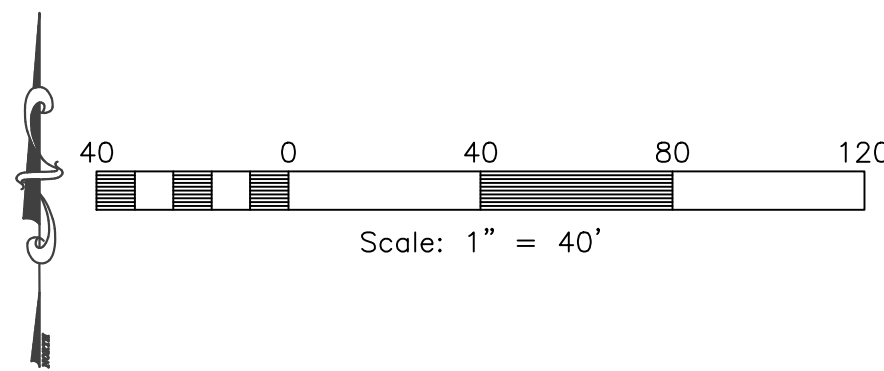
Project Info.

Engineer:
J. NATE REEVE, P.E.
Drafter:
C. KINGSLEY
Begin Date:
OCTOBER 2024
Name:
SOUTH WEBER GATEWAY
PUD SUBDIVISION
PLANS
Number: 7037-12

Notice to Contractor:

- ### Utility Notes:

- Reeve & Associates, Inc. - Solutions You Can Build On



Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DESCRIPTION
DATE	

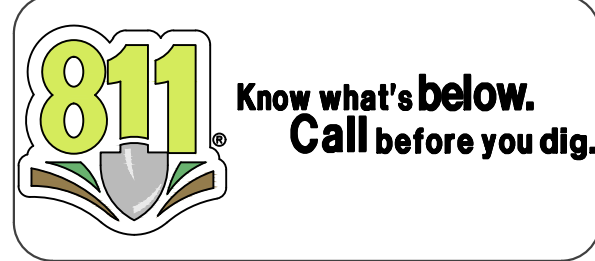
**South Weber Gateway
PUD Subdivision Plans**
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Proposed Site Plan



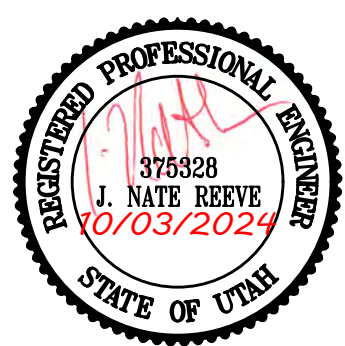
Project Info.

Engineer:
J. NATE REEVE, P.E.
Drafter:
C. KINGSLEY
Begin Date:
OCTOBER 2024
Name:
SOUTH WEBER GATEWAY
PUD SUBDIVISION
PLANS
Number:
7037-12

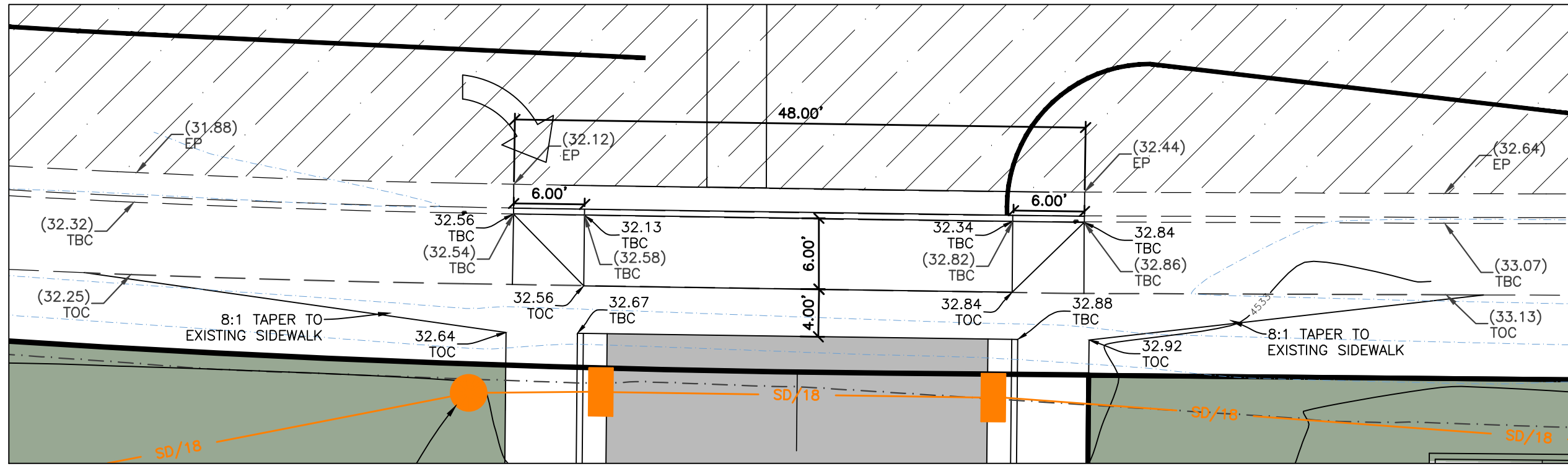
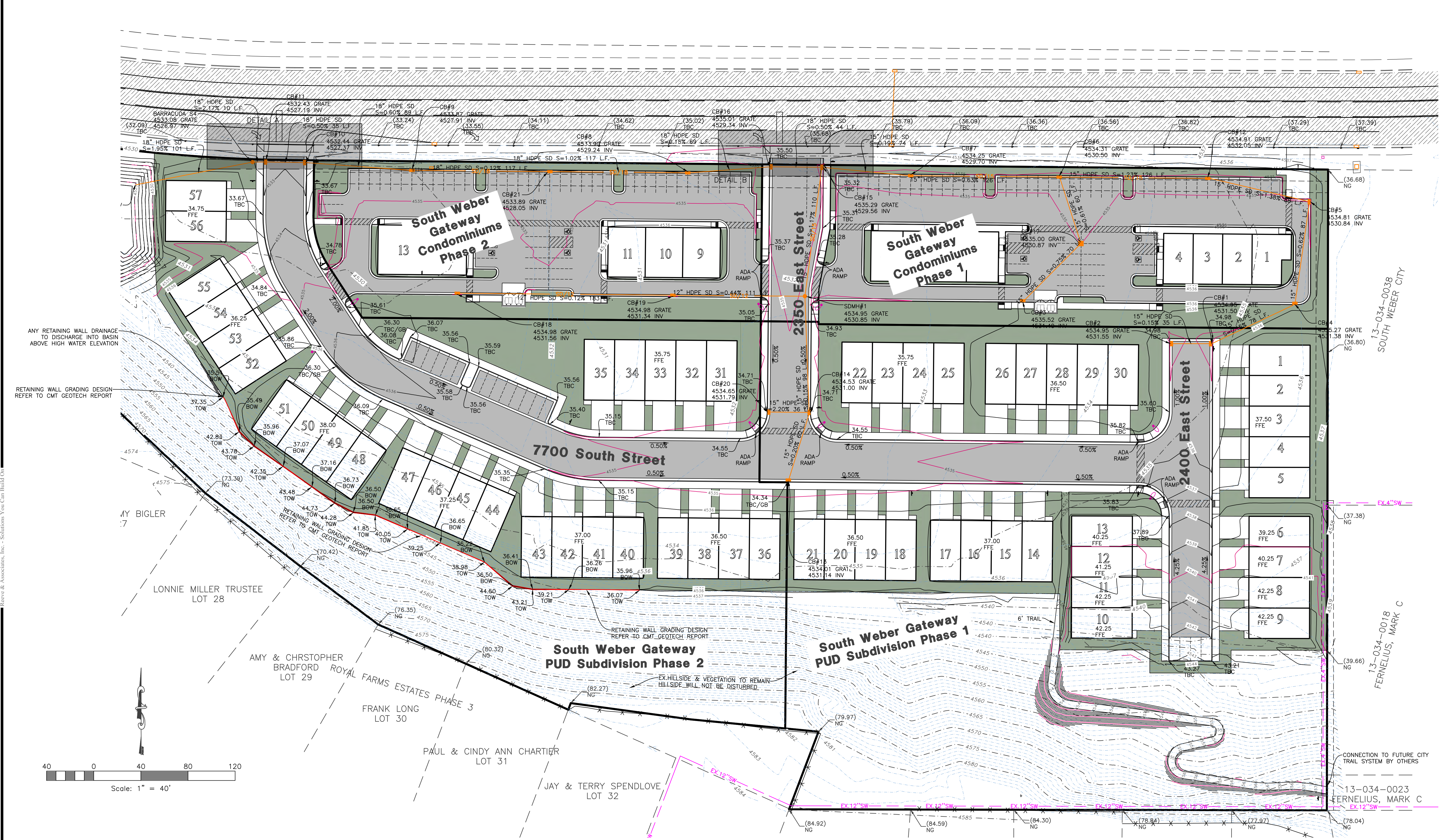


REVISIONS	DESCRIPTION
DATE	

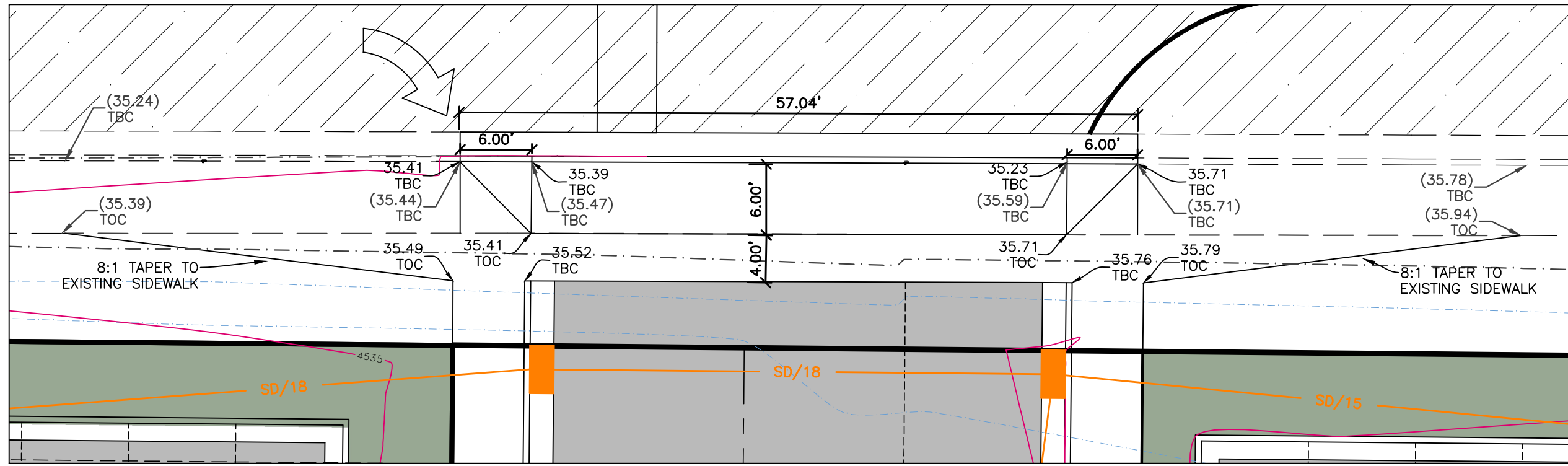
South Weber Gateway
PUD Subdivision Plans
SOUTH WEBER CITY, DAVIS COUNTY, UTAH
Grading & Drainage Plan



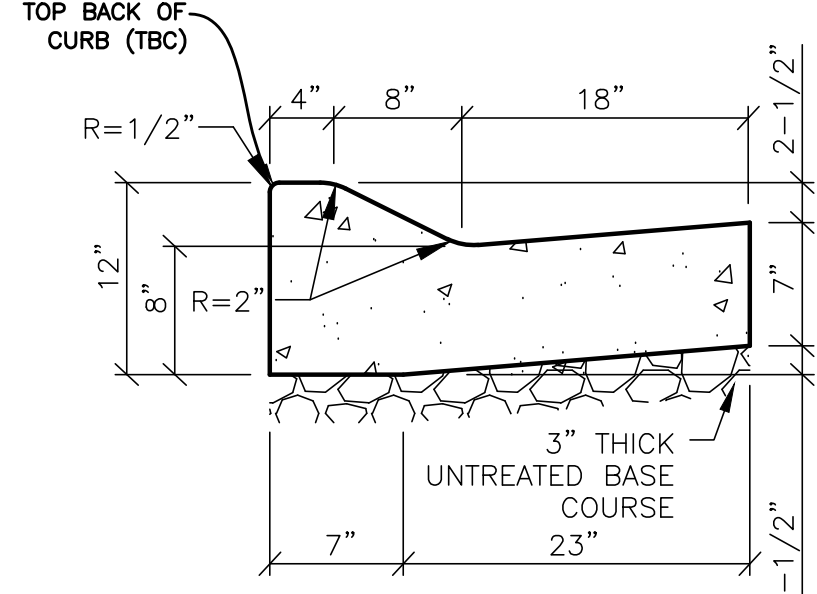
Project Info.
Engineer: J. NATE REEVE, P.E.
Drafter: C. KINGSLEY
Begin Date: OCTOBER 2024
Name: SOUTH WEBER GATEWAY
PUD SUBDIVISION
PLANS
Number: 7037-12



Detail A
SCALE: 1:10

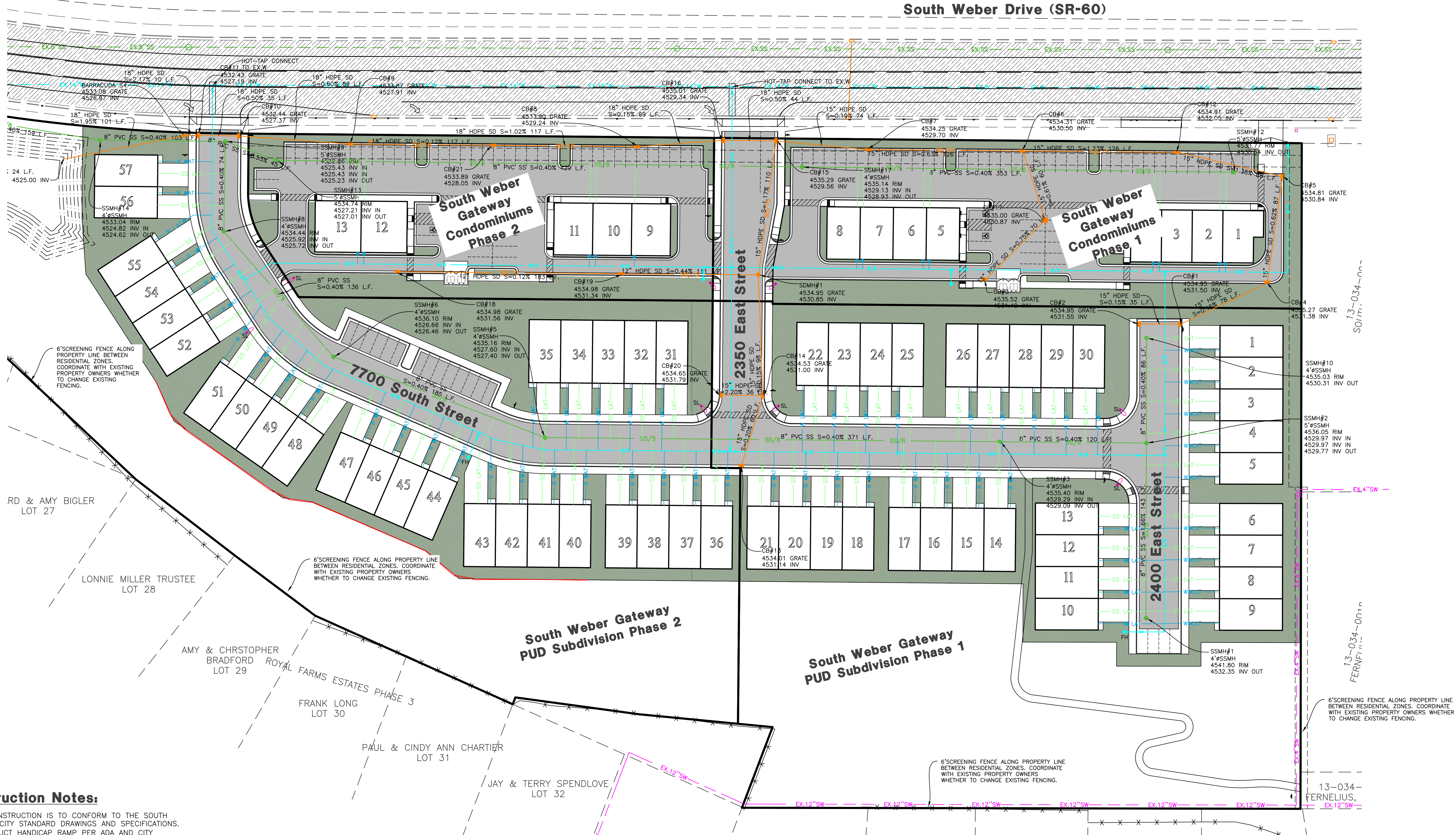
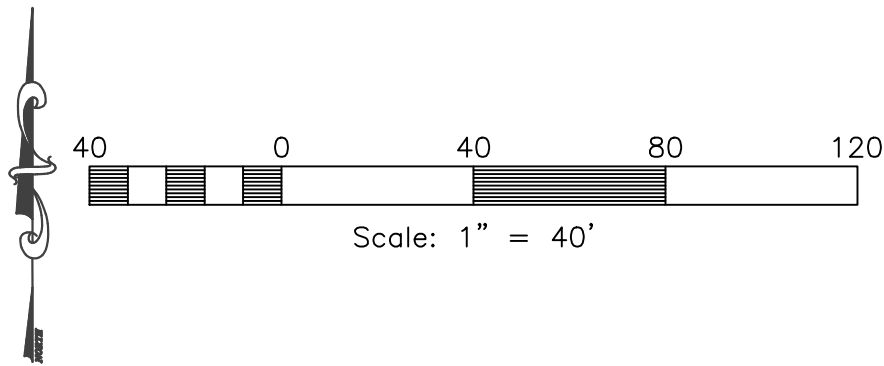


Detail B
SCALE: 1:10



30' Mountable Curb & Gutter
SCALE: NONE

CURBING WITHIN THE R7 CONSTRUCTION PLANS
TO BE 30" MOUNTABLE CURB & GUTTER



Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE SOUTH WEBER CITY STANDARD DRAWINGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

CULINARY WATER
WATERLINE MAINS WILL BE PUBLIC. ALL OTHERS TO BE PRIVATE.
W/8 - 8" C900 PVC DR-14 (BLUE) WATER LINE
W - 1" TYPE K COPPER SERVICE LATERAL

SANITARY SEWER
SEWER MAINS & LATERALS TO BE PRIVATE.
SS/4 - 4" PVC SDR 35 SERVICE LATERAL
SS/8 - 8" PVC SDR-35 SEWER LINE

STORM DRAIN
ALL STORM DRAIN LINES AND DETENTION BASIN TO BE PRIVATE.
SD/15 - 15" HDPE STORM DRAIN
SD/18 - 18" HDPE STORM DRAIN

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.



REVISIONS	DESCRIPTION
DATE	

South Weber Gateway PUD Subdivision Plans

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

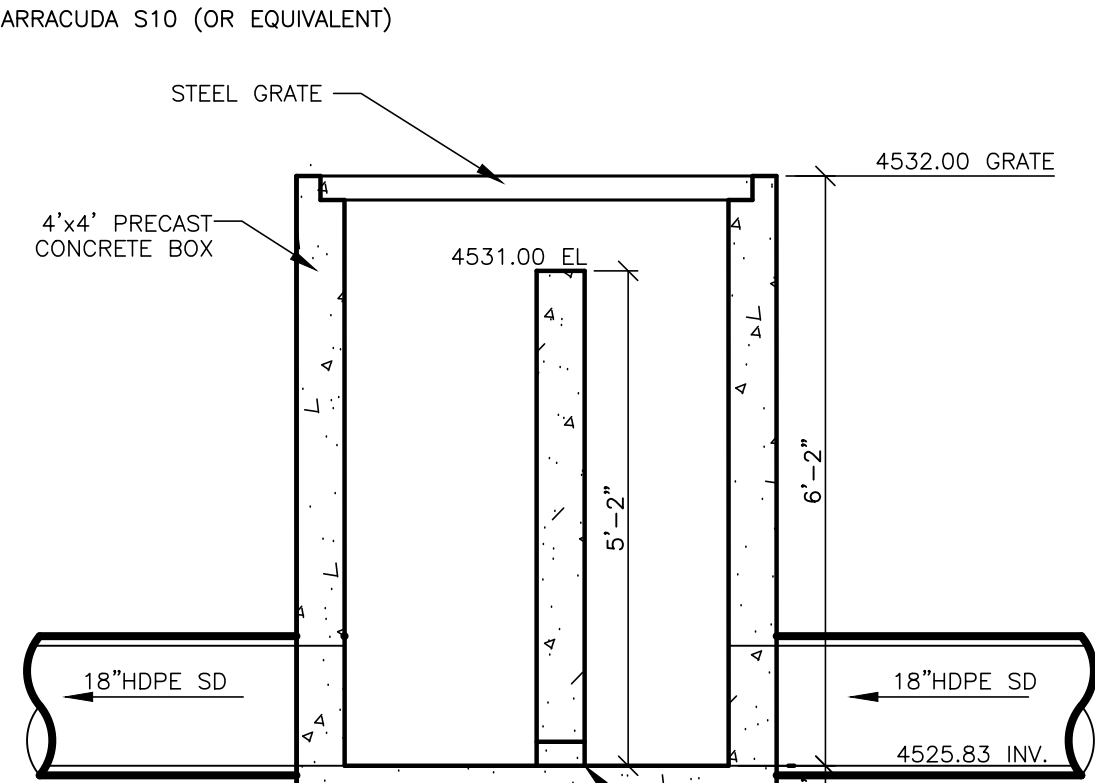
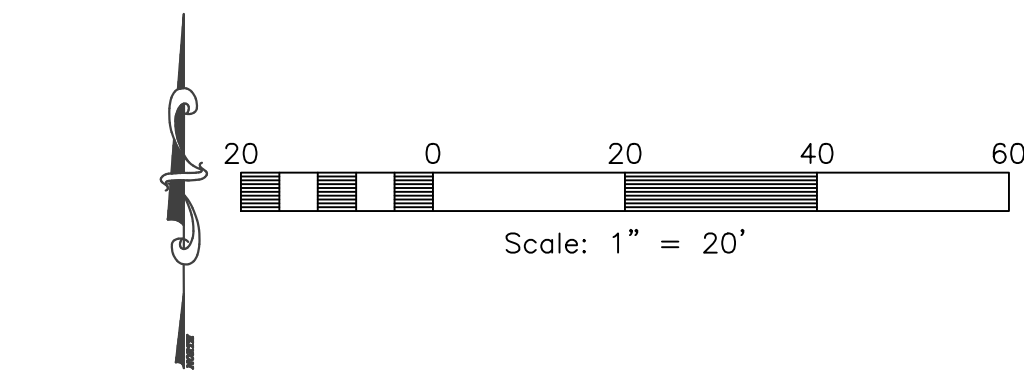
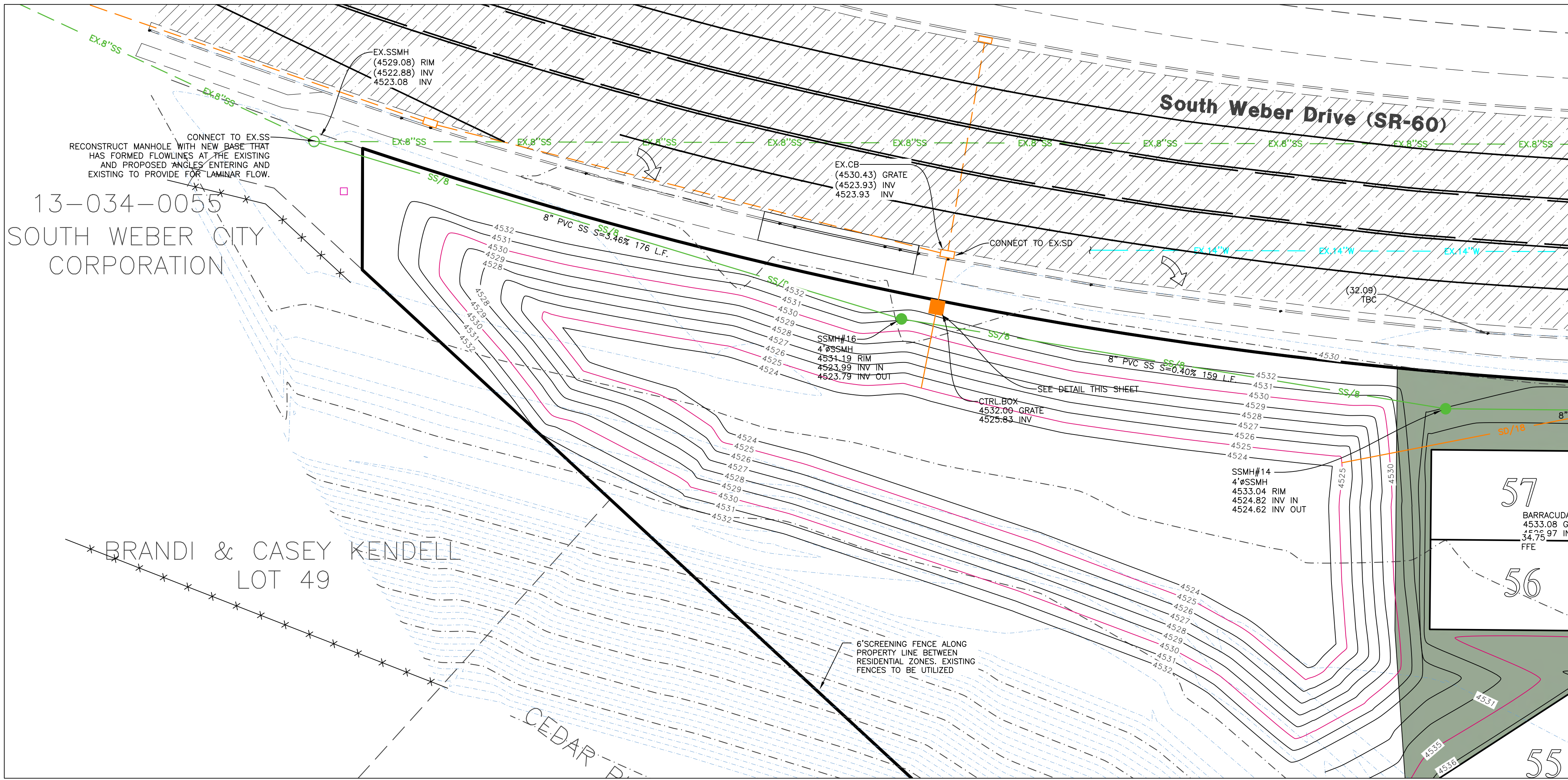
Utility Plan



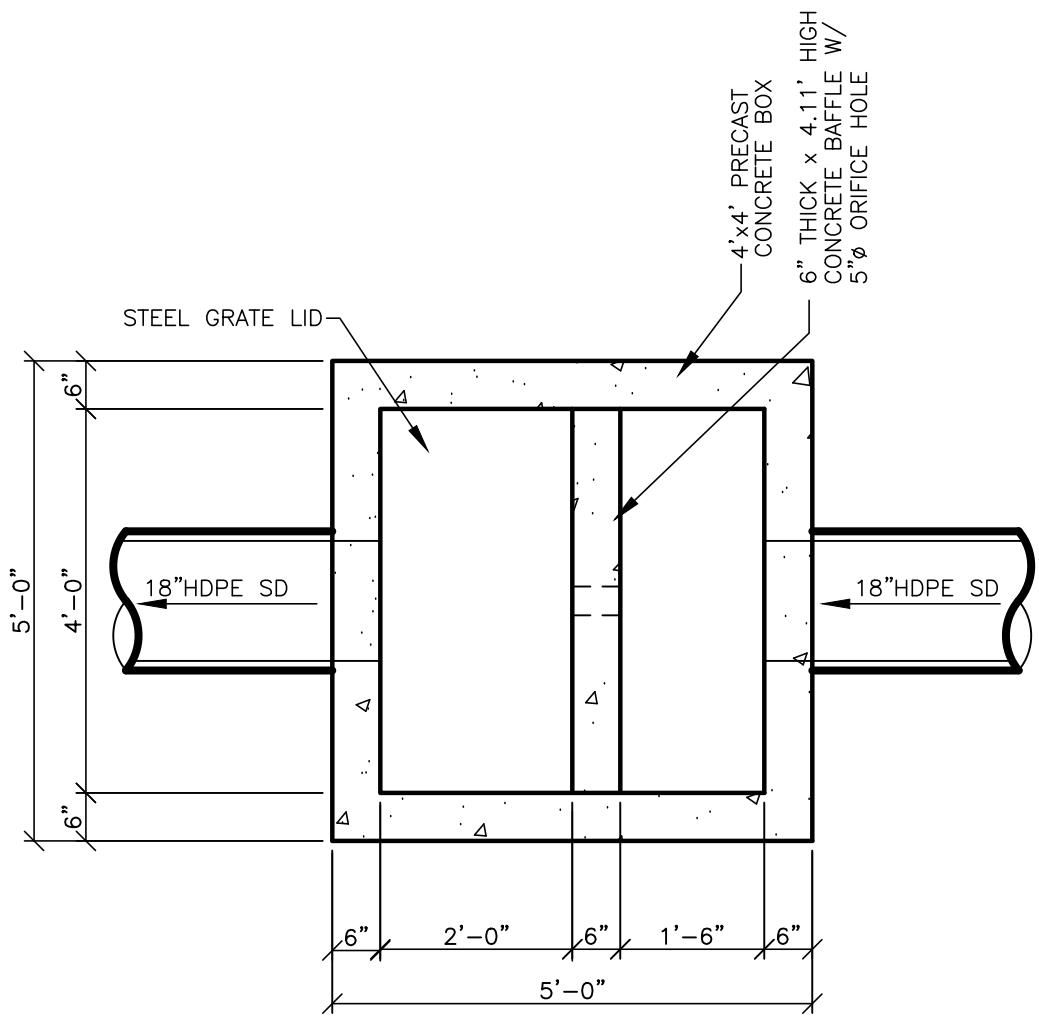
Project Info.

Engineer:
J. NATE REEVE, P.E.
Drafter:
C. KINGSLEY
Begin Date:
OCTOBER 2024
Name:
SOUTH WEBER GATEWAY PUD SUBDIVISION PLANS
Number: 7037-12





4'x4' Control Box Detail
SCALE: NONE



4'x4' Control Box Plan
SCALE: NONE

Storm Runoff Calculations

South Weber Gateway

1/3/2022 vcs

3/2/2022 Revised 2021

The following runoff calculations are based on the Rainfall - Intensity - Duration Frequency Curve for the South Weber area taken from the NOAA Atlas 14 database. Calculations have been completed for the 100-yr 24-hr storm event. Storm water runoff has been calculated for a fully developed site and limited to a release rate of 0.1 cfs/acre.

The calculations are as follows:

Drainage Area:

Total Area =	11.64 acre or	507,182 ft ²	
Runoff Coefficients			
Paved Area		174,044	C = 0.9
Roof		80,683	C = 0.9
Landscaped Area		252,455	C = 0.2
Weighted Runoff Coefficient			C = 0.55

LID Retention

80 th Percentile Rainfall Event (d)	0.45 in
Is the site Feasible for LID?	Yes
Site Imperviousness (I)	0.50
NRCS Soil Group	B
Rv Equation	0.84*1.169
Rv (Soil Group A: 0.84*1.302; B: 0.84*1.169; C/D: 0.83*1.122)	0.38
V _{pond} = Rv x d x Total Site SF	7,210 c.f.

Rainfall Intensities:

2-yr intensity for a 30 minute TOC	0.97 in/hr
100-yr intensity for a 120 minute TOC	3.18 in/hr

Peak Run-off:

Runoff Coefficient	C = 0.55
Rainfall Intensity	I = see above
Acres	A = 11.64 ACRES
Q 2 yr	Q = 6.23 cfs
Q 100 yr	Q = 20.42 cfs

Volume of Run-off for 100-year Storm Event:

C =	0.55					
I =	See Below in/hr					
A =	507,182.32 ft ²					
Q(out) =	1.16 ft ³ /s (0.1 cfs per acre)					
time (min)	time (sec)	i (in./hr.)	Q (cfs)	Vol. in (cf)	Vol. out (cf)	Difference (cf)
0	0	0.00	0.00	0	0	0
5	300	7.21	48.69	14007	349	13657
10	600	5.48	35.48	21292	699	20593
15	900	4.53	29.33	28401	1048	27353
30	1800	3.05	19.75	35551	2096	33455
60	3600	1.89	12.24	44060	4192	39868
120	7200	1.08	6.99	50354	8383	41971
180	10800	0.74	4.79	51683	12575	39108
360	21600	0.41	2.65	57208	25150	32058
720	43200	0.25	1.63	70216	50299	19917
1440	86400	0.14	0.91	78329	100598	-22269

Orifice Sizing

Given:	Q = 1.16 cfs
	2g = 64.4 ft/s ²
	H = 3.00 ft
	Cd = 0.62 for circular openings
R =	SQRT(Q/(10.7*(64.4*H*0.5)))
R =	0.21 feet
	2.49 inches
D =	4.98 inches
A =	19.47 inches *2
	0.1352 ft *2

SUMMARY:

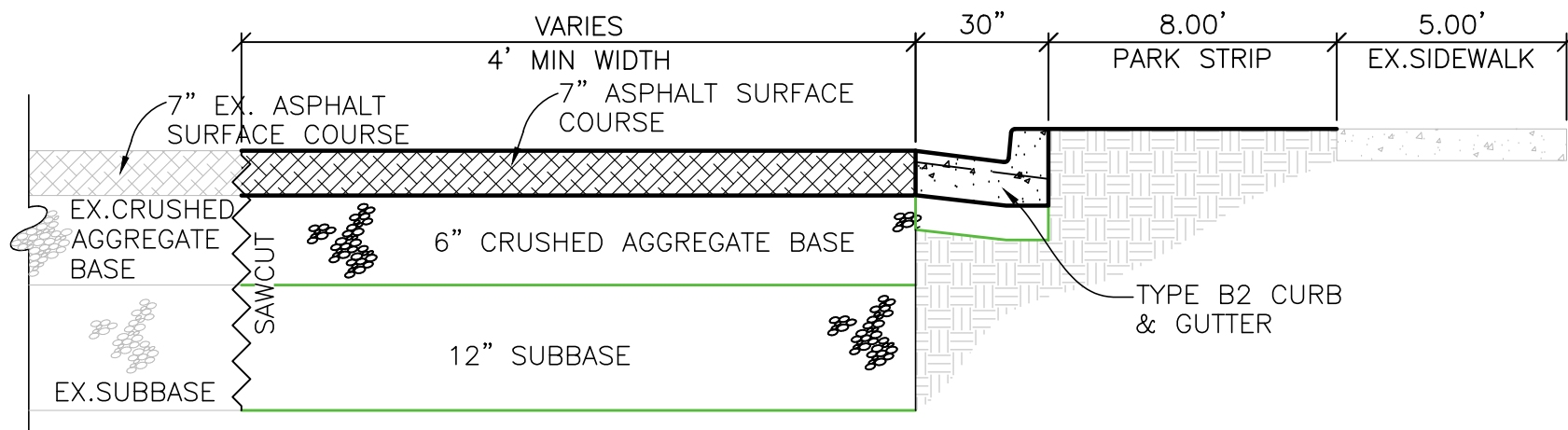
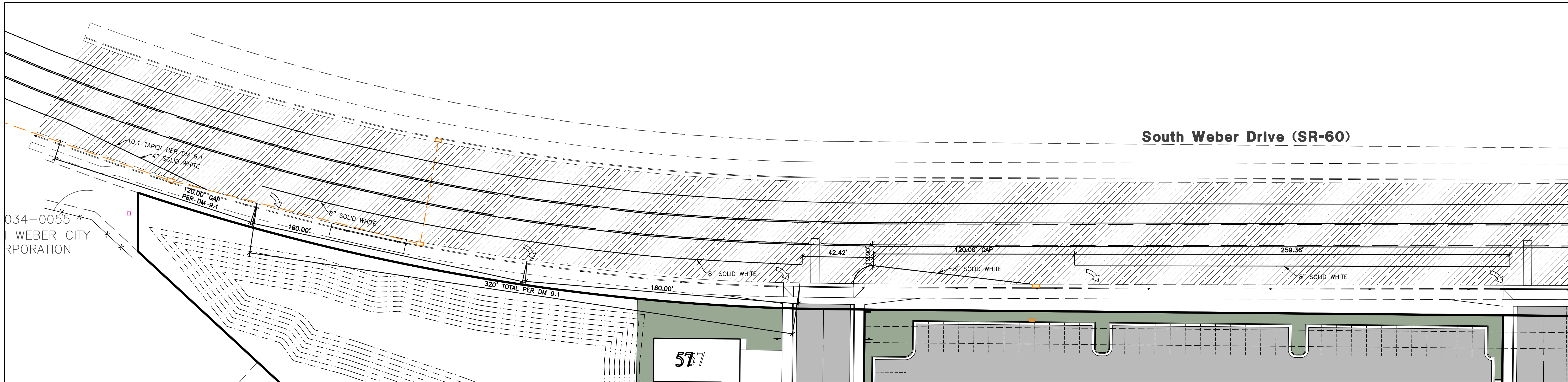
The required 100-yr storage volume is	41,971	cubic feet
The required LID Retention volume is	7,210	cubic feet
Orifice size is	5.0	inches

STAGE STORAGE TABLE				
ELEV	AREA (sq. ft.)	DEPT H (ft)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)
4,524.00	6,227.22	N/A	N/A	0.00
4,525.00	9,126.11	1.00	6358.57	13379.71
4,526.00	9,563.93	1.00	8690.91	15712.04
4,527.00	11,371.28	1.00	10454.58	26166.62
4,528.00	13,268.98	1.00	12307.93	38474.55
4,529.00	15,254.32	1.00	14250.12	52724.66
4,530.00	17,326.28	1.00	16279.31	69003.97
4,531.00	19,484.57	1.00	18394.87	87398.84
4,532.00	21,735.33	1.00	20599.70	107998.54

LID RETENTION

HIGH WATER ELEVATION

REVISIONS	DESCRIPTION
DATE	



1. MIX DESIGN ASPHALT CONFORMING TO UDOT SPECIFICATIONS 02741
2. SAWCUT AND TACK COAT VERTICAL CUTS IN ASPHALT PER UDOT SPECIFICATION 027055 PAVEMENT CUTTING

UDOT Street Detail

SCALE: NONE

UDOT NOTE:
REPAIR OR REPLACE ANY DAMAGED CURB, GUTTER &/OR DRIVEWAY. CURB & GUTTER TO BE TYPE B1 CURB, DRIVEWAY TO BE CONSTRUCTED AS GW3A (2017 UDOT DRAWING)

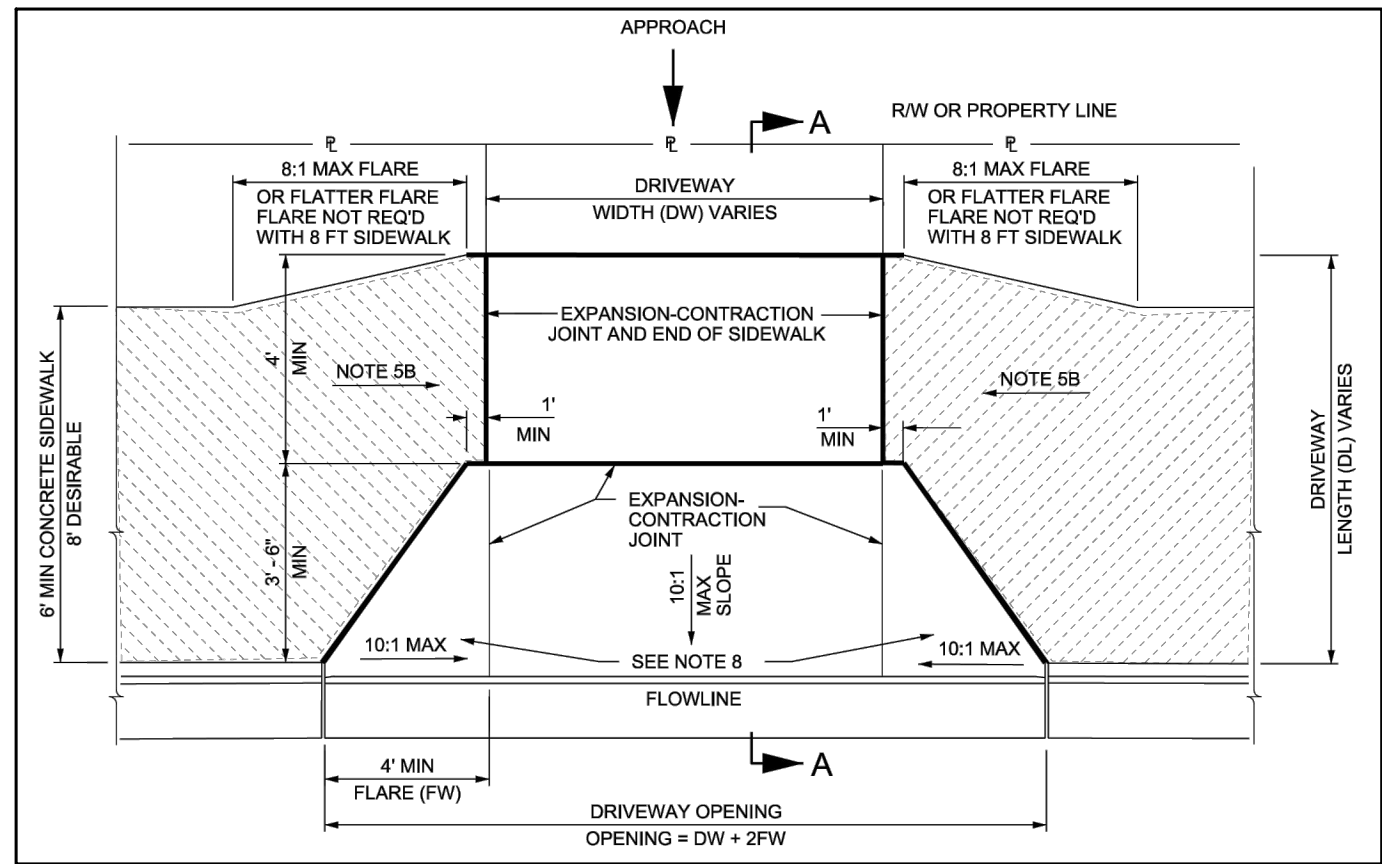
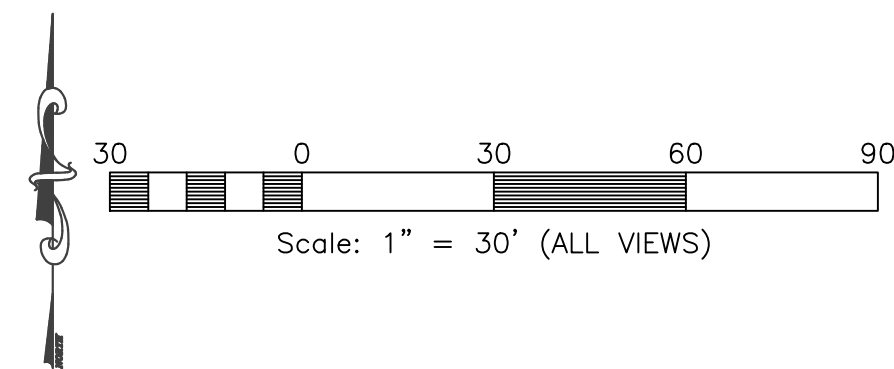
ALL TRENCHES TO BE REPAIRED AS A T-PATCH W/ ASPHALT THE GREATER OF 7" OR TO MATCH EXISTING IN LIFTS NO GREATER THAN 3", 10' ON EACH SIDE OF TRENCH TO BE MILLED 2" DEEP AND REPAVED AS A SINGLE PATCH.

UTILITY WORK REQUIRES SEPARATE PERMITTING, CONTRACTOR TO APPLY DIRECTLY W/ UDOT AT LEAST 30 DAYS IN ADVANCE.

ANY DAMAGED PAINT STRIPING DURING CONSTRUCTION MUST BE REDONE.

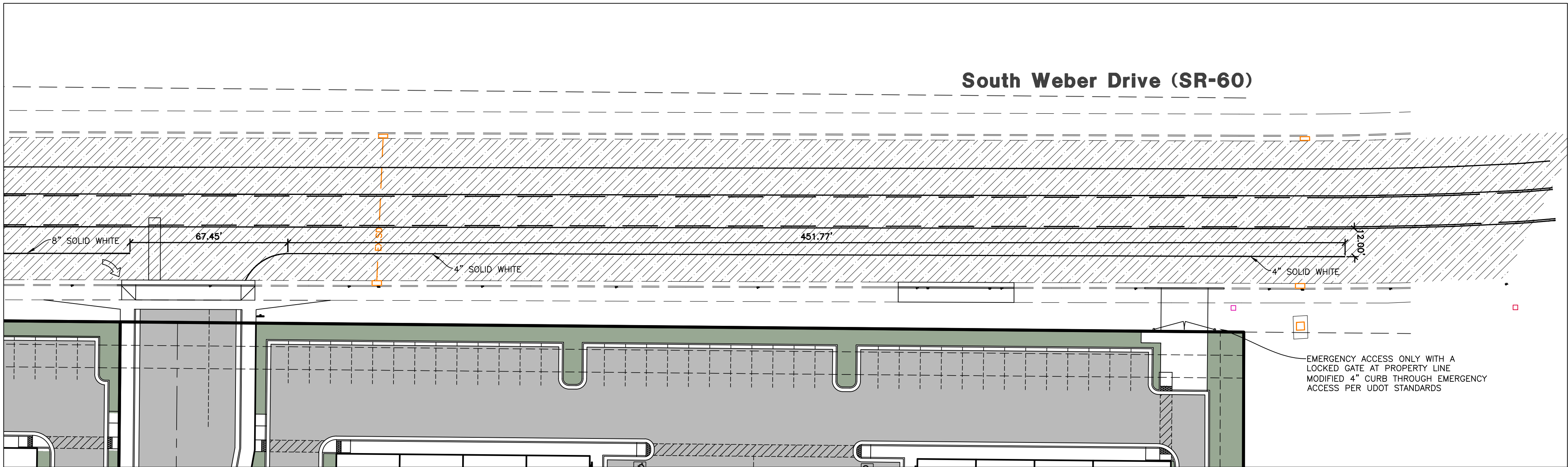
UDOT Notes:

1. ALL CONSTRUCTION WITHIN THE UDOT RIGHT-OF-WAY SHALL CONFORM TO THE MOST CURRENT UDOT STANDARD (INCLUDING SUPPLEMENTAL) DRAWINGS AND SPECIFICATIONS.
2. THE CONTRACTOR IS TO OBTAIN AN ENCROACHMENT PERMIT FROM THE APPLICABLE UDOT REGION PERMIT OFFICE PRIOR TO COMMENCING WORK WITHIN UDOT RIGHT-OF-WAY. WORKING HOUR LIMITATIONS WILL BE LISTED IN THE LIMITATION SECTION OF THE ENCROACHMENT PERMIT.
3. UDOT RESERVES THE RIGHT, AT ITS OPTION, TO INSTALL A RAISED MEDIAN ISLAND OR RESTRICT THE ACCESS TO A RIGHT-IN OR RIGHT-OUT AT ANY TIME.
4. OWNER, DEVELOPER, AND CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGES DIRECTLY OR INDIRECTLY WITHIN THE UDOT RIGHT-OF-WAY AS A RESULT OF DEVELOPMENT ACTIVITIES.
5. OWNER, DEVELOPER, AND/OR CONTRACTOR IS REQUIRED TO HIRE AN INDEPENDENT COMPANY FOR ALL TESTING WITHIN THE UDOT RIGHT-OF-WAY.
6. ALL SIGNS INSTALLED ON THE UDOT RIGHT-OF-WAY MUST BE HIGH INTENSITY GRADE (TYPE XI SHEETING) WITH A B3 SLIP BASE. INSTALL ALL SIGNS PER UDOT SN SERIES STANDARD DRAWINGS.
7. COMPLY WITH THE REQUIREMENTS OF UTAH CODE 17-23-14 (DISTURBED CORNERS - COUNTY SURVEYOR TO BE NOTIFIED - COORDINATION WITH CERTAIN STATE AGENCIES).

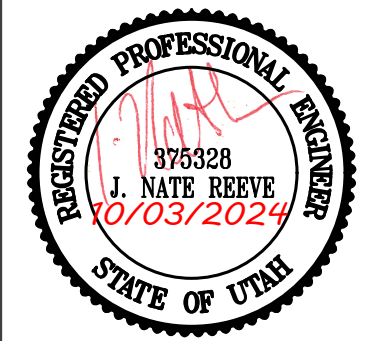


UDOT Flared Driveway With Adjacent Sidewalk Detail

SCALE: NONE



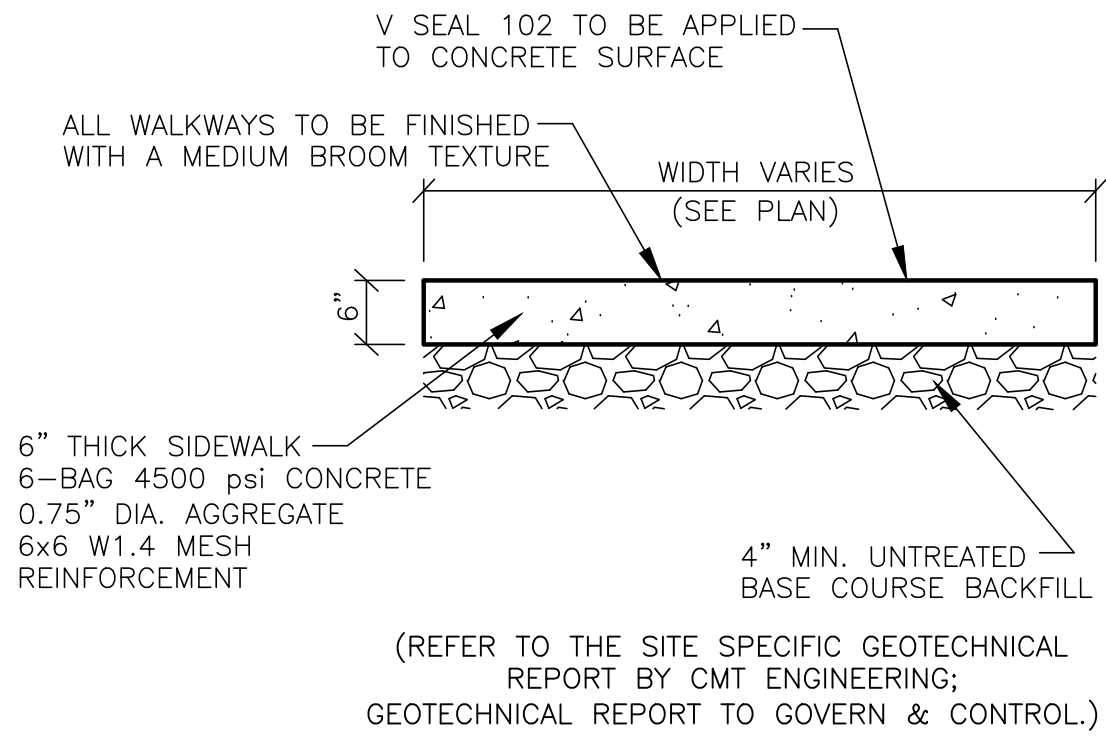
REVISIONS	DESCRIPTION
DATE	



Project Info.	
Engineer:	J. NATE REEVE, P.E.
Drafter:	C. KINGSLEY
Begin Date:	OCTOBER 2024
Name:	SOUTH WEBER GATEWAY PUD SUBDIVISION PLANS
Number:	7037-12

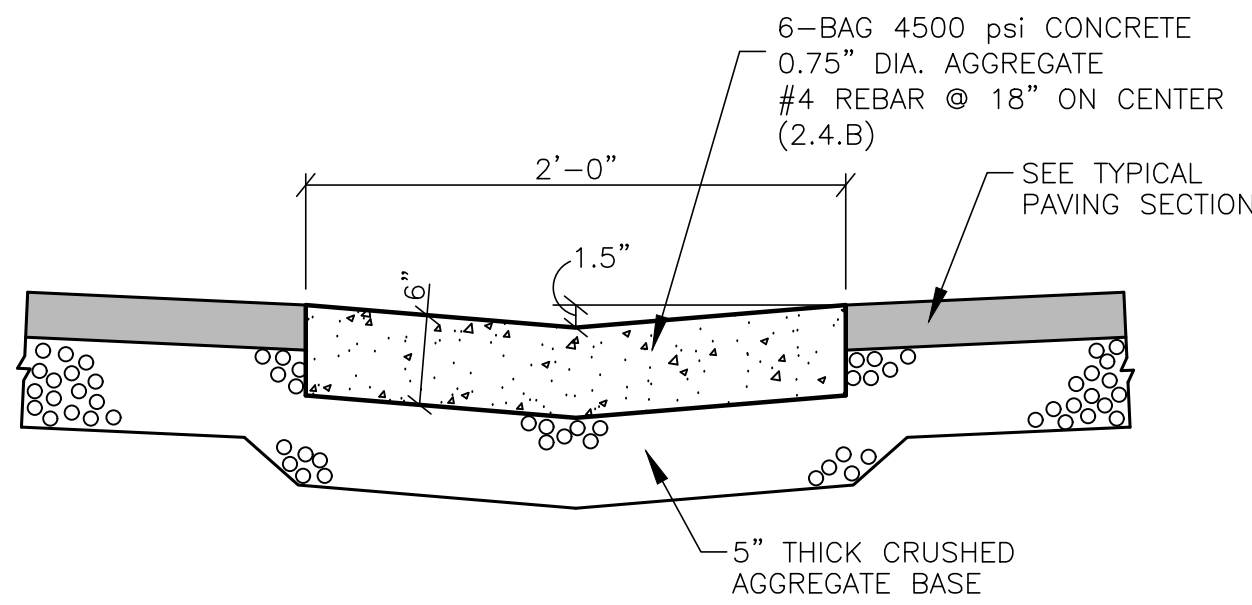
Reeve & Associates, Inc. - Solutions You Can Build On

Reeve & Associates, Inc. - Solutions You Can Build On



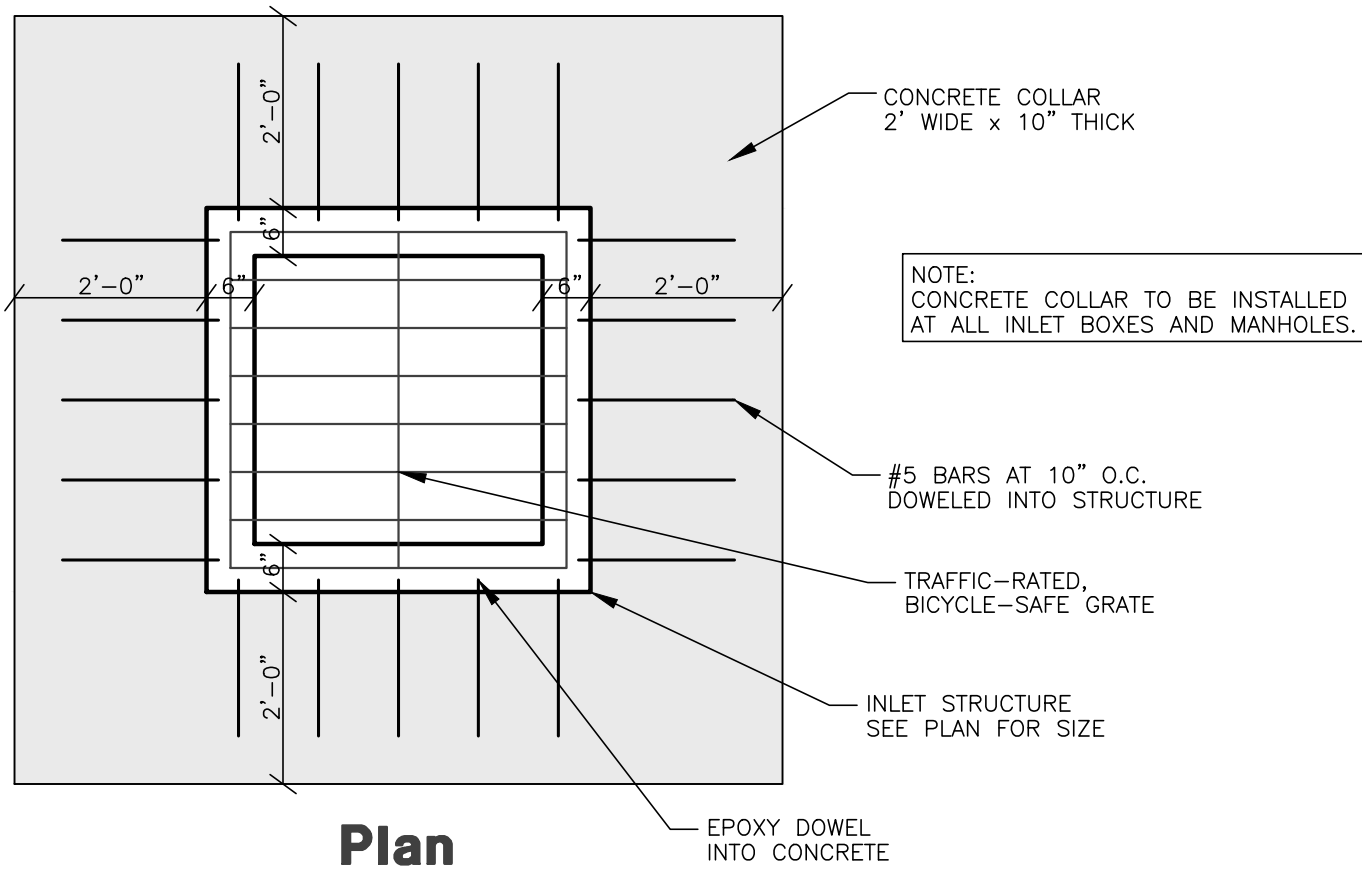
Concrete Walkway

SCALE: NONE



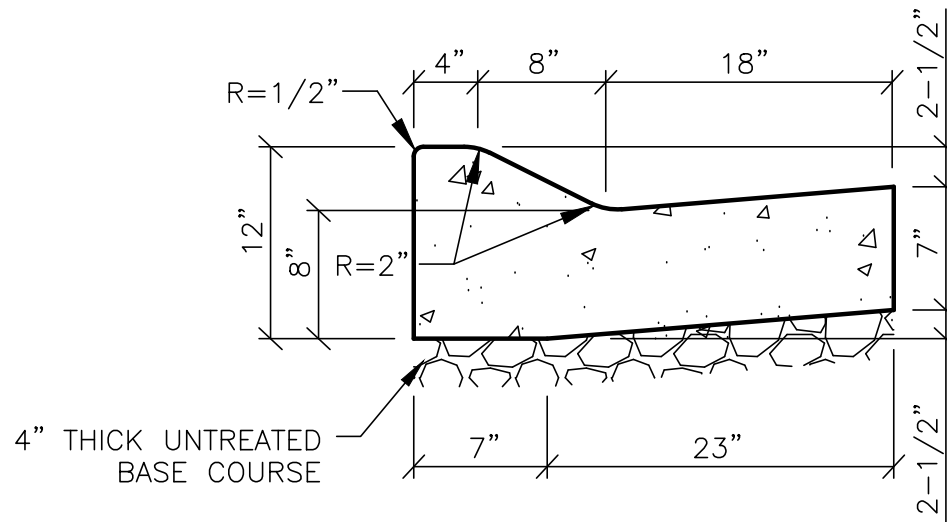
2' Concrete Waterway

SCALE: NONE



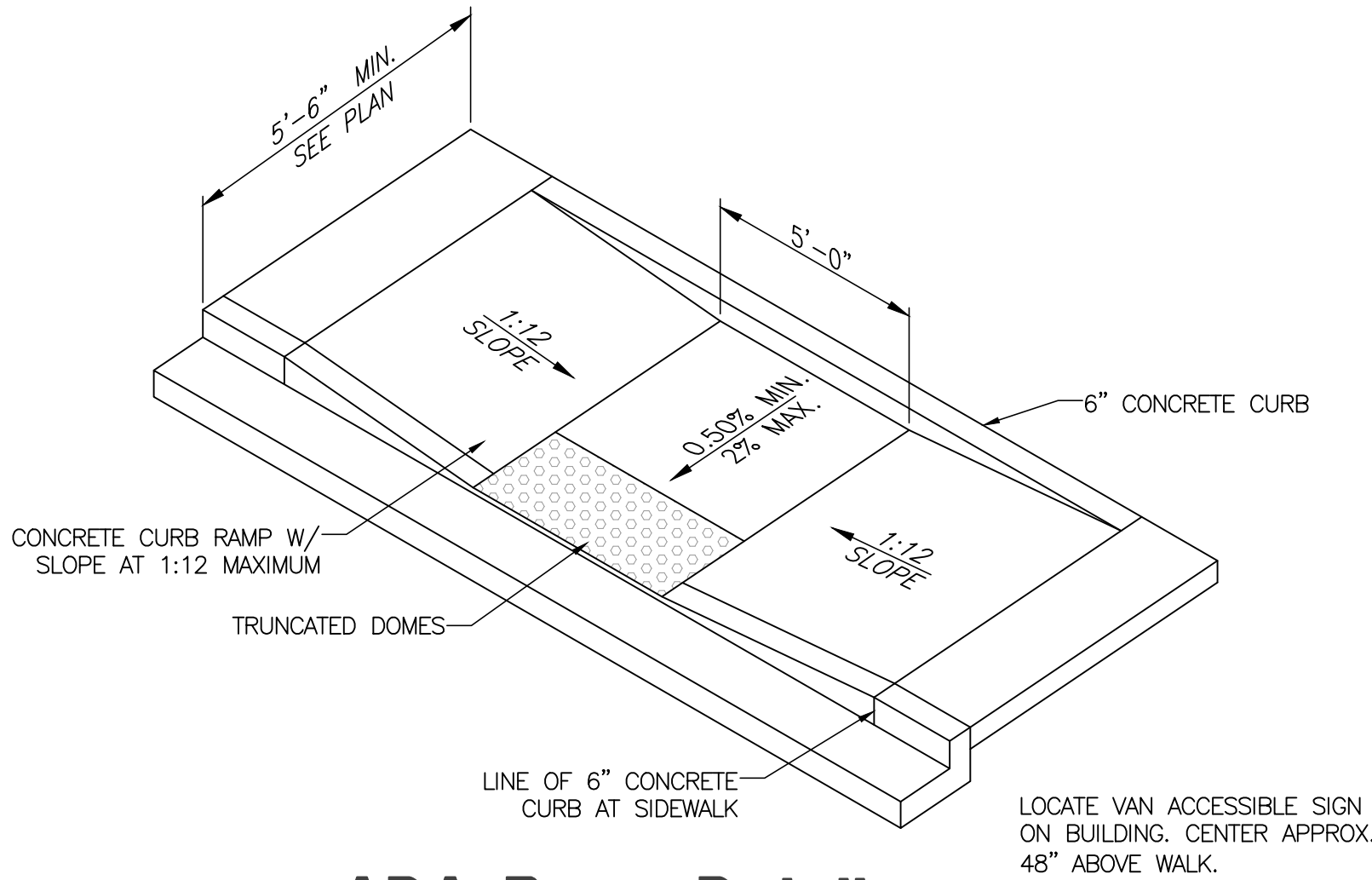
Concrete Collar Detail

SCALE: NONE



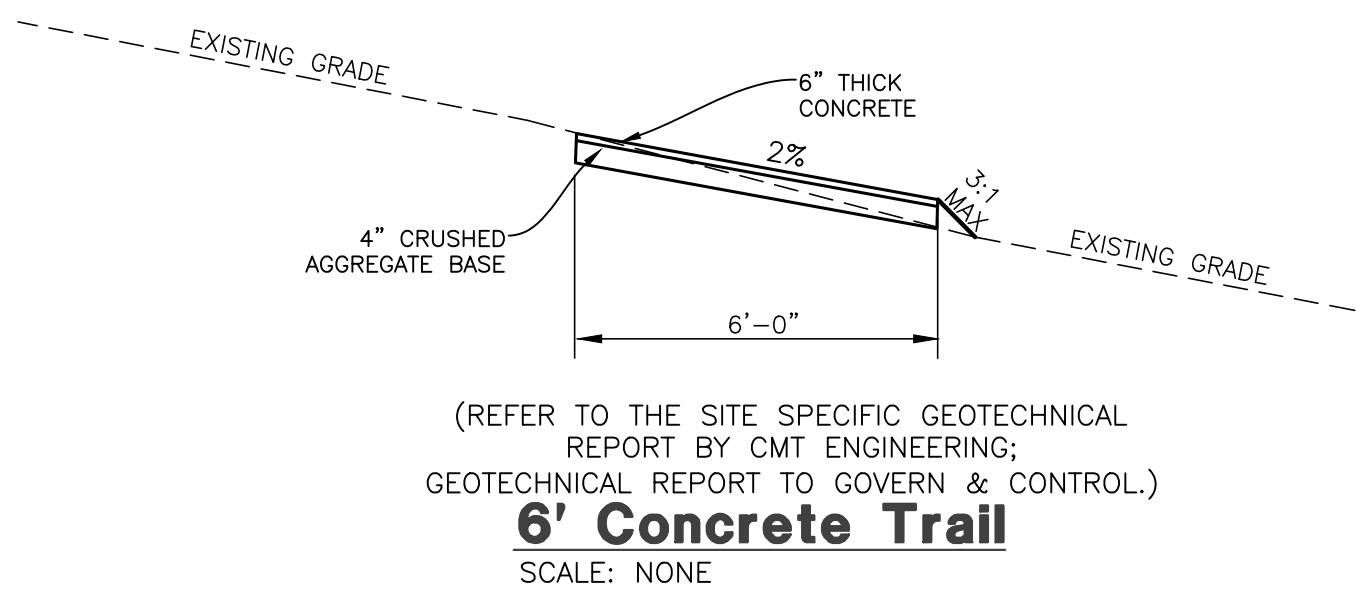
30' Mountable Curb & Gutter

SCALE: NONE



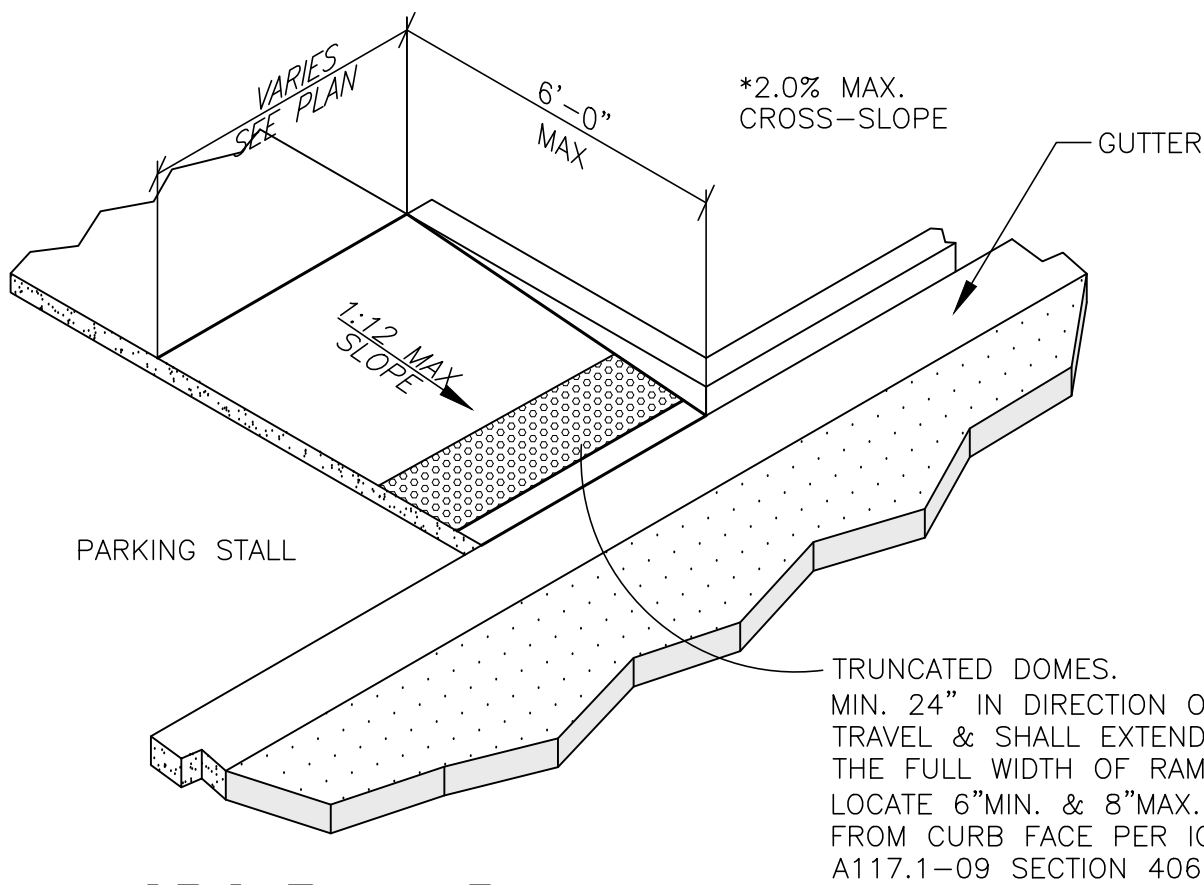
ADA Ramp Detail

SCALE: NONE
REFERENCE APWA STANDARD PLAN NO. 236



6' Concrete Trail

SCALE: NONE



ADA Ramp Detail

SCALE: NONE

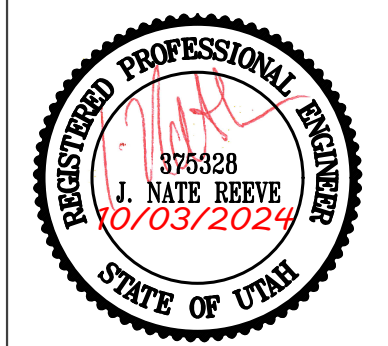
Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DESCRIPTION
DATE	

South Weber Gateway
PUD Subdivision Plans
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Civil Details



Project Info.
Engineer: J. NATE REEVE, P.E.
Drafter: C. KINGSLEY
Begin Date: OCTOBER 2024
Name: SOUTH WEBER GATEWAY PUD SUBDIVISION PLANS
Number: 7037-12

Reeve & Associates, Inc. - Solutions You Can Build On

Reeve & Associates, Inc. - Solutions You Can Build On



REVISIONS	DESCRIPTION
DATE	

South Weber Gateway
PUD Subdivision Plans

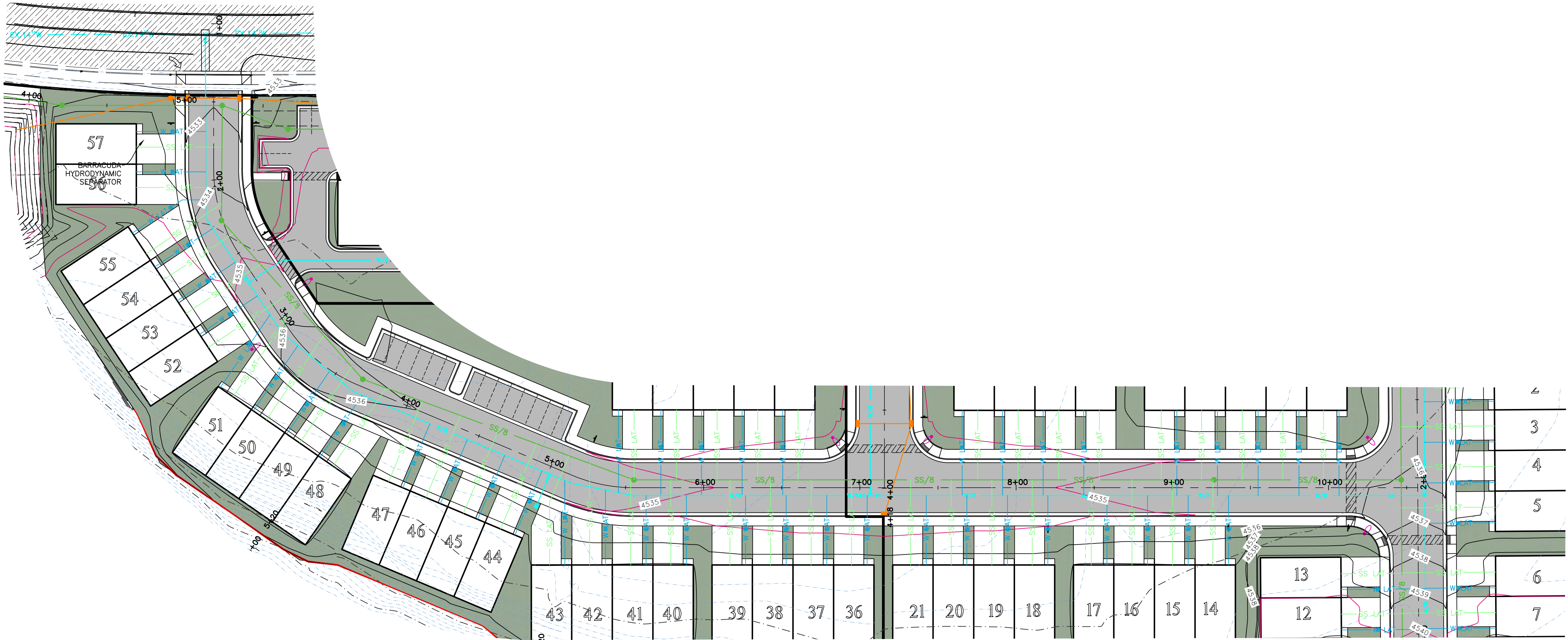
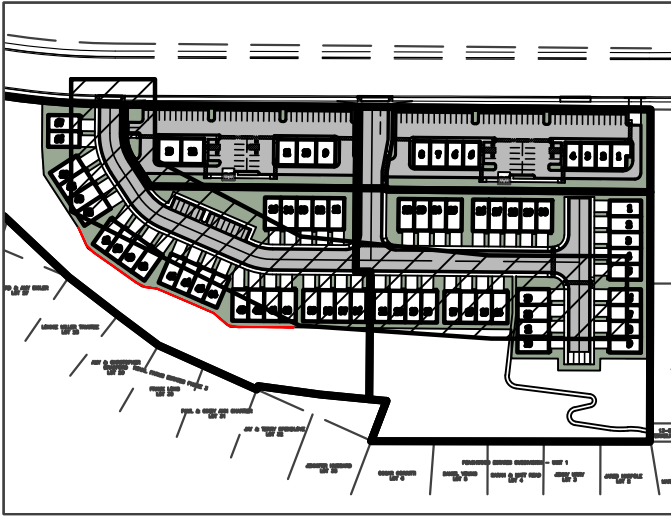
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

7700 South Street 1+00.00 - 11+00.00

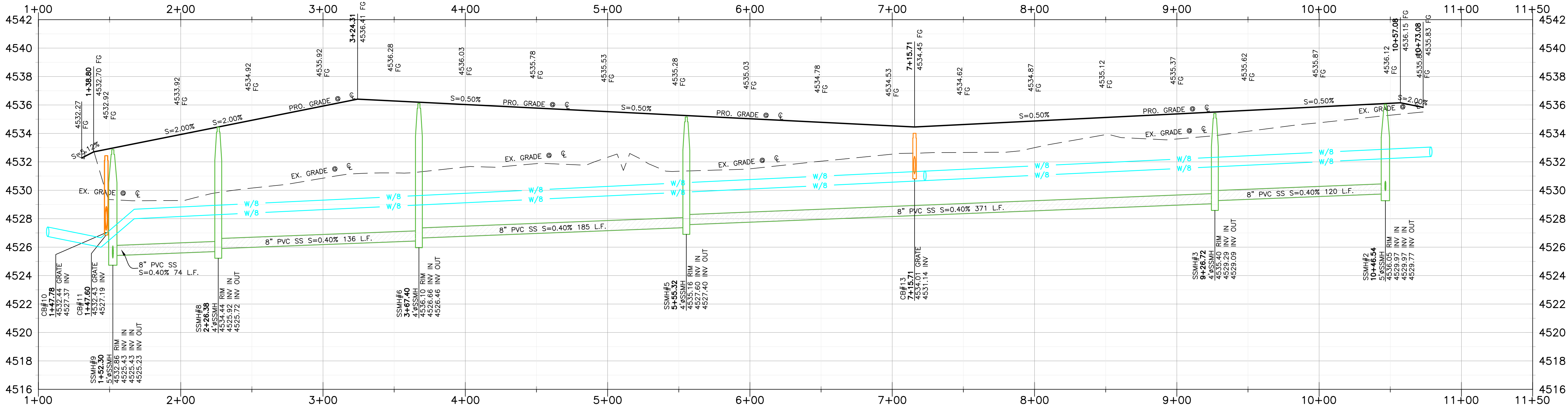
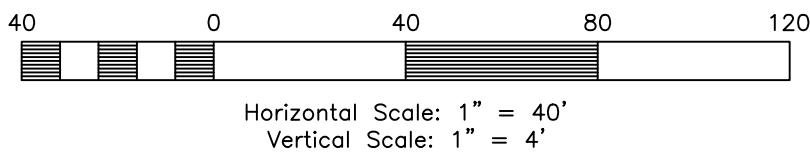


Project Info.
Engineer: J. NATE REEVE, P.E.
Drafter: C. KINGSLEY
Begin Date: OCTOBER 2024
Name: SOUTH WEBER GATEWAY PUD SUBDIVISION PLANS
Number: 7037-12

Key Map
NOT TO SCALE

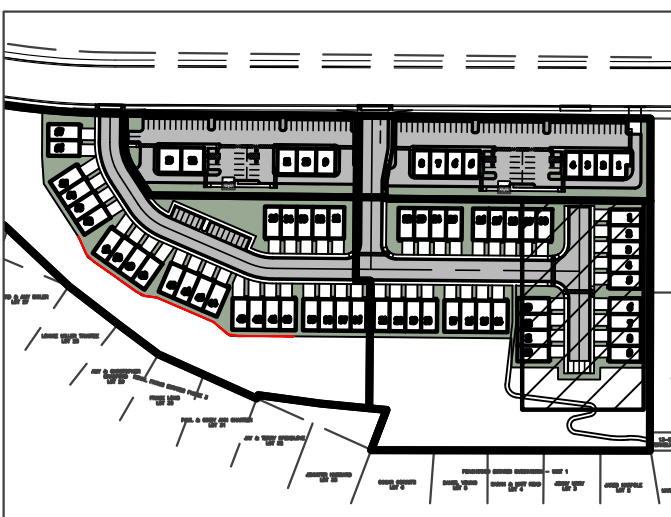


7700 South Street
1+00.00 - 11+00.00





NOT TO SCALE



**Reeve
& Associates, Inc.**
5180 SOUTH 1500 WEST AVENUE, SUITE 8405
TOLSON, UT 84201-3100
TEL: (801) 624-3100 www.raa.co

REVISIONS	
DATE	DESCRIPTION

South Weber Gateway PUD Subdivision Plans

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

2400 East Street 0+50.00 - 4+00.00



Project Info.

Engineer:

J. NATE REEVE, P.E.

Drafter:
C. KINGSLEY

Begin Date:

OCTOBER 2024

Name: _____

SOUTH WEBER GATEWAY
BLVD. SUBDIVISION

FOD SUBDIVISION PLANS

Number: 7037-12

© 2006 The Authors

10

10

15	Total Sheet
-----------	-------------

13	Total Sheet
----	-------------

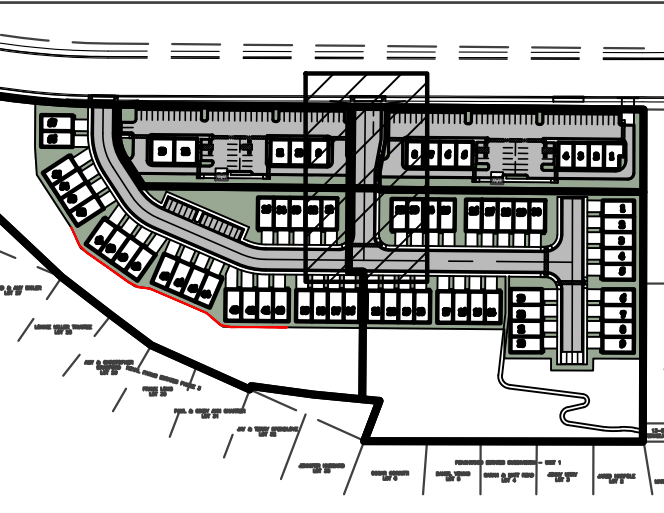
26 of 31

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

Reeve & Associates, Inc. - Solutions You Can Build On

Key Map

NOT TO SCALE



REVISIONS	DESCRIPTION
DATE	

South Weber Gateway
PUD Subdivision Plans

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

2350 East Street 1+00.00 - 4+45.00



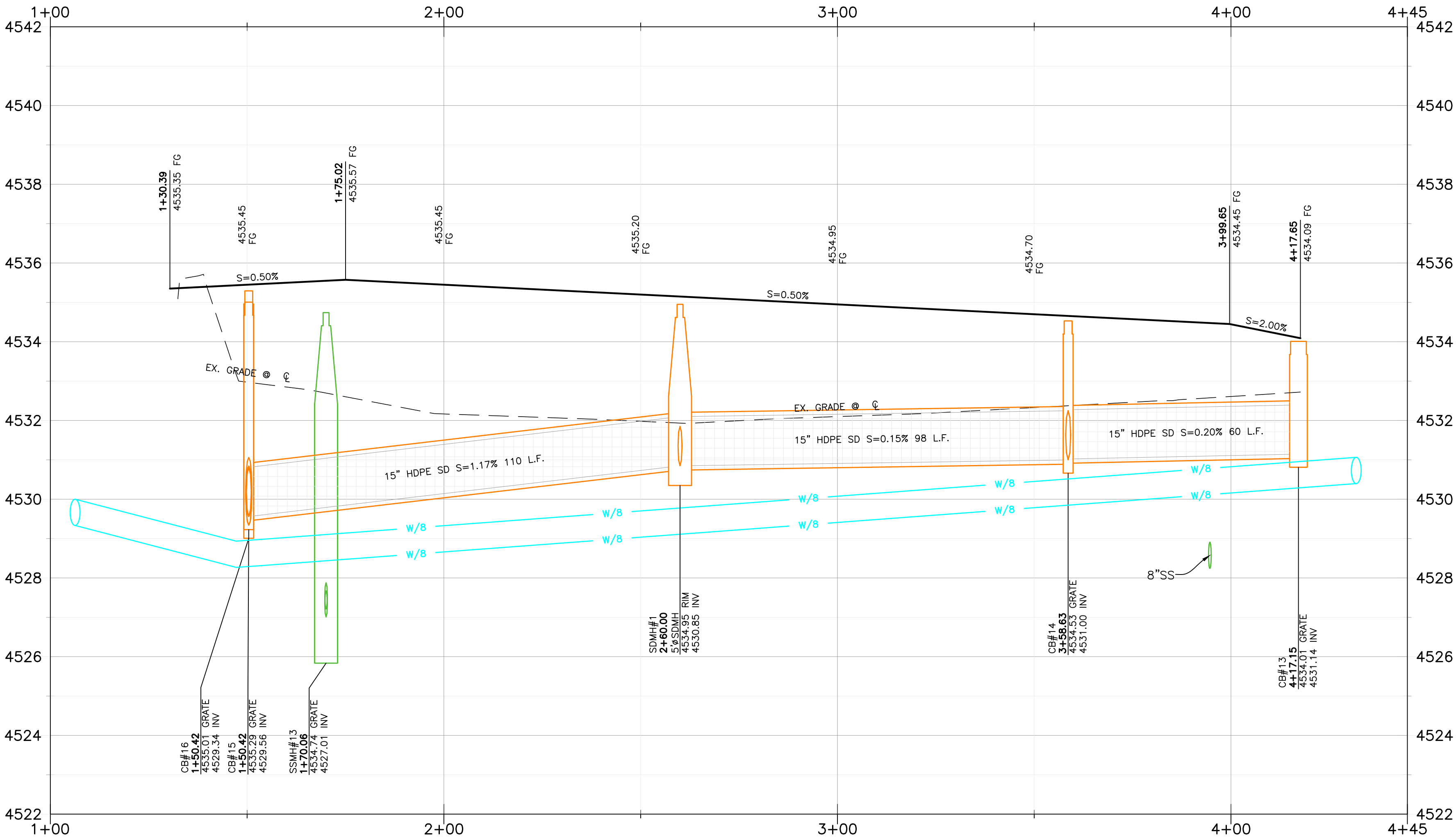
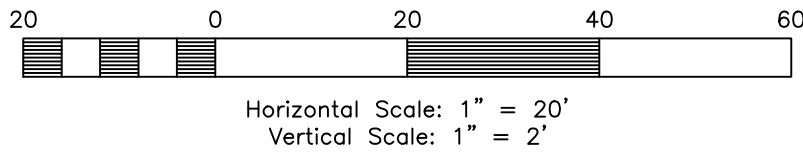
Project Info.
Engineer: J. NATE REEVE, P.E.
Drafter: C. KINGSLEY
Begin Date: OCTOBER 2024
Name: SOUTH WEBER GATEWAY PUD SUBDIVISION PLANS
Number: 7037-12

11

15 Total Sheets

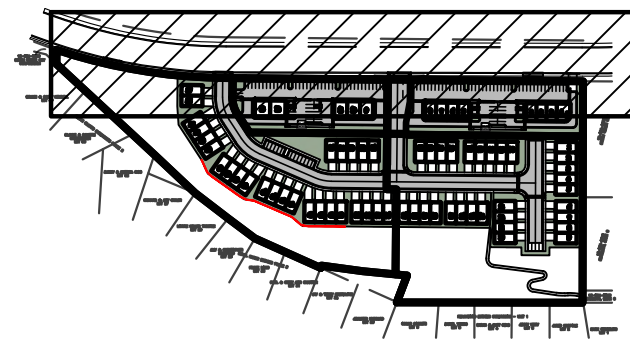


2350 East Street 1+00.00 - 4+45.00



Key Map

NOT TO SCALE

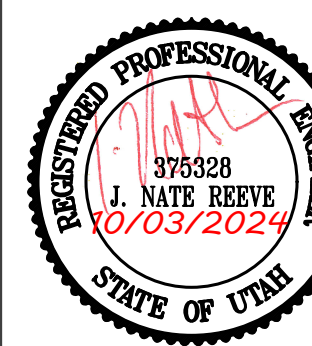


Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co



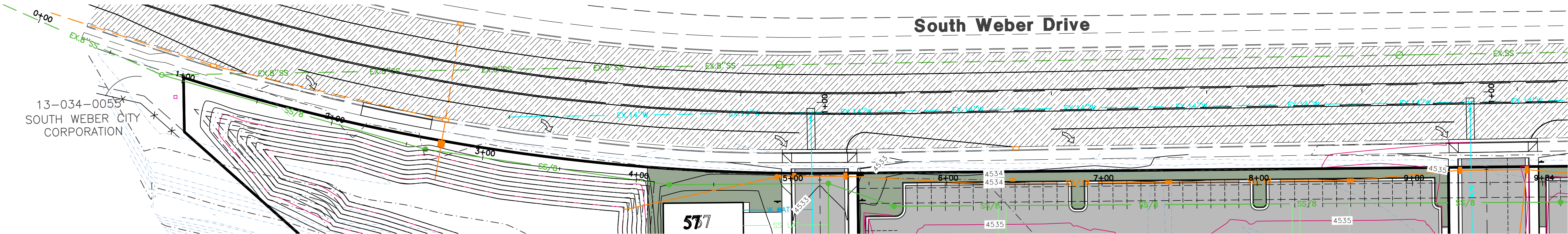
REVISIONS	DESCRIPTION
DATE	

**South Weber Gateway
PUD Subdivision Plans**
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

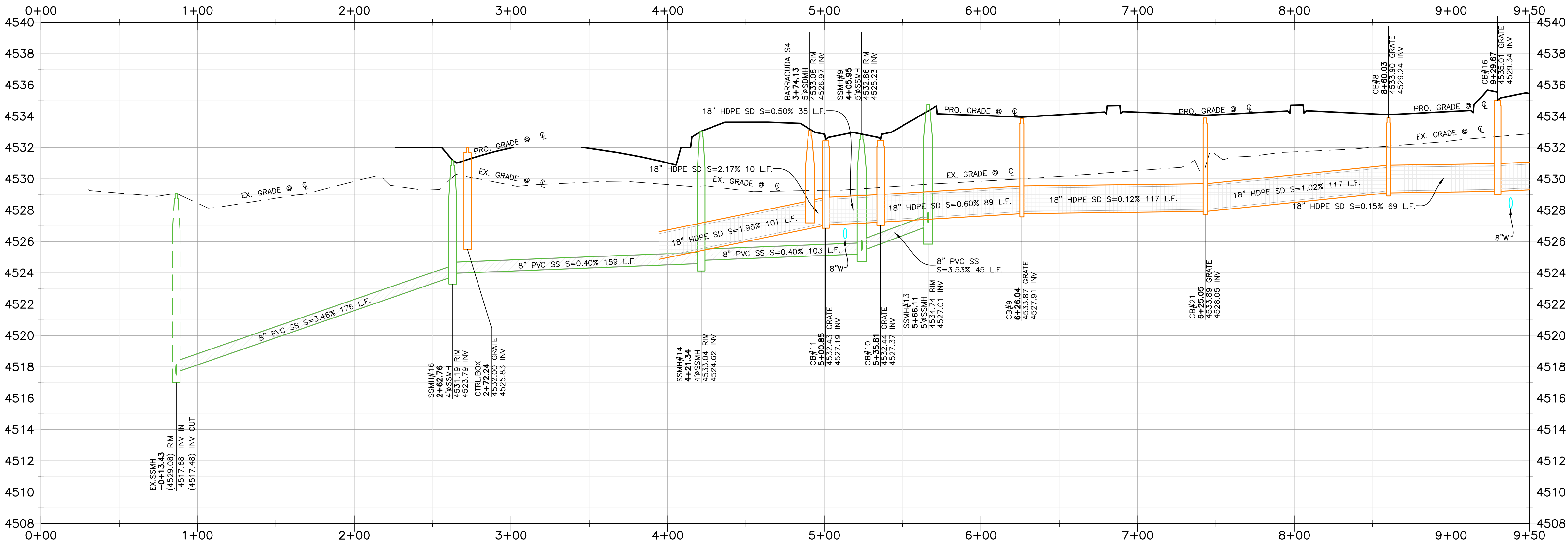
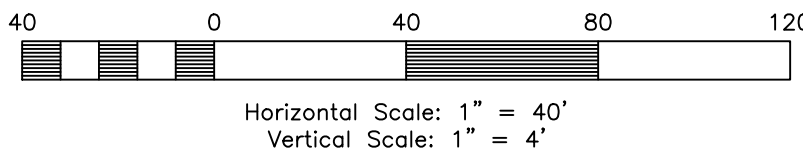


Project Info.
Engineer:
J. NATE REEVE, P.E.
Drafter:
C. KINGSLEY
Begin Date:
OCTOBER 2024
Name:
SOUTH WEBER GATEWAY
PUD SUBDIVISION
PLANS
Number: 7037-12

12
15 Total Sheets

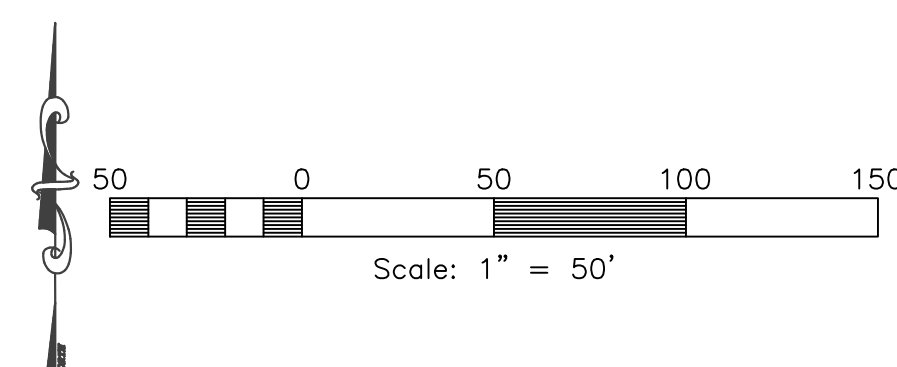
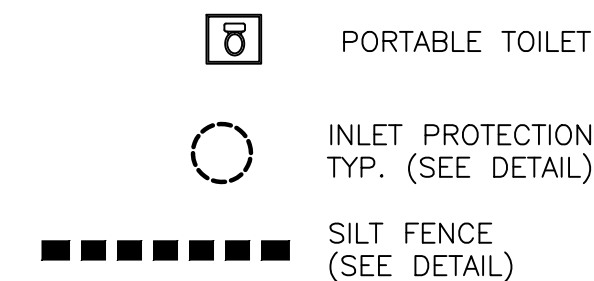


Utility Outfall 0+00.00 - 9+50.00



SOUTH WEBER CITY, DAVIS COUNTY, UTAH
OCTOBER 2024

STREETS TO BE SWEEPED WITHIN
1000 FEET OF CONSTRUCTION
ENTRANCE DAILY IF NECESSARY



- PROJECT LOCATION.....SOUTH WEBER CITY, DAVIS COUNTY, UTAH
- PROJECT BEGINNING DATE.....OCTOBER 2024
- BMP'S DEPLOYMENT DATE.....OCTOBER 2024
- STORM WATER MANAGEMENT CONTACT / INSPECTOR.....JUSTIN NIELSEN (801) 668-8778
- SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP
BY OWNER/DEVELOPER

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

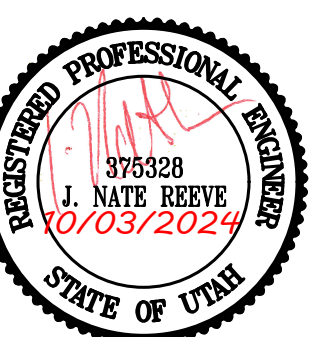


<u>DATE</u>	<u>REVISIONS DESCRIPTION</u>

South Weber Gateway PUD Subdivision Plans

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Storm Water Pollution Prevention Plan Exhibit



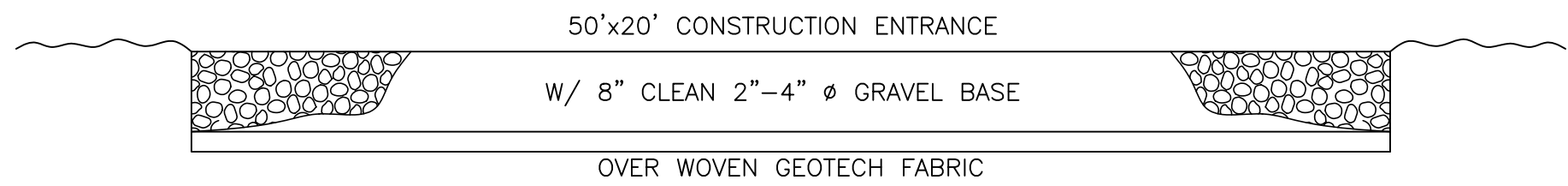
Project Info:
Engineer: J. NATE REEVE, P.E.
 Drafter: C. KINGSLEY
Begin Date: OCTOBER 2024
Name: SOUTH WEBER GATEWAY
PUD SUBDIVISION
PLANS
Number: 7037-12

13

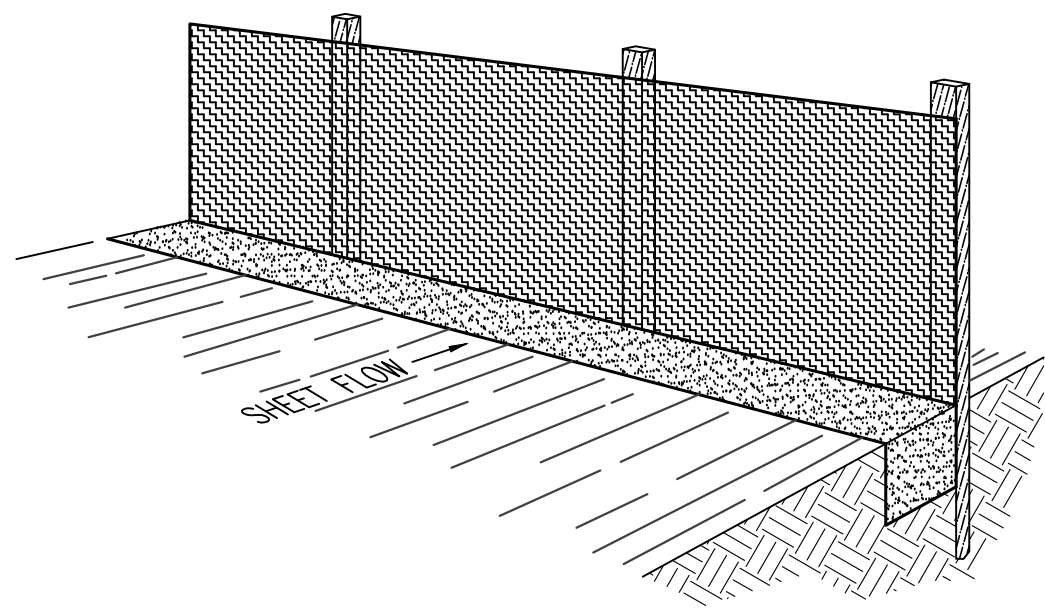
15	Total Sheets
----	--------------

Notes:

- Describe all BMP's to protect storm water inlets:
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
- Describe BMP's to eliminate/reduce contamination of storm water from:
 - Equipment / building / concrete wash areas:
To be performed in designated areas only and surrounded with silt fence barriers.
 - Soil contaminated by soil amendments:
If any contaminates are found or generated, contact environmental engineer and contacts listed.
 - Areas of contaminated soil:
If any contaminates are found or generated, contact environmental engineer and contacts listed.
 - Fueling area:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle maintenance areas:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle parking areas:
To be performed in designated areas only and surrounded with silt fence.
 - Equipment storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Materials storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Waste containment areas:
To be performed in designated areas only and surrounded with silt fence.
 - Service areas:
To be performed in designated areas only and surrounded with silt fence.
- BMP's for wind erosion:
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion
- Construction Vehicles and Equipment:
 - Maintenance
 - Maintain all construction equipment to prevent oil or other fluid leaks.
 - Keep vehicles and equipment clean, prevent excessive build-up of oil and grease.
 - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
 - Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
 - Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.
 - Fueling
 - If fueling must occur on-site, use designated areas away from drainage.
 - Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
 - Cover retention area with an impervious material and install in in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
 - Use drip pans for any oil or fluid changes.
 - Washing
 - Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
 - If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
 - Use phosphate-free, biodegradable soaps.
 - Do not permit steam cleaning on-site.
- Spill Prevention and Control
 - Minor Spills:
Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
 - Contain the spread of the spill.
 - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
 - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up and properly dispose of contaminated soil.
 - If the spill occurs during rain, cover the impacted area to avoid runoff.
 - Record all steps taken to report and contain spill.
 - Major Spills:
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
- Post Roadway / Utility Construction
 - Maintain good housekeeping practices.
 - Enclose or cover building material storage areas.
 - Properly store materials such as paints and solvents.
 - Store dry and wet materials under cover, away from drainage areas.
 - Avoid mixing excess amounts of fresh concrete or cement on-site.
 - Perform washout of concrete trucks offsite or in designated areas only.
 - Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
 - Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
 - All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
 - Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
- Erosion Control Plan Notes
 - The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
 - A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent.
 - Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
 - Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. This should be confirmed by survey or other means acceptable to the engineer of record.
 - All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
 - Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
 - All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the engineer of record of the governing agency.
 - The placement of additional devices to reduce erosion damage within the site is left to the discretion of the engineer of record.
 - Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
 - Erosion control devices will be modified as need as the project progresses and plans of these changes submitted for approval by the engineer of record and the governing agency.
- Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
 - Part III.D.4 of general permit UTRC00000 identifies the minimum inspection requirements.
 - Part II.D.4.C identifies the minimum inspection report requirements.
 - Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 300000.



Cross Section 50' x 20' Construction Entrance



Perspective View

Figure 2

INSTALLATION

The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fences) at various site grades for most silt fence applications.

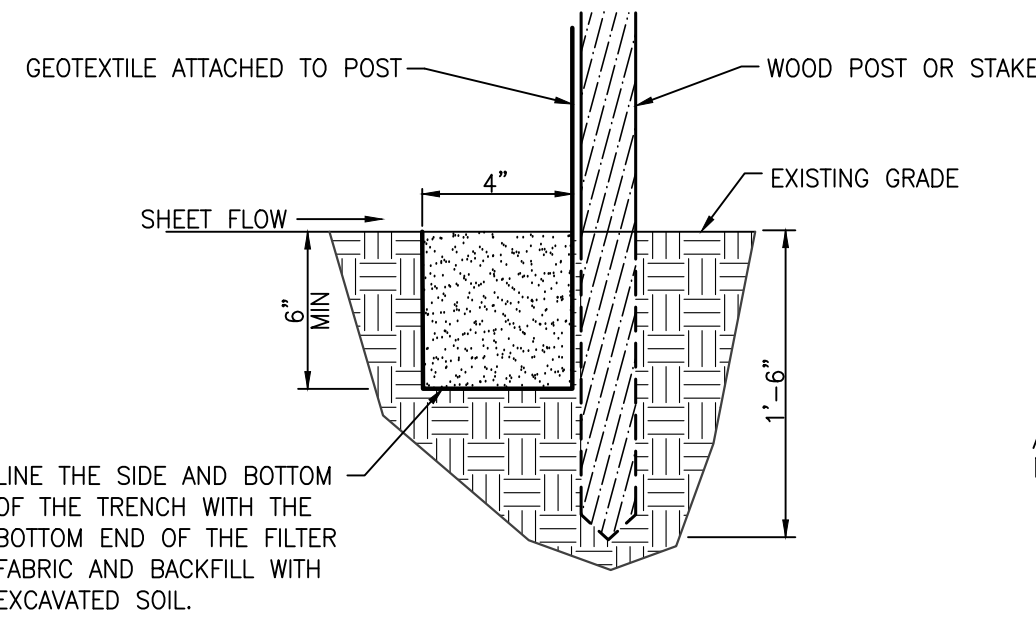
TABLE 1: Recommended Maximum Slope Lengths for Silt Fence (Richardson & Middlebrooks, 1991)		
Slope Steepness (%)	Max. Slope Length m (ft)	
<2%	30.5m (100ft)	
2-5%	22.9m (75ft)	
5-10%	15.2m (50ft)	
10-20%	7.6m (25ft)	
>20%	4.5m (15ft)	

PREFABRICATED SILT FENCE ROLLS

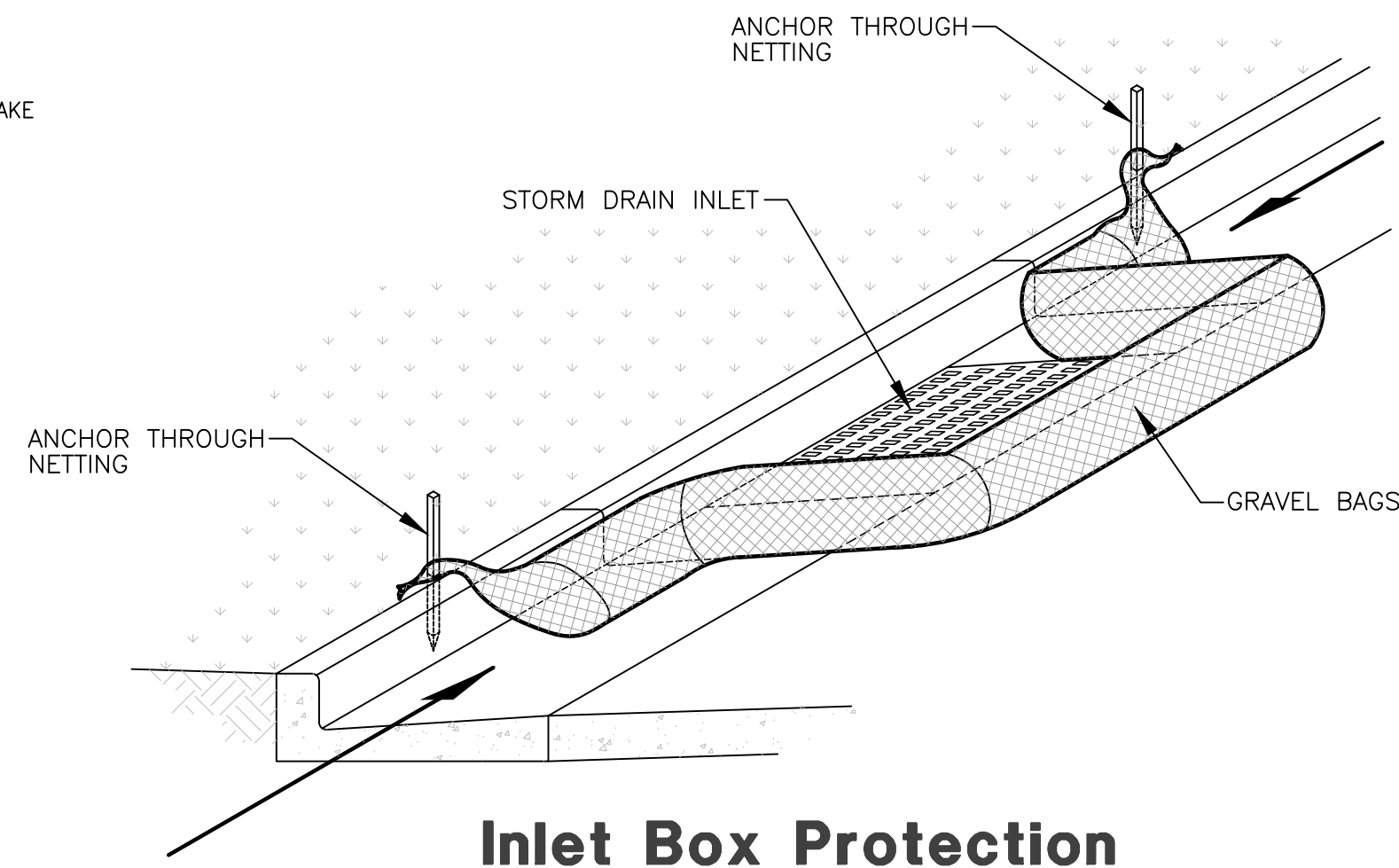
- *Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- *Unroll the silt fence, positioning the post against the downstream wall of the trench.
- *Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then abut the end posts to create a tight seal as shown in Figure 1.
- *Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
- *Bury the loose geotextile at the bottom of the fence in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

FIELD ASSEMBLY:

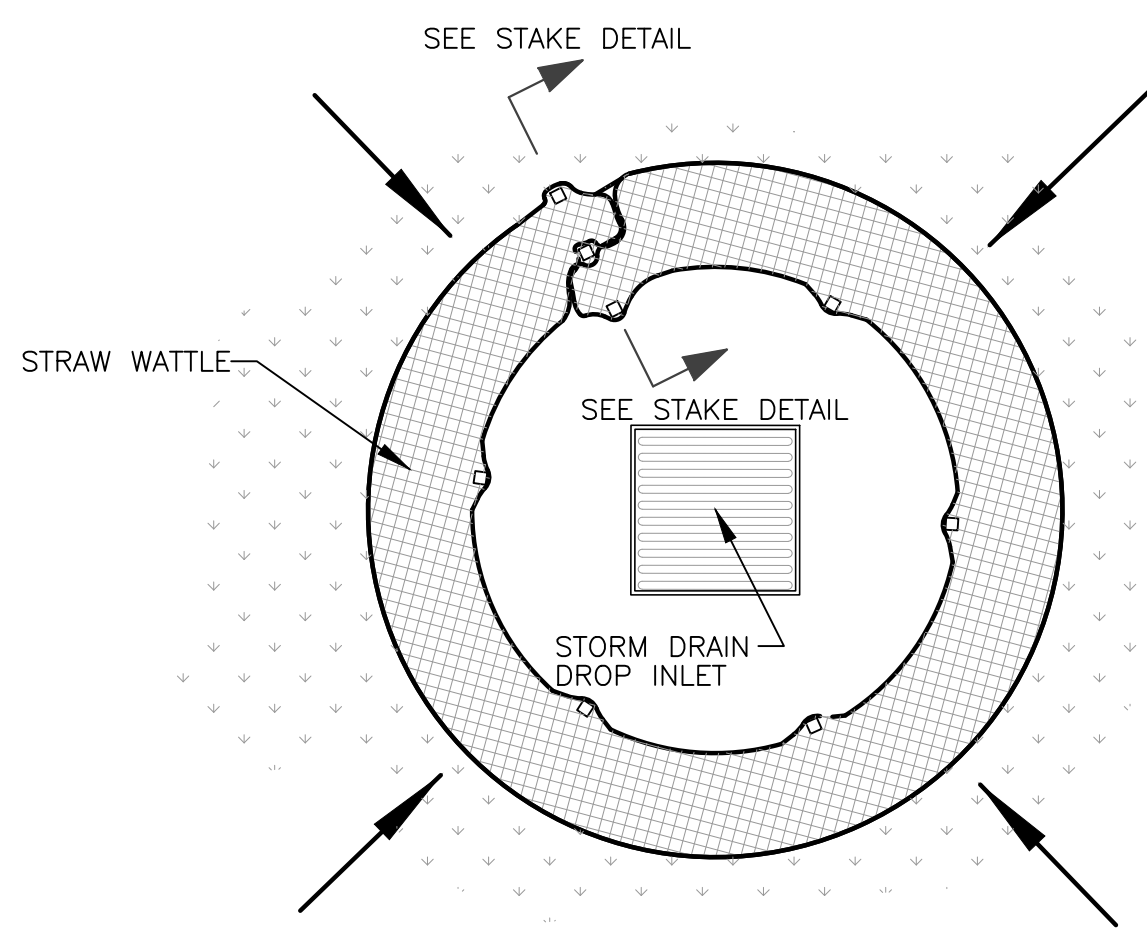
- *Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- *Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8-10ft). Post spacing



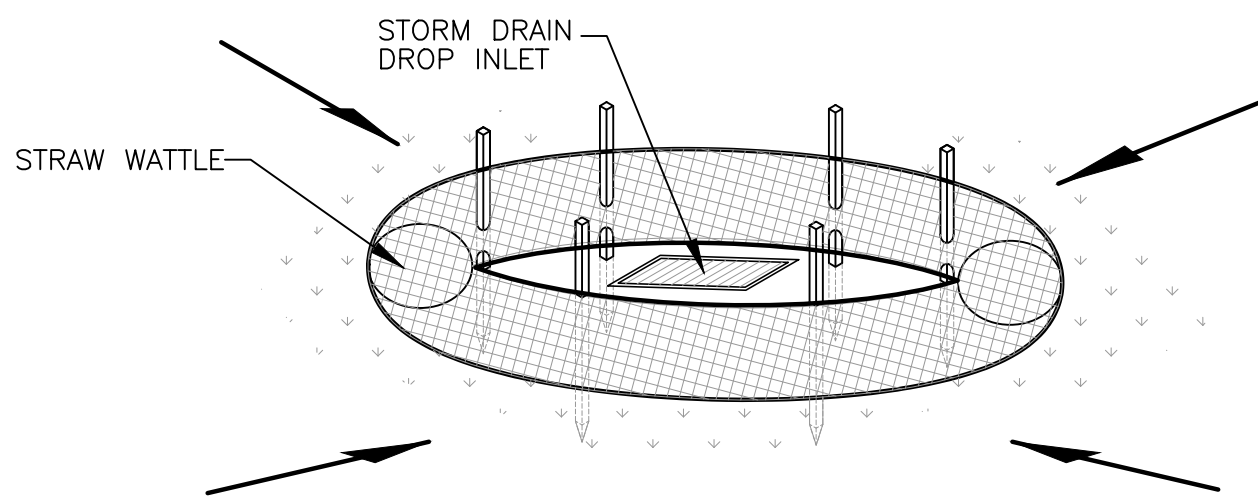
Section



Inlet Box Protection



Plan View



Drop Inlet Protection

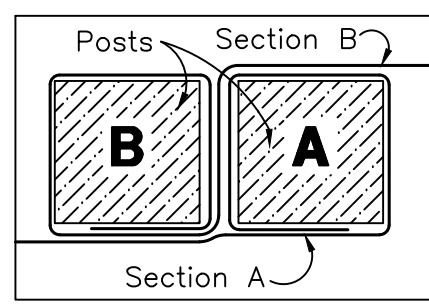
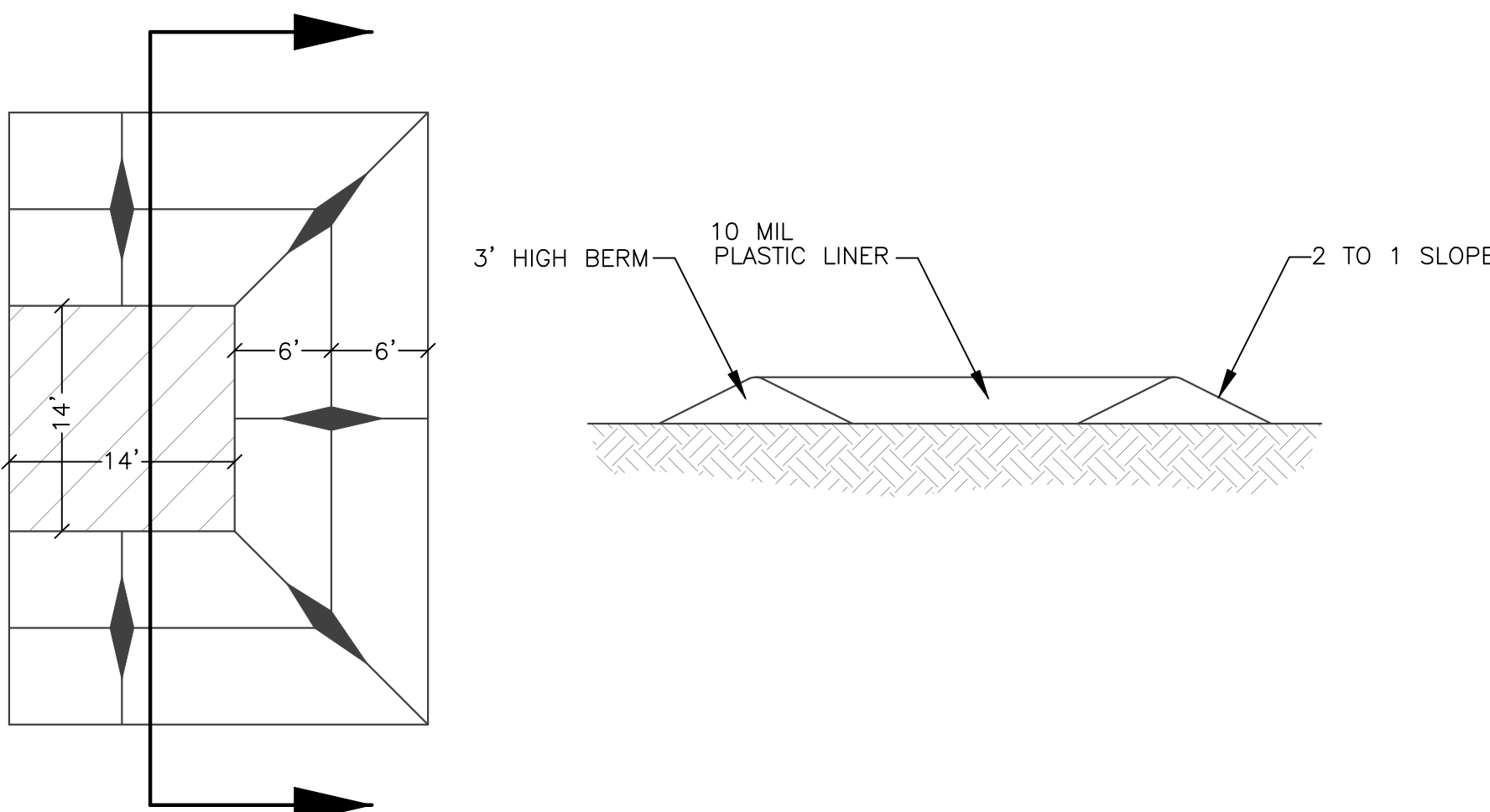


Figure 1:
Top View of
Roll-to-Roll Connection

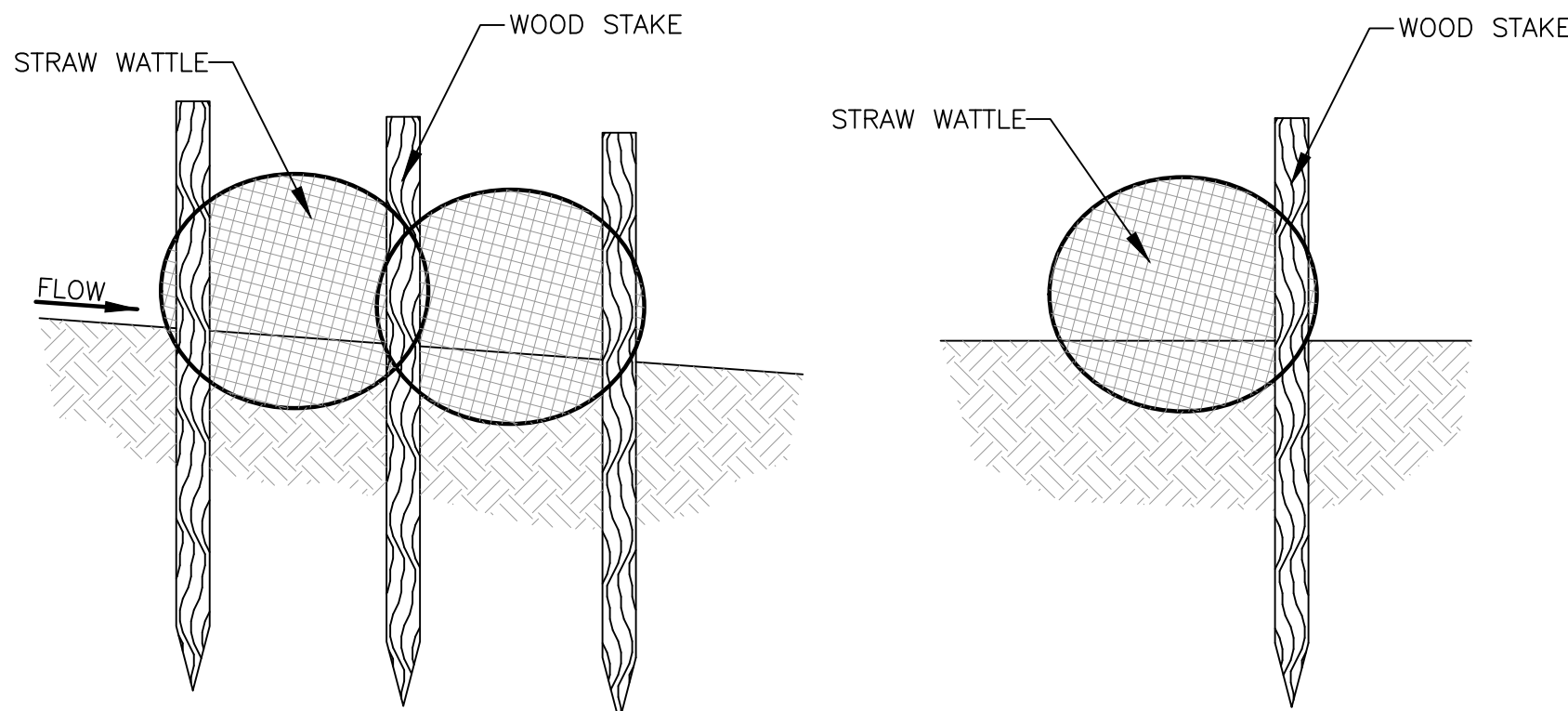
Silt Fence Detail

SCALE: NONE



Concrete Washout Area
w/ 10 mil Plastic Liner

SCALE: NONE



Stake Detail

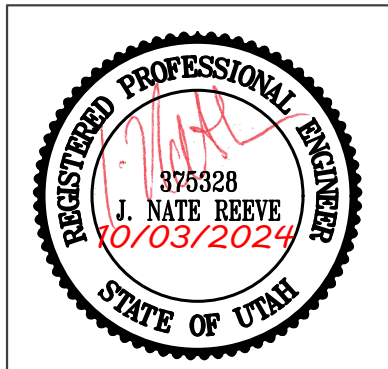
Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 671-3100 www.reeve.co

LAND PLANNERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

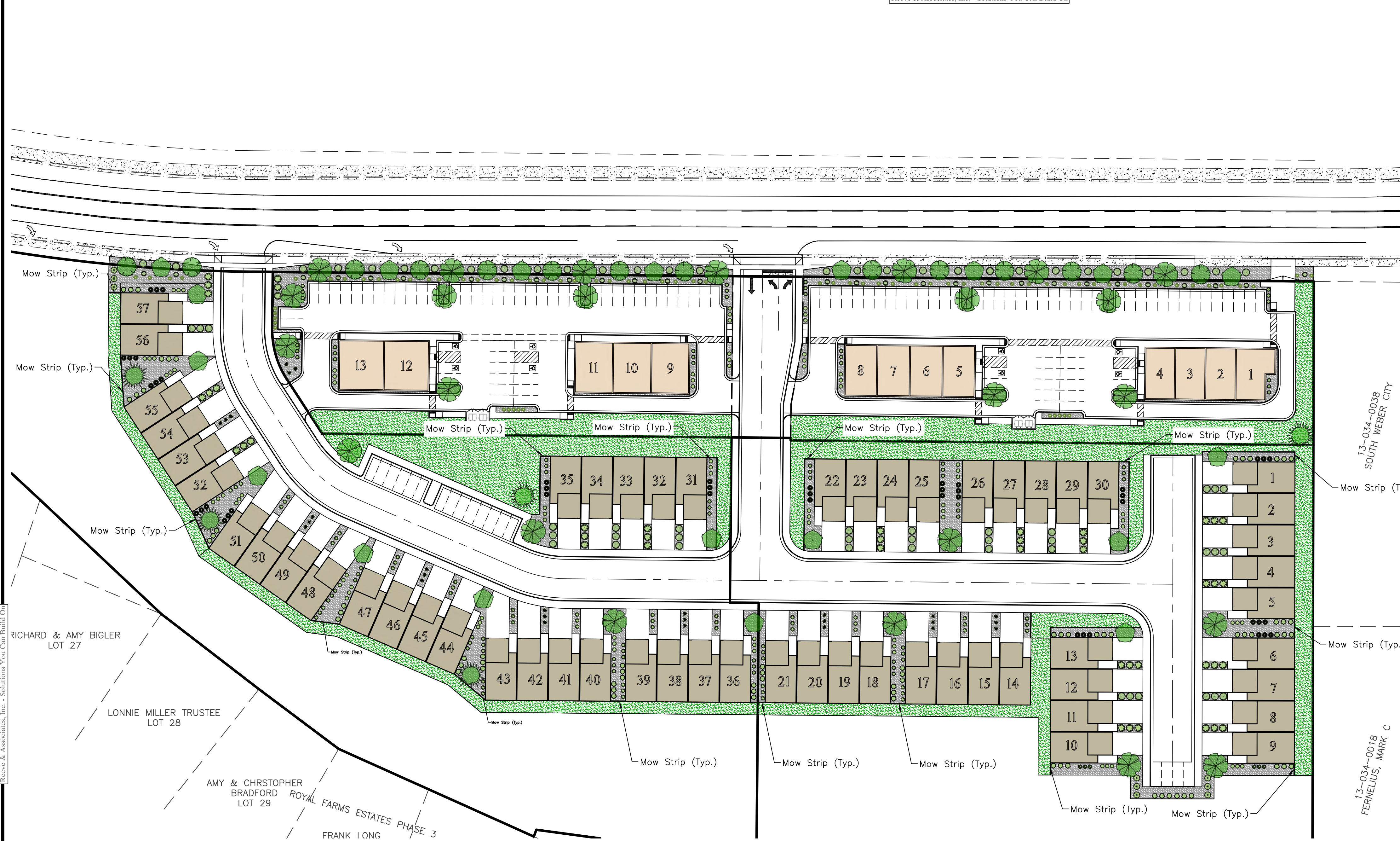
REVISIONS	DESCRIPTION
DATE	

South Weber Gateway
PUD Subdivision Plans
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Storm Water Pollution
Prevention Plan Details



Project Info.	
Engineer:	J. NATE REEVE, P.E.
Drafter:	C. KINGSLEY
Begin Date:	OCTOBER 2024
Name:	SOUTH WEBER GATEWAY PUD SUBDIVISION PLANS
Number:	7037-12



PLANT TABLE

TREES				
Quantity	Symbol	Scientific Name	Common Name	Size
14		Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2" cal.
24		Gleditsia triacanthos 'Imperial'	Imperial Honey Locust	2" cal.
19		Malus 'Radiant'	Radiant Crabapple	2" cal.
5		Pinus nigra	Austrian Pine	6' Ht

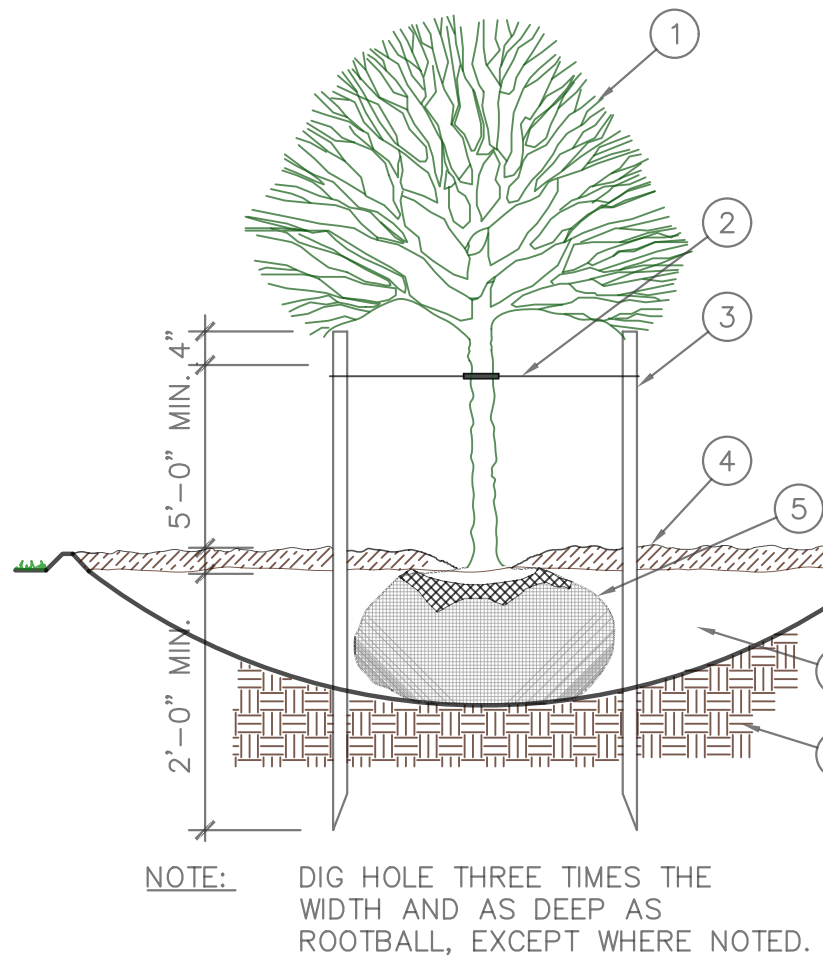
SHRUBS				
Quantity	Symbol	Scientific Name	Common Name	Size
9		Buddleia x weyeriana 'Sungold'	Sungold Butterfly Bush	5 gal.
65		Juniperus 'Buffalo'	Buffalo Juniper	5 gal.
75		Mahonia aquifolium 'Compactum'	Compact Oregon Grape	5 gal.
6		Pinus mugo 'Slowmound'	Slowmound Mugo Pine	5 gal.
81		Potentilla fruticosa 'Gold Drop'	Gold Drop Cinquefoil	5 gal.
45		Rhus aromatica 'Gro-Low'	Gro-Low Sumac	5 gal.
29		Rosa sp. 'Fuchsia Meidiland'	Fuchsia Meidiland Rose	5 gal.
72		Symphoricarpos alba	Common Snowberry	5 gal.
45		Taxus media 'Hicksii'	Hicks Yew	5 gal.
54		Viburnum trilobum 'Bailey Compact'	Bailey Compact Cranberry	5 gal.
27		Yucca filamentosa 'Color Guard'	Color Guard Yucca	5 gal.

ORNAMENTAL GRASS			
Quantity	Symbol	Scientific Name	Common Name
75		Calamagrostis 'Karl Foerster'	Karl Foerster Grass

OTHER		
Symbol	Description	Type
	Turf Grass - Sod	Sod
	Kentucky Bluegrass Mix - 3 Species Minimum	
	Wood Mulch - Medium Chunk Place mulch over 5 ounce Professional weed barrier cloth in all planting beds. Contractor to provide samples to owner for approval prior to delivery.	1" Diameter 3" Depth
	Rock Mulch - Round Cobble - Brown/Tan Place mulch over 5 ounce Professional weed barrier cloth in all planting beds. Contractor to provide samples to owner for approval prior to delivery.	1" Diameter 3" Depth
	Concrete Mow Strip	6"x6"

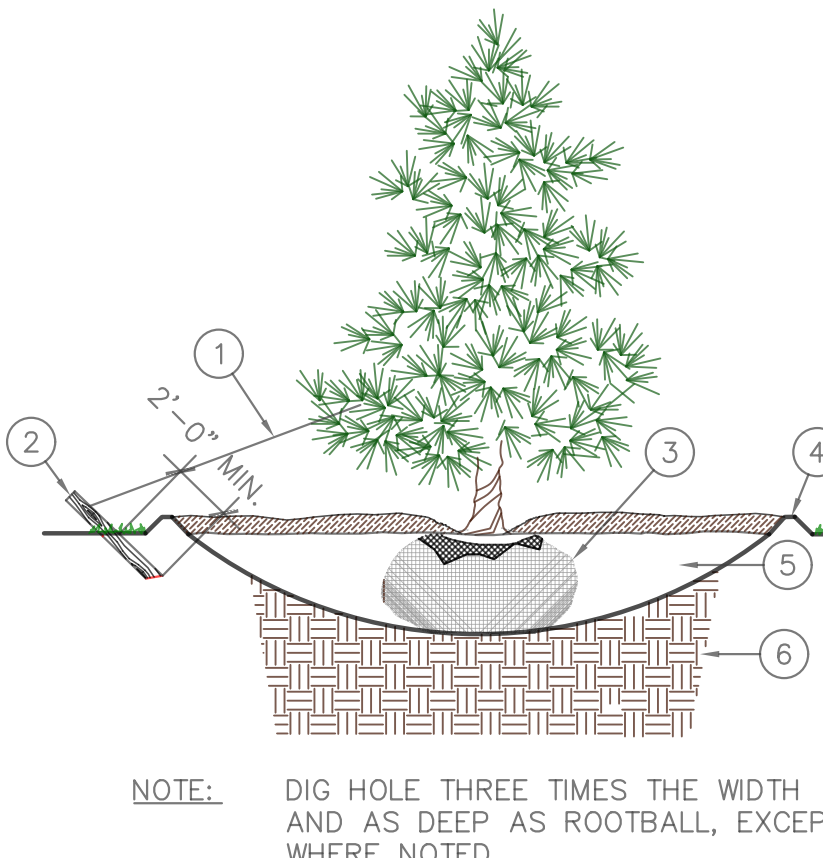
PLANTING NOTES

- This planting plan is diagrammatic and plant locations are approximate. Contractor to verify all quantities and do their own takeoffs.
- Field survey, stake, and string the layout and locations of site construction features for approval before actual construction. The layout shall conform to the exact location and grades of the intended work to be done.
- Coordinate all aspects of the planting plans with the irrigation system and call the attention of the owners representative to any conflict in placement of plants in relation to sprinkler heads, lines and valves at the time the landscape installation phase takes place.
- Finish grade of soil in lawn areas shall be 2" below pads, walks, paving, headers and curbs to accommodate sod. Grades in areas when seeded shall be 1" lower than adjacent edge.
- Native topsoil shall be stockpiled and stored on site whenever possible for use in landscape areas.
- All sod areas shall receive a minimum 4" depth of native topsoil and shrub beds shall receive a minimum of 8" of native topsoil.
- Imported topsoil, when required, shall come from a reputable source, have a loam consistency and be free of weeds and debris.
- Face each shrub to give the most pleasing look as seen from a line perpendicular to the wall or walk to/from which it is viewed.
- Edging or Curbing shall be installed as shown on the plan to separate grass from shrub beds.
- Shrub beds shall drain properly to prevent standing water from occurring. Call improperly draining planters or planting beds to the attention of the owners representative before planting. Provide positive drainage away from all structures and walls. Slope landscape areas 2% minimum.
- Place mulch in all shrub beds and perennial areas. See schedule for depth and type. Do not crowd out small perennial plants with excessive mulch.
- Provide a 3' minimum diameter circle "tree ring" around trees that are placed within lawn areas. Place a 3" min. depth of mulch. Use shredded bark mulch or match mulch being used for shrub beds.
- The contractor shall maintain all work until work is complete and accepted by the Owner. The contractor shall maintain and guarantee all work for a period of THIRTY DAYS from the date of final acceptance by the Owner. Maintenance shall include mowing, weeding, fertilizing and irrigating.



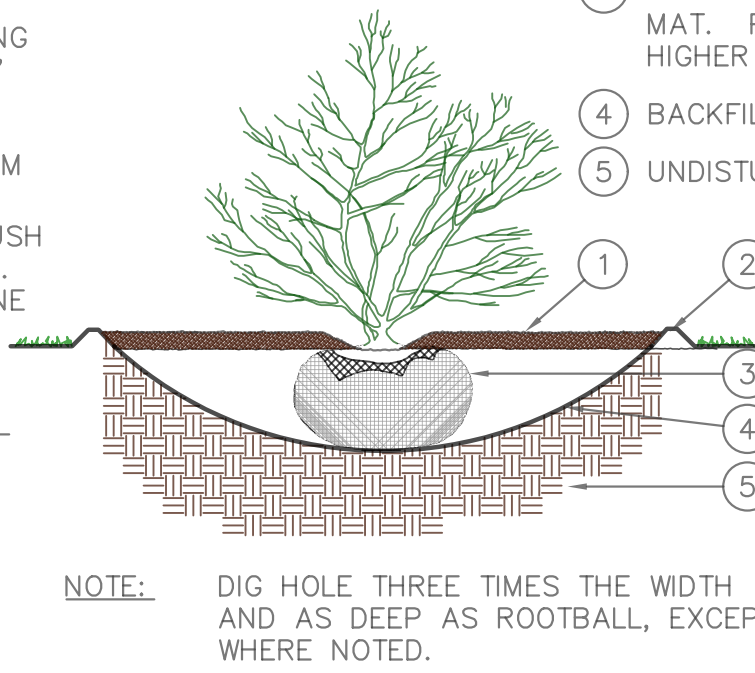
DECIDUOUS TREE PLANTING

NTS



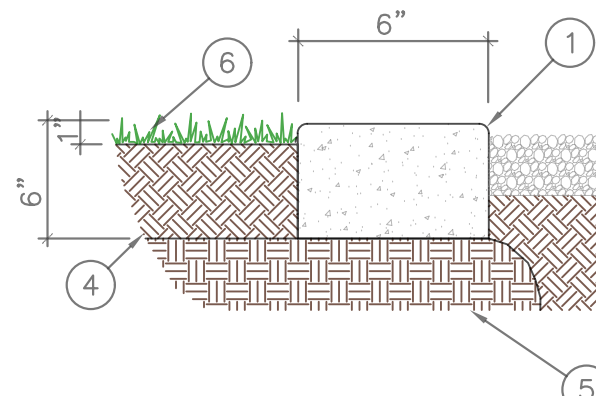
CONIFEROUS TREE PLANTING

NTS



SHRUB PLANTING

NTS



CONCRETE MOW STRIP

NTS