

PLANNING MEMORANDUM

1600 E. South Weber Drive
South Weber, UT 84405

801.479.3177
southwebercity.com

To: Planning Commission
From: Trevor Cahoon, Community Services Director
Re: South Bench Meadows

Project Information	
Project Name	South Bench Meadows
Site Location	Approx. 7494 S 1025 E
Tax ID Number	13-192-0001
Applicant	Jon Wall
Owner	Jon Wall
Proposed Actions	Preliminary Subdivision and Rezone
Current Zoning	A
General Plan Land Use Classification	R-M
Gross Site	2.84
Number of Units	5
Units Per Acre	1.76

ACTION

Administrative Action: Consider approval of Preliminary Plat

Legislative Action: Consider recommendation of rezone from Agriculture (A) to Residential Moderate (R-M).

ITEMS FOR PLANNING COMMISSION REVIEW

- **Preliminary Plat.** Preliminary Plat Items to Consider:
 - *Legal Description:* This has been supplied
 - *Subdivision Name:* The Subdivision name appears on the plat and is consistent with the application that has been submitted.
 - *Lot Sizes and Orientation:* Complete and complies.
 - *Parcel Numbers or Lot Numbers of Surrounding Properties:* When recording the plat, it is necessary to indicate the parcel identification numbers or the lot number for adjoining subdivisions. This plat will need this updated information for the final plat.
 - *Right-of-Way (ROW) Dedication:* The ROW has been indicated on the drawings. This development is utilizing Private ROWs. This development will have a temporary turn around that will be dedicated until the roadway is constructed to the west.
 - *Utility Easements:* The General Utility Easement required for property has been indicated on the plat.

-
- *Signature Boxes:* Signature Boxes will be required for the Final Plat.
 - **Improvement Plans:** Developer has submitted improvement plans to be included in the submission.
 - **Rezone Application:** The developer has included a rezone application for this property. The request is consistent with the General Plan.

PLANNING CODE REVIEW

PL-1: Zoning

- **Pending:** The application has been submitted.

PL-2: Project Size

- **Complete:** The Project totals 2.84 Acres.

PL-3: Lot Area/Density

- **Complete**
 - All lots comply with the area requirements of 9000 sq ft minimum.
 - Current density calculations are 1.76 units per acre. This meets code.

PL-4: Lot Width

- **Complete:** All lot widths meet requirements of the proposed zone.

PL-5: Setbacks

- **Complete:** All lots have appropriate dimension to accommodate setback requirements.

PL-6: Roads

- **Complete.** The road provided meets requirements for the General Plan.

ENGINEERING REVIEW

- **E1. Will Serve Letters:**
 - Status: *COMPLETE*
 - **E2. Plan Review Approval Letters:**
 - Action: Obtain approval letter from the Davis & Weber Counties Canal Company (DWC) for secondary water service. Address the 14 bullet items as listed in their review letter dated September 5, 2023 prior to Final Plat Submittal.
 - **E3. Geotechnical Report & Sensitive Lands:**
 - Status: *COMPLETE*
-

PLAT

- **E4. Plat Comments:**
 - Action: Address the minor marked-up comments on the Plat for the Final Plat.

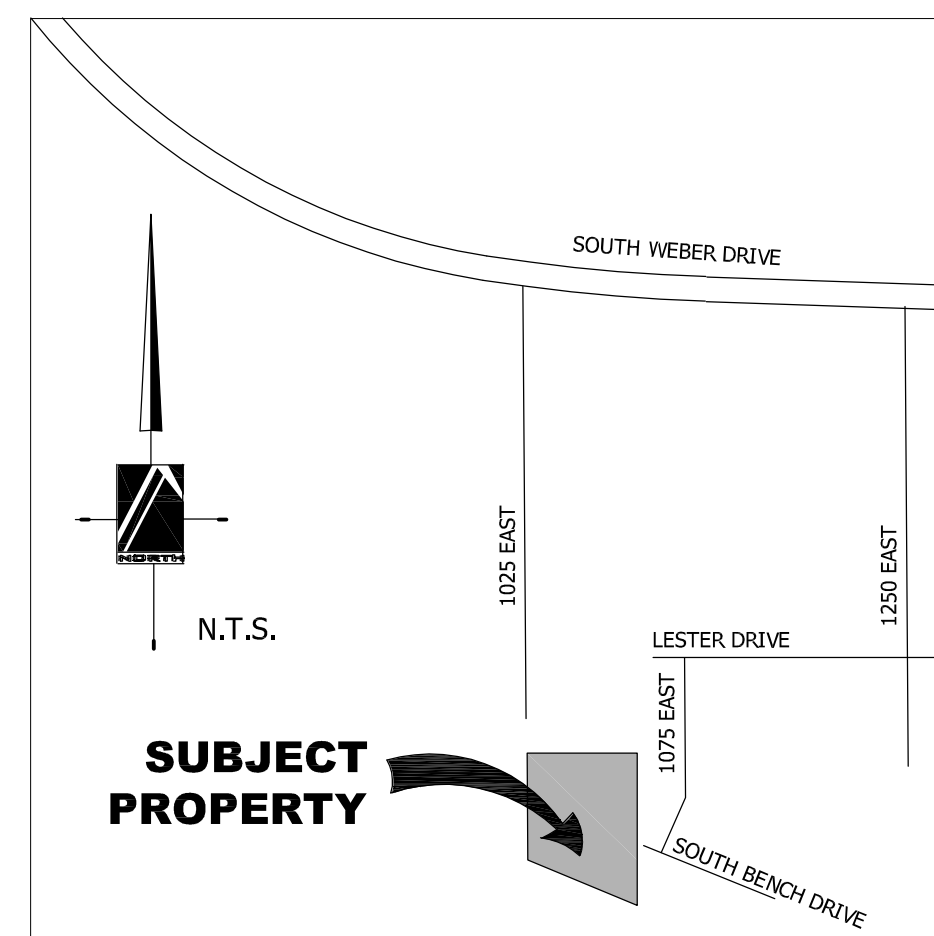
IMPROVEMENT PLANS

- **E6. Storm Water Retention, Detention, and LID:**
 - Action: Utilize Appendix A in the City Standards for volume and rate calculations for the storm drain system and update for Final Plat. Additionally, provide the LID Analysis and Report as stipulated in Section A8. Adhere to the Utah guidelines for this process.
-

SOUTH BENCH MEADOWS

7494 SOUTH 1025 EAST
SOUTH WEBER, UTAH

VICINITY MAP



GENERAL NOTES

- 1) ALL WORK WITHIN THE SOUTH WEBER CITY RIGHT OF WAY SHALL CONFORM TO THE SOUTH WEBER CITY STANDARDS & SPECIFICATIONS.
- 2) ALL WORK PERFORMED ON SOUTH WEBER CITY OWNED UTILITIES & CONNECTIONS THERETO SHALL CONFORM TO THE SOUTH WEBER CITY STANDARDS & SPECIFICATIONS.
- 3) ALL WORK PERFORMED ON DAVIS & WEBER COUNTIES CANAL COMPANY OWNED UTILITIES AND CONNECTIONS THERETO SHALL CONFORM TO THE CANAL COMPANY STANDARDS AND SPECIFICATIONS.
- 4) CONTRACTOR SHALL OBTAIN AND REVIEW A COPY OF ALL OF THE ABOVE MENTIONED STANDARDS AND SPECIFICATIONS.
- 5) THESE PLANS CALL FOR BUT ARE NOT DESIGN DRAWINGS FOR THE RELOCATION, AND/OR REMOVAL OF EXISTING DRY UTILITIES INFRASTRUCTURE. DESIGN DRAWINGS FOR SAID RELOCATIONS AND REMOVALS SHALL BE BY OTHERS.
- 6) CALL BLUESTAKES 48 HOURS PRIOR TO DIGGING.
- 7) CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING MANHOLES AND OTHER UTILITIES BEFORE BUILDING OR STAKING ANY UTILITY LINES.
- 8) BENCHMARK IS: THE NORTH QUARTER CORNER OF SECTION 33, TOWNSHIP 5 NORTH, RANGE 1 WEST, SLB&M. ELEVATION = 4490.10

DEVELOPER
JONATHAN WALL

TEL: 801-628-6722

ENGINEER / SURVEYOR
PINNACLE
Engineering & Land Surveying, Inc.

327 WEST GORDON AVE. #3
LAYTON, UT 84041

Phone: (801) 773-1910
Fax: (801) 719-6738

GOVERNING AGENCIES

CITY SOUTH WEBER CITY 1600 EAST SOUTH WEBER DR. SOUTH WEBER, UT 84050 PHONE: 801-479-3177 FAX: 801-479-0066	TRANSPORTATION SOUTH WEBER CITY PUBLIC WORKS 1600 EAST SOUTH WEBER DRIVE PHONE: 801-479-3177	FIRE INSPECTION SOUTH WEBER CITY FIRE MARSHALL 1600 EAST SOUTH WEBER DR. SOUTH WEBER, UT 84050 PHONE: 801-479-3177 FAX: 801-479-0066
SEWER SOUTH WEBER CITY PUBLIC WORKS 1600 EAST SOUTH WEBER DR. SOUTH WEBER, UT 84050 PHONE: 801-479-3177 FAX: 801-479-0066	STORM DRAIN SOUTH WEBER CITY PUBLIC WORKS 1600 EAST SOUTH WEBER DR. SOUTH WEBER, UT 84050 PHONE: 801-479-3177 FAX: 801-479-0066	CULINARY WATER SOUTH WEBER CITY PUBLIC WORKS 1600 EAST SOUTH WEBER DR. SOUTH WEBER, UT 84050 PHONE: 801-479-3177 FAX: 801-479-0066
SECONDARY WATER DAVIS & WEBER COUNTIES CANAL COMPANY 138 WEST 1300 NORTH SUNSET, UT 84015 CONTACT PERSON: RICK SMITH PHONE: 801-774-6373	POWER ROCKY MOUNTAIN POWER SALT LAKE CITY, UT ED ZIEBER 801-543-3017	NATURAL GAS DOMINION ENERGY UTAH 333 SOUTH STATE STREET PO BOX 45360 SALT LAKE CITY, UT 84145 MIKE DAVIS 801-395-6806
SOUTH WEBER IRRIGATION COMPANY 6715 SOUTH 475 EAST SOUTH WEBER, UT 84405 PHONE: 801-920-7814	TELEPHONE QWEST CORPORATION 1425 WEST 3100 SOUTH SALT LAKE CITY, UT 84119 GARY WEAVER: 801-626-5380	CABLE COMCAST CABLE CORPORATION 9602 SOUTH 300 WEST SANDY, UT 84070 PHONE: 885-782-1061

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

TRAFFIC CONTROL & SAFETY NOTES

TRAFFIC CONTROL PLAN FOR WORK WITHIN UDOT RIGHT OF WAY MUST MEET UDOT STANDARDS & SPECIFICATIONS

1. BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT STATE OF UTAH DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES, AND THE CURRENT SOUTH WEBER CITY STANDARD DRAWING, AND SHALL BE APPROVED BY THE ENGINEER PRIOR TO ANY WORK.
2. NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE CITY TRAFFIC ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
3. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
4. DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
5. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
6. TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.

DRAWING INDEX

- 1 COVER
- 2 BOUNDARY, TOPOGRAPHIC, AND UTILITY SURVEY
- 3 SUBDIVISION PLAT
- 4 GENERAL NOTES AND DETAILS
- 5 SITE PLAN & UTILITY PLAN
- 6 GRADING & DRAINAGE PLAN
- 7 STREET PLAN & PROFILE
- 8 STORM WATER POLLUTION PREVENTION PLAN
- 9 STORM WATER POLLUTION PREVENTION NOTES

PINNACLE
Engineering & Land Surveying, Inc.

327 West Gordon Ave #3
Layton, UT 84041
Phone: (801) 773-1910
Fax: (801) 773-1925

SOUTH BENCH MEADOWS
COVER SHEET

FOR: JONATHAN WALL
7494 SOUTH 1025 EAST
SOUTH WEBER, UTAH
PROJECT #23-018



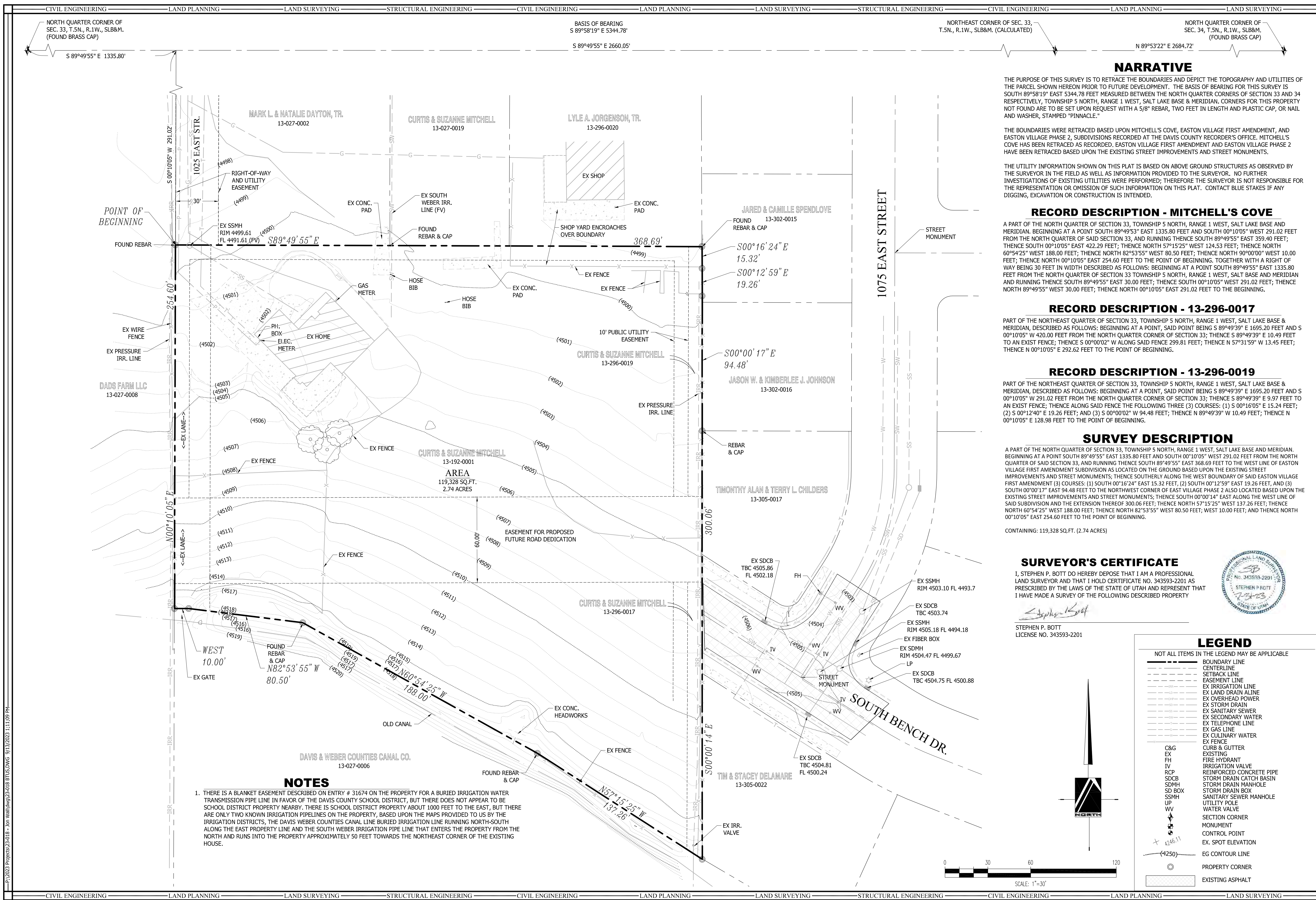
BY	DATE	REVISION

CALL BLUESTAKES
1-800-662-4111

AT LEAST
48 HOURS
BEFORE
DIGGING

SHEET
1

ALL INFORMATION SHOWN HEREIN IS NOT FINAL OR APPROVED WITHOUT THE GOVERNING AGENCY'S STAMP AND SIGNATURE. ANY USE OF THIS DRAWING AND ITS CONTENT WITHOUT SAID APPROVAL IS DONE AT THE INDIVIDUAL'S OWN RISK. PINNACLE ENGINEERING & LAND SURVEYING, INC. DOES NOT ASSUME LIABILITY FOR ANY SUCH USE.



CIVIL ENGINEERING LAND PLANNING LAND SURVEYING STRUCTURAL ENGINEERING CIVIL ENGINEERING LAND PLANNING LAND SURVEYING STRUCTURAL ENGINEERING CIVIL ENGINEERING LAND PLANNING LAND SURVEYING

NARRATIVE

THE PURPOSE OF THIS SURVEY IS TO RETRACE THE BOUNDARIES AND DEPICT THE TOPOGRAPHY AND UTILITIES OF THE PARCEL SHOWN HEREON PRIOR TO FUTURE DEVELOPMENT. THE BASIS OF BEARING FOR THIS SURVEY IS SOUTH 89°58'19" EAST 5344.78 FEET MEASURED BETWEEN THE NORTH QUARTER CORNERS OF SECTION 33 AND 34 RESPECTIVELY, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN. CORNERS FOR THIS PROPERTY NOT FOUND ARE TO BE SET UPON REQUEST WITH A 5/8" REBAR, TWO FEET IN LENGTH AND PLASTIC CAP, OR NAIL AND WASHER, STAMPED "PINNACLE."

THE BOUNDARIES WERE RETRACED BASED UPON MITCHELL'S COVE, EASTON VILLAGE FIRST AMENDMENT, AND EASTON VILLAGE PHASE 2, SUBDIVISIONS RECORDED AT THE DAVIS COUNTY RECORDER'S OFFICE. MITCHELL'S COVE HAS BEEN RETRACED AS RECORDED. EASTON VILLAGE FIRST AMENDMENT AND EASTON VILLAGE PHASE 2 HAVE BEEN RETRACED BASED UPON THE EXISTING STREET IMPROVEMENTS AND STREET MONUMENTS.

THE UTILITY INFORMATION SHOWN ON THIS PLAN IS BASED ON ABOVE GROUND STRUCTURES AS OBSERVED BY THE SURVEYOR IN THE FIELD AS WELL AS INFORMATION PROVIDED TO THE SURVEYOR. NO FURTHER INVESTIGATIONS OF EXISTING UTILITIES WERE PERFORMED; THEREFORE THE SURVEYOR IS NOT RESPONSIBLE FOR THE REPRESENTATION OR OMISSION OF SUCH INFORMATION ON THIS PLAN. CONTACT BLUE STAKES IF ANY DIGGING, EXCAVATION OR CONSTRUCTION IS INTENDED.

RECORD DESCRIPTION - MITCHELL'S COVE

A PART OF THE NORTH QUARTER OF SECTION 33, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, BEGINNING AT A POINT SOUTH 89°49'53" EAST 1335.80 FEET AND SOUTH 00°10'05" WEST 291.02 FEET FROM THE NORTH QUARTER OF SAID SECTION 33, AND RUNNING THENCE SOUTH 89°49'55" EAST 359.40 FEET; THENCE SOUTH 00°10'05" EAST 422.29 FEET; THENCE NORTH 57°15'25" WEST 124.53 FEET; THENCE NORTH 60°54'25" WEST 188.00 FEET; THENCE NORTH 82°53'55" WEST 80.50 FEET; THENCE NORTH 90°00'00" WEST 10.00 FEET; THENCE NORTH 00°10'05" EAST 254.60 FEET TO THE POINT OF BEGINNING. TOGETHER WITH A RIGHT OF WAY BEING 30 FEET IN WIDTH DESCRIBED AS FOLLOWS: BEGINNING AT A POINT SOUTH 89°49'55" EAST 1335.80 FEET FROM THE NORTH QUARTER OF SECTION 33 TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN AND RUNNING THENCE SOUTH 89°49'55" EAST 30.00 FEET; THENCE SOUTH 00°10'05" WEST 291.02 FEET; THENCE NORTH 89°49'55" WEST 30.00 FEET; THENCE NORTH 00°10'05" EAST 291.02 FEET TO THE BEGINNING.

RECORD DESCRIPTION - 13-296-0017

PART OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT, SAID POINT BEING S 89°49'39" E 1695.20 FEET AND S 00°10'05" W 420.00 FEET FROM THE NORTH QUARTER CORNER OF SECTION 33; THENCE S 89°49'39" E 10.49 FEET TO AN EXIST FENCE; THENCE S 00°00'02" W ALONG SAID FENCE 299.81 FEET; THENCE N 57°31'59" W 13.45 FEET; THENCE N 00°10'05" E 292.62 FEET TO THE POINT OF BEGINNING.

RECORD DESCRIPTION - 13-296-0019

PART OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT, SAID POINT BEING S 89°49'39" E 1695.20 FEET AND S 00°10'05" W 291.02 FEET FROM THE NORTH QUARTER CORNER OF SECTION 33; THENCE S 89°49'39" E 9.97 FEET TO AN EXIST FENCE; THENCE ALONG SAID FENCE THE FOLLOWING THREE (3) COURSES: (1) S 00°16'05" E 15.24 FEET; (2) S 00°12'40" E 19.26 FEET; AND (3) S 00°00'02" W 94.48 FEET; THENCE N 89°49'39" W 10.49 FEET; THENCE N 00°10'05" E 128.98 FEET TO THE POINT OF BEGINNING.

SURVEY DESCRIPTION

A PART OF THE NORTH QUARTER OF SECTION 33, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, BEGINNING AT A POINT SOUTH 89°49'55" EAST 1335.80 FEET AND SOUTH 00°10'05" WEST 291.02 FEET FROM THE NORTH QUARTER OF SAID SECTION 33, AND RUNNING THENCE SOUTH 89°49'55" EAST 368.69 FEET TO THE WEST LINE OF EASTON VILLAGE FIRST AMENDMENT SUBDIVISION AS LOCATED ON THE GROUND BASED UPON THE EXISTING STREET IMPROVEMENTS AND STREET MONUMENTS; THENCE SOUTHERLY ALONG THE WEST BOUNDARY OF SAID EASTON VILLAGE FIRST AMENDMENT (3) COURSES: (1) SOUTH 00°16'24" EAST 15.32 FEET, (2) SOUTH 00°12'59" EAST 19.26 FEET, AND (3) SOUTH 00°00'17" EAST 94.48 FEET TO THE NORTHWEST CORNER OF EAST VILLAGE PHASE 2 ALSO LOCATED BASED UPON THE EXISTING STREET IMPROVEMENTS AND STREET MONUMENTS; THENCE SOUTH 00°00'14" EAST ALONG THE WEST LINE OF SAID SUBDIVISION AND THE EXTENSION THEREOF 300.06 FEET; THENCE NORTH 57°15'25" WEST 137.26 FEET; THENCE NORTH 60°54'25" WEST 188.00 FEET; THENCE NORTH 82°53'55" WEST 80.50 FEET; WEST 10.00 FEET; AND THENCE NORTH 00°10'05" EAST 254.60 FEET TO THE POINT OF BEGINNING.

CONTAINING: 119,328 SQ. FT. (2.74 ACRES)

SURVEYOR'S CERTIFICATE

I, STEPHEN P. BOTT DO HEREBY DEPOSE THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD CERTIFICATE NO. 343593-2201 AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH AND REPRESENT THAT I HAVE MADE A SURVEY OF THE FOLLOWING DESCRIBED PROPERTY

STEPHEN P. BOTT
LICENSE NO. 343593-2201



LEGEND	
NOT ALL ITEMS IN THE LEGEND MAY BE APPLICABLE	
---	BOUNDARY LINE
- - -	CENTERLINE
---	SETBACK LINE
---	EASEMENT LINE
- . - . -	EX IRRIGATION LINE
- . - . -	EX LAND DRAIN ALINE
- . - . -	EX OVERHEAD POWER
- . - . -	EX STORM DRAIN
- . - . -	EX SANITARY SEWER
- . - . -	EX SECONDARY WATER
- . - . -	EX TELEPHONE LINE
- . - . -	EX GAS LINE
- . - . -	EX CULINARY WATER
- . - . -	EX FENCE
---	C&G
---	EX
---	FH
---	IV
---	RCP
---	SDCB
---	SDMH
---	SD BOX
---	SSMH
---	UP
---	WV
---	SECTION CORNER
---	MONUMENT
---	CONTROL POINT
---	EX. SPOT ELEVATION
---	EG CONTOUR LINE
---	PROPERTY CORNER
---	EXISTING ASPHALT

- #### NOTES
1. THERE IS A BLANKET EASEMENT DESCRIBED ON ENTRY # 31674 ON THE PROPERTY FOR A BURIED IRRIGATION WATER TRANSMISSION PIPE LINE IN FAVOR OF THE DAVIS COUNTY SCHOOL DISTRICT, BUT THERE DOES NOT APPEAR TO BE SCHOOL DISTRICT PROPERTY NEARBY. THERE IS SCHOOL DISTRICT PROPERTY ABOUT 1000 FEET TO THE EAST, BUT THERE ARE ONLY TWO KNOWN IRRIGATION PIPELINES ON THE PROPERTY, BASED UPON THE MAPS PROVIDED TO US BY THE IRRIGATION DISTRICTS, THE DAVIS WEBER COUNTIES CANAL LINE BURIED IRRIGATION LINE RUNNING NORTH-SOUTH ALONG THE EAST PROPERTY LINE AND THE SOUTH WEBER IRRIGATION PIPE LINE THAT ENTERS THE PROPERTY FROM THE NORTH AND RUNS INTO THE PROPERTY APPROXIMATELY 50 FEET TOWARDS THE NORTHEAST CORNER OF THE EXISTING HOUSE.

PROJECT: 13-296-0017-18 - 1075 East Street
 DATE: 7/13/2023 11:10 AM
 DRAWN BY: SB
 CHECKED BY: SB
 DATE: 7/20/23
 APPROVED BY: SB
 DATE: 7/20/23

Engineering & Land Surveying, Inc.

327 West Gordon Ave #3
Layton, UT 84041

Phone: (801) 773-1910
Fax: (801) 773-1925

SOUTH BENCH MEADOWS
BOUNDARY TOPOGRAPHY AND UTILITY SURVEY

FOR: JONATHAN WALL
7494 SOUTH 1025 EAST
SOUTH WEBER, UTAH
PROJECT #23-018

BY	DATE	REVISION
SB	7-2023	
SB	7-2023	
SB	7-2023	
SB	7-2023	
SB	7-2023	

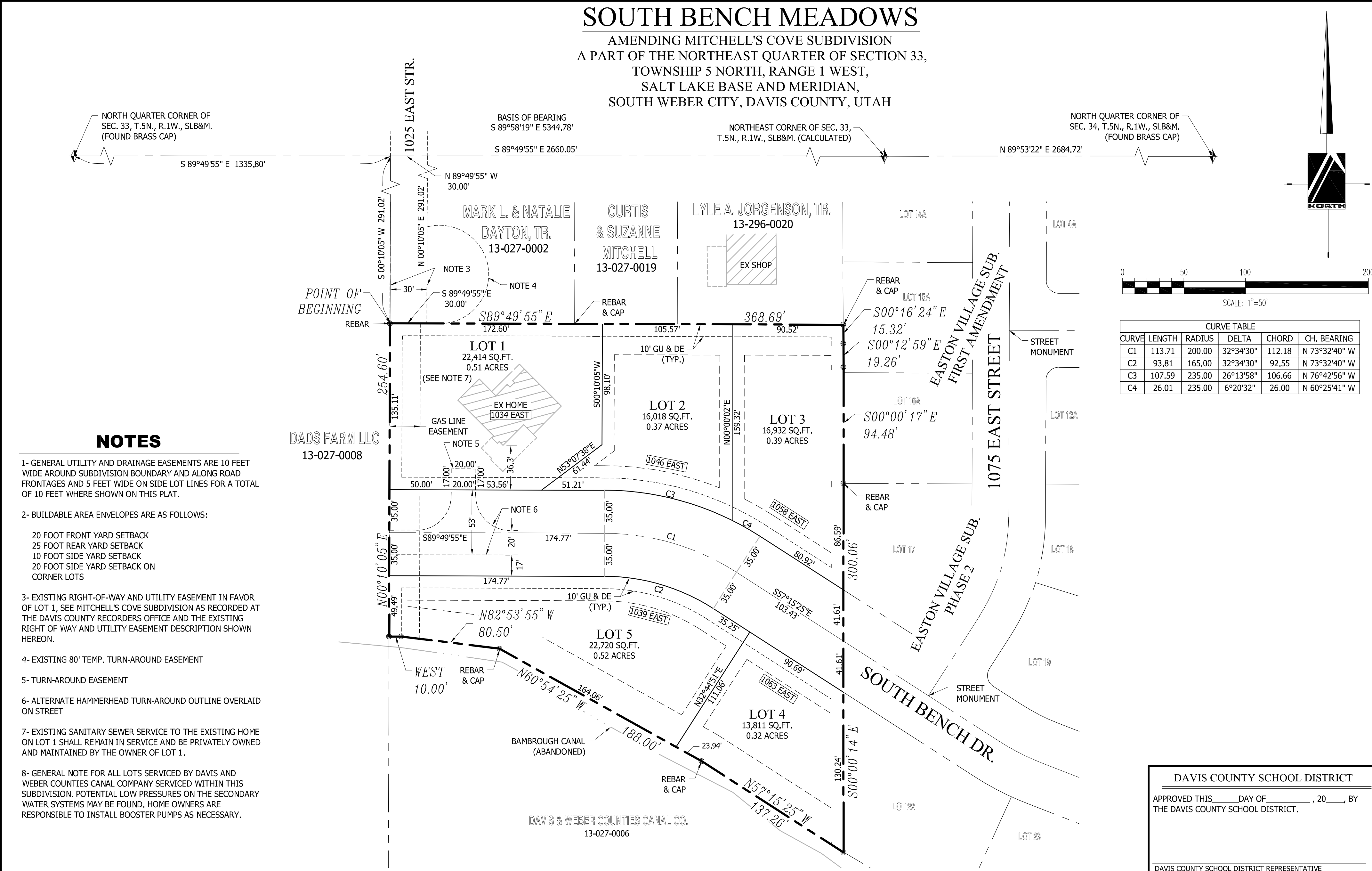
CALL BLUESTAKES
1-800-662-4111

AT LEAST 48 HOURS BEFORE DIGGING

SHEET
1
OF 1

SOUTH BENCH MEADOWS

AMENDING MITCHELL'S COVE SUBDIVISION
A PART OF THE NORTHEAST QUARTER OF SECTION 33,
TOWNSHIP 5 NORTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN,
SOUTH WEBER CITY, DAVIS COUNTY, UTAH



NOTES

- 1- GENERAL UTILITY AND DRAINAGE EASEMENTS ARE 10 FEET WIDE AROUND SUBDIVISION BOUNDARY AND ALONG ROAD FRONTAGES AND 5 FEET WIDE ON SIDE LOT LINES FOR A TOTAL OF 10 FEET WHERE SHOWN ON THIS PLAT.
- 2- BUILDABLE AREA ENVELOPES ARE AS FOLLOWS:
 - 20 FOOT FRONT YARD SETBACK
 - 25 FOOT REAR YARD SETBACK
 - 10 FOOT SIDE YARD SETBACK
 - 20 FOOT SIDE YARD SETBACK ON CORNER LOTS
- 3- EXISTING RIGHT-OF-WAY AND UTILITY EASEMENT IN FAVOR OF LOT 1, SEE MITCHELL'S COVE SUBDIVISION AS RECORDED AT THE DAVIS COUNTY RECORDERS OFFICE AND THE EXISTING RIGHT OF WAY AND UTILITY EASEMENT DESCRIPTION SHOWN HEREON.
- 4- EXISTING 80' TEMP. TURN-AROUND EASEMENT
- 5- TURN-AROUND EASEMENT
- 6- ALTERNATE HAMMERHEAD TURN-AROUND OUTLINE OVERLAID ON STREET
- 7- EXISTING SANITARY SEWER SERVICE TO THE EXISTING HOME ON LOT 1 SHALL REMAIN IN SERVICE AND BE PRIVATELY OWNED AND MAINTAINED BY THE OWNER OF LOT 1.
- 8- GENERAL NOTE FOR ALL LOTS SERVICED BY DAVIS AND WEBER COUNTIES CANAL COMPANY SERVICED WITHIN THIS SUBDIVISION. POTENTIAL LOW PRESSURES ON THE SECONDARY WATER SYSTEMS MAY BE FOUND. HOME OWNERS ARE RESPONSIBLE TO INSTALL BOOSTER PUMPS AS NECESSARY.

EXISTING RIGHT OF WAY AND UTILITY EASEMENT (NOTE 3)
A RIGHT OF WAY BEING 30 FEET IN WIDTH DESCRIBED AS FOLLOWS: BEGINNING AT A POINT SOUTH 89°49'55" EAST 1335.80 FEET FROM THE NORTH QUARTER OF SECTION 33 TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN AND RUNNING THENCE SOUTH 00°10'05" WEST 291.02 FEET; THENCE SOUTH 89°49'55" EAST 30.00 FEET; THENCE NORTH 00°10'05" EAST 291.02 FEET; AND THENCE NORTH 89°49'55" WEST 30.00 FEET TO THE BEGINNING. (SEE MITCHELL'S COVE SUBDIVISION AS RECORDED AT THE DAVIS COUNTY RECORDER'S OFFICE)

LEGEND	
—	PROPERTY LINE
—	LOT LINE
—	CENTER / SECTION LINE
- - -	EASEMENT LINE
- - -	BUILDING SETBACK LINE (NOT SHOWN)
- - -	ADJOINING LOT LINE
⊕	PROPOSED STREET MONUMENT
⊕	SECTION CORNERS
⊕	PROPOSED STREETLIGHT
⊕	PURDE
⊕	PUBLIC UTILITY & DRAINAGE EASEMENT
⊕	SET 5/8" REBAR WITH AN ORANGE PLASTIC CAP, OR NAIL & WASHER STAMPED PINNACLE ENG. & LAND SURV.



327 West Gordon Ave., Suite #3
LAYTON, UT 84041
Phone: (801) 773-1910
Fax: (801) 719-6738

ALL INFORMATION SHOWN HEREON IS NOT FINAL OR APPROVED WITHOUT THE GOVERNING AGENCY(S)'S STAMP AND SIGNATURE. ANY USE OF THIS DRAWING AND ITS CONTENT WITHOUT SAID APPROVAL IS DONE AT THE INDIVIDUAL'S OWN RISK. PINNACLE ENGINEERING & LAND SURVEYING, INC. DOES NOT ASSUME LIABILITY FOR ANY SUCH USE.

SURVEYOR'S CERTIFICATE

I, STEPHEN P. BOTT DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 343593-2201 AS PRESCRIBED UNDER LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, HEREAFTER TO BE KNOWN AS **SOUTH BENCH MEADOWS** AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

BOUNDARY DESCRIPTION

A PART OF THE NORTH QUARTER OF SECTION 33, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, BEGINNING AT A POINT SOUTH 89°49'55" EAST 1335.80 FEET AND SOUTH 00°10'05" WEST 291.02 FEET FROM THE NORTH QUARTER OF SAID SECTION 33, AND RUNNING THENCE SOUTH 89°49'55" EAST 368.69 FEET TO THE WEST LINE OF EASTON VILLAGE FIRST AMENDMENT SUBDIVISION AS LOCATED ON THE GROUND BASED UPON THE EXISTING STREET IMPROVEMENTS AND STREET MONUMENTS, THENCE SOUTHERLY ALONG THE WEST BOUNDARY OF SAID EASTON VILLAGE FIRST AMENDMENT (3) COURSES: (1) SOUTH 00°16'24" EAST 15.32 FEET, (2) SOUTH 00°12'59" EAST 19.26 FEET, AND (3) SOUTH 00°00'17" EAST 94.48 FEET TO THE NORTHWEST CORNER OF EAST VILLAGE PHASE 2 ALSO LOCATED BASED UPON THE EXISTING STREET IMPROVEMENTS AND STREET MONUMENTS; THENCE SOUTH 00°00'14" EAST ALONG THE WEST LINE OF SAID SUBDIVISION AND THE EXTENSION THEREOF 300.06 FEET; THENCE NORTH 57°15'25" WEST 137.26 FEET; THENCE NORTH 60°54'25" WEST 188.00 FEET; THENCE NORTH 82°53'55" WEST 80.50 FEET; WEST 10.00 FEET; AND THENCE NORTH 00°10'05" EAST 254.60 FEET TO THE POINT OF BEGINNING.

CONTAINING: 119,328 SQ.FT. (2.74 ACRES)

STEPHEN P. BOTT DATE _____

OWNER'S DEDICATION

WE THE UNDERSIGNED OWNERS OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS, AS SHOWN ON THIS PLAT AND NAME SAID TRACT OF LAND

SOUTH BENCH MEADOWS

AND HEREBY VACATE ALL EASEMENTS DEPICTED WITHIN THE CONFINES OF MITCHELL'S COVE SUBDIVISION, A PLAT RECORDED AT THE DAVIS COUNTY RECORDERS OFFICE AND HEREBY DEDICATE, GRANT AND CONVEY TO SOUTH WEBER CITY, UTAH ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER, AND ALSO DEDICATE TO SOUTH WEBER CITY THOSE CERTAIN STRIPS AS EASEMENTS FOR GENERAL UTILITY AND DRAINAGE PURPOSES, AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF GENERAL UTILITY SERVICE INSTALLATION, MAINTENANCE AND OPERATION OF GENERAL UTILITY SERVICE LINES AND DRAINAGE, AS MAY BE AUTHORIZED BY SOUTH WEBER CITY.

THE UNDERSIGNED HEREBY CERTIFY THAT THIS SUBDIVISION HAS MET THE ALL THE REQUIREMENTS OF SOUTH WEBER CITY ORDINANCES.

SIGNED THIS _____ DAY OF _____, 20____.

JONATHAN WALL

ACKNOWLEDGMENT

STATE OF UTAH)
County of Davis)

On the _____ day of _____, A.D., 20____, personally appeared before me, the undersigned Notary public, in and for said County of Davis in said State of Utah, the signer () of the above Owner's dedication, in number _____, who duly acknowledged to me that signed it freely and voluntarily and for the uses and purposes therein mentioned.

NORARY PUBLIC: _____

COMMISSION NUMBER: _____

COMMISSION EXPIRES: _____

DAVIS COUNTY SCHOOL DISTRICT

APPROVED THIS _____ DAY OF _____, 20____, BY THE DAVIS COUNTY SCHOOL DISTRICT.

DAVIS COUNTY SCHOOL DISTRICT REPRESENTATIVE

SOUTH WEBER IRRIGATION COMPANY

APPROVED THIS _____ DAY OF _____, 20____, BY THE SOUTH WEBER IRRIGATION COMPANY.

SOUTH WEBER IRRIGATION COMPANY REPRESENTATIVE

ROCKY MOUNTAIN POWER

APPROVED THIS _____ DAY OF _____, 20____, BY A REPRESENTATIVE OF ROCKY MOUNTAIN POWER.

ROCKY MOUNTAIN POWER REPRESENTATIVE

DOMINION ENERGY

APPROVED THIS _____ DAY OF _____, 20____, BY A REPRESENTATIVE OF DOMINION ENERGY.

DOMINION ENERGY REPRESENTATIVE

CITY ATTORNEY'S APPROVAL

APPROVED THIS _____ DAY OF _____, 20____, BY THE SOUTH WEBER CITY ATTORNEY.

SOUTH WEBER CITY ATTORNEY

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, 20____, BY THE SOUTH WEBER CITY PLANNING COMMISSION.

CHAIRMAN, SOUTH WEBER CITY PLANNING COMMISSION

CITY ENGINEER'S APPROVAL

APPROVED THIS _____ DAY OF _____, 20____, BY THE SOUTH WEBER CITY ENGINEER.

SOUTH WEBER CITY ENGINEER

CITY COUNCIL APPROVAL

APPROVED THIS _____ DAY OF _____, 20____, BY THE SOUTH WEBER CITY COUNCIL.

ATTEST:
SOUTH WEBER CITY RECORDER SOUTH WEBER CITY MAYOR

DAVIS COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____ FILED FOR RECORD AND RECORDED THIS _____ DAY OF _____, 20____ AT _____ IN BOOK _____ OF OFFICIAL RECORDS PAGE _____

DAVIS COUNTY RECORDER
BY: _____ DEPUTY RECORDER

GENERAL NOTES

- 1. CONTRACTOR SHALL OBTAIN A COPY OF, AND STRICTLY ADHERE TO THE CURRENT STANDARDS AND SPECIFICATIONS OF ALL APPLICABLE AGENCIES.
2. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED...
3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED...
4. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE...
5. CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE CITY OR COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENTS STANDARDS...
7. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE THE FURNISHING OF ALL MATERIALS WITH THE GENERAL CONTRACTOR TO COMPLETE THE PROJECT.
8. TRAFFIC CONTROL TO CONFORM TO THE CURRENT CITY OR COUNTY TRANSPORTATION ENGINEER'S MANUAL.

GEOTECHNICAL NOTES

- 1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT...
2. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS...

DEMOLITION NOTES

- 1. CONTRACTOR TO LEGALLY REMOVE & DISPOSE OF ALL EXTRANEOUS UTILITIES, STRUCTURES, IMPROVEMENTS & DEBRIS ON THE SITE PRIOR TO CONSTRUCTING THE IMPROVEMENTS SHOWN ON THIS PLAN.
2. SAID DEMOLITION MAY INCLUDE, BUT IS NOT LIMITED TO UTILITY SERVICES AS WELL AS ASPHALT, CONCRETE, FENCES, TREES, SHRUBS & OTHER DELETERIOUS MATERIALS ON THE SITE.
3. SAID DEMOLITION INCLUDES UTILITY MAINS AS SHOWN ON THESE PLANS.
4. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
5. CONTRACTOR IS TO COORDINATE ALL PERMITS, FEES & INSPECTIONS AS REQUIRED BY ANY AGENCY HAVING JURISDICTION.
6. NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT...

UNDERGROUND INFORMATION

- 1. THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS IS BASED ON INFORMATION GATHERED FROM UTILITIES AND/OR FROM ABOVE-GROUND STRUCTURES OR EVIDENCE FOUND AT THE TIME OF SURVEY...
2. IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION...
3. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.

UTILITY NOTES

CONTRACTOR SHALL OBTAIN A COPY OF, AND STRICTLY ADHERE TO THE CURRENT STANDARDS AND SPECIFICATIONS OF SOUTH WEBER CITY PUBLIC WORKS. CONTRACTOR IS TO OBTAIN ANY REQUIRED PERMITS AND NOTIFY THE UTILITY OWNER AND PINNACLE ENGINEERING PRIOR TO BEGINNING ANY WORK ON WET UTILITIES...

STORM DRAIN SEE SOUTH WEBER CITY PUBLIC WORKS. STANDARDS & SPECIFICATIONS FOR ALL DETAILS & SPECIFICATIONS GOVERNING THE CONSTRUCTION & INSPECTION OF THE STORM DRAIN & APPURTENANCES WITHIN THE PUBLIC RIGHT-OF-WAY SHOWN ON THIS PLAN...

LAND DRAIN (NOT APPLICABLE) SANITARY SEWER SEE SOUTH WEBER CITY PUBLIC WORKS. STANDARDS & SPECIFICATIONS FOR ALL DETAILS & SPECIFICATIONS GOVERNING THE CONSTRUCTION & INSPECTION OF THE SANITARY SEWER & APPURTENANCES SHOWN ON THIS PLAN...

CULINARY WATER SEE SOUTH WEBER CITY PUBLIC WORKS. STANDARDS & SPECIFICATIONS FOR ALL DETAILS & SPECIFICATIONS GOVERNING THE CONSTRUCTION & INSPECTION OF THE CULINARY WATER & APPURTENANCES SHOWN ON THIS PLAN...

SECONDARY WATER ALL SECONDARY WATER IMPROVEMENTS SHALL BE INSTALLED PER DAVIS AND WEBER COUNTIES CANAL COMPANY STANDARDS & SPECIFICATIONS. SECONDARY WATER MAIN LINES SHALL BE 8" C900 PVC DR-18 PIPE...

DRY UTILITIES THESE PLANS SHOW THE LOCATION OF POWER, NATURAL GAS, AND COMMUNICATIONS UTILITIES, BUT ARE NOT DESIGN DRAWINGS FOR THE RELOCATION OR REMOVAL OF EXISTING DRY UTILITIES...

GENERAL UTILITY NOTE: 1. CONTRACTOR MUST START AT THE LOW END OF ALL GRAVITY FED LINES AND WORK UP HILL... 2. THE CONTRACTOR IS TO VERIFY DEPTHS OF UTILITIES IN THE FIELD BY POT HOLING...

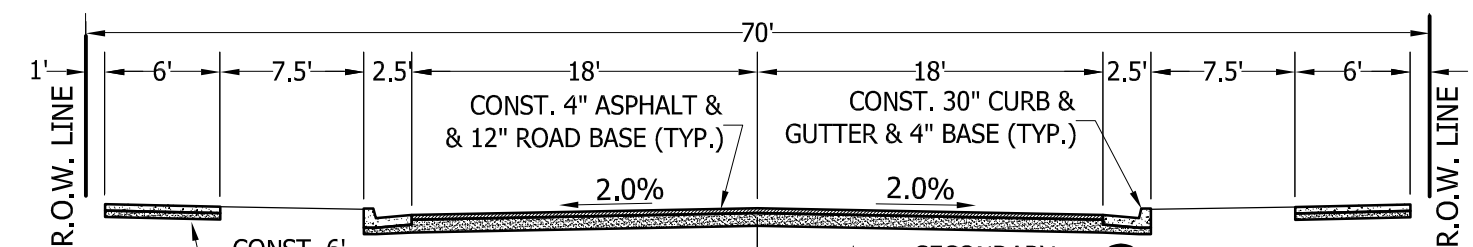
- 3. ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION...
4. CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW PIPE DURING CONSTRUCTION.
5. ALL THRUST BLOCKS SHALL BE POURED IN PLACE AGAINST UNDISTURBED SOIL...
6. CONTRACTOR TO LOOP NEW WATERLINE AROUND GRAVITY UTILITIES IF CONFLICT DOES OCCUR...
7. CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL DRAWINGS.
8. NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.

ABOVE-GROUND IMPROVEMENTS

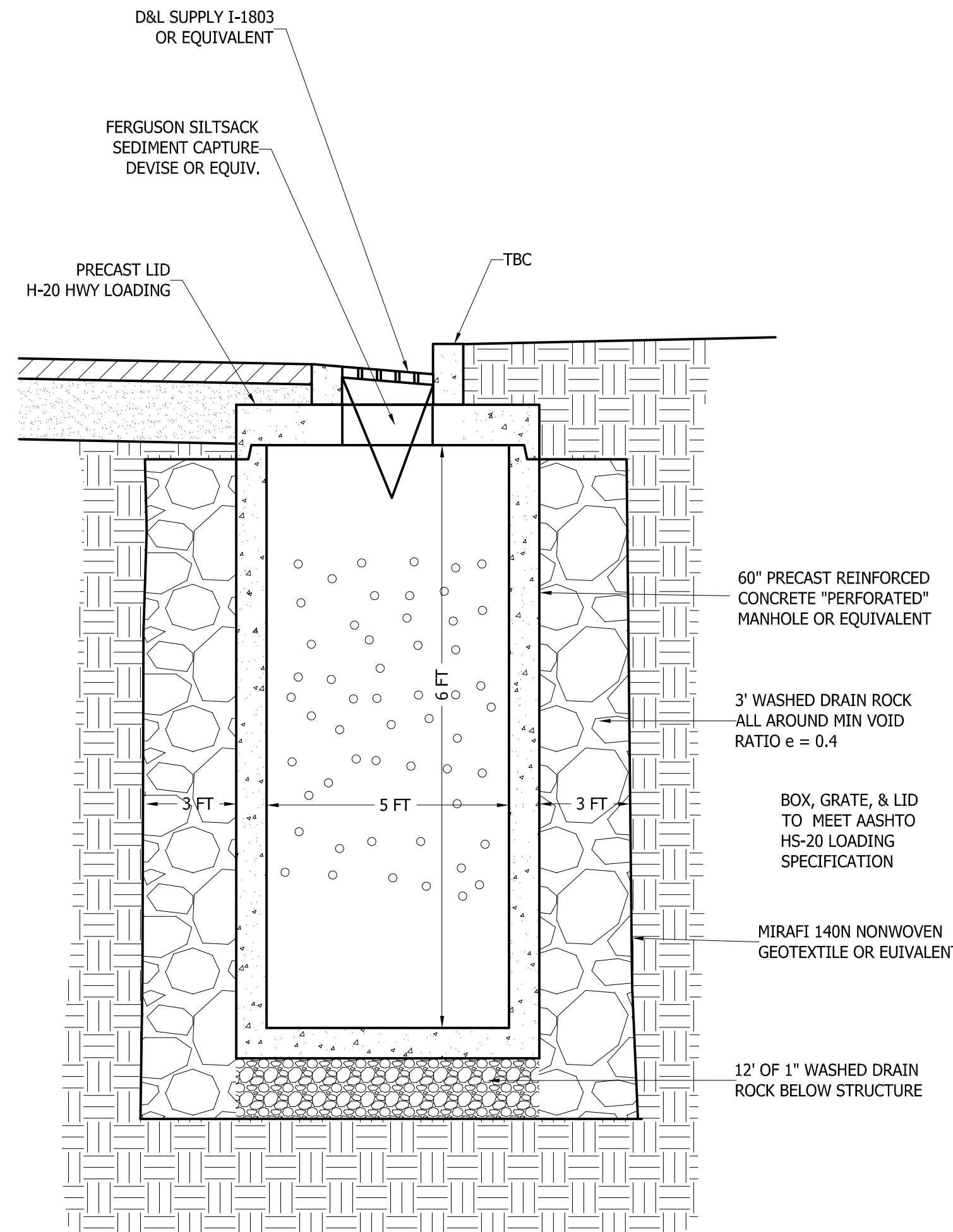
CONTRACTOR SHALL OBTAIN A COPY OF, AND STRICTLY ADHERE TO THE CURRENT SOUTH WEBER CITY PUBLIC WORKS STANDARDS AND SPECIFICATIONS. CONTRACTOR IS TO OBTAIN ANY REQUIRED PERMITS AND NOTIFY THE STREET OWNER AND PINNACLE ENGINEERING PRIOR TO BEGINNING ANY WORK WITHIN SAID STREET.

SITE WORK OUTSIDE OF THE PUBLICLY OWNED RIGHT OF WAY SHALL CONFORM WITH THE NOTES AND DETAILS SHOWN ON THIS SET OF PLANS. CONTRACTOR IS TO NOTIFY THE OWNER AND PINNACLE ENGINEERING PRIOR TO BEGINNING SAID WORK.

- 1. ALL DIMENSIONS, AND GRADES SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION...
2. ALL EXISTING MANHOLES, WATER VALVES, CLEAN OUTS, ETC., ARE TO BE RAISED OR LOWERED TO GRADE.
3. ALL NEW VALVES, MANHOLES, ETC. SHALL BE INSTALLED A MINIMUM OF 6" BELOW FINISH GRADE...
4. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, CHANGES IN DIRECTION, AND AT EQUAL INTERVALS...
5. CONCRETE WATERWAYS, CURB WALLS, MOW STRIPS, CURB AND GUTTER, ETC., WILL TYPICALLY BE SCORED...
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
7. ALL EXISTING ASPHALT WILL BE SAW CUT IN NEAT STRAIGHT LINES...
8. HANDICAP ACCESSIBILITY: ALL CONSTRUCTION SHALL MEET THE ADA HANDICAP ACCESSIBILITY REQUIREMENTS...
9. STRIPING WILL BE PER THE PLANS AND/OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE...
10. NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.



TYPICAL ROADWAY X-SECTION



STORM DRAIN DRY WELL

NOT TO SCALE

ABBREVIATIONS

- DIAMETER
DELTA
DEGREES
MINUTES, FEET
SECONDS, INCHES
ALGEBRAIC DIFFERENCE
AMERICAN DISABILITIES ACT
CORRUGATED BLACK PLASTIC PIPE
ARCHITECTURAL
BAR & CAP
BOUNDARY LINE
BOUNDARY LINE AGREEMENT
BENCHMARK
BOUNDARY
BACK OF WALK
BEARING
BUTTERFLY VALVE
BEGIN VERTICAL CURVE
BEGIN VERTICAL CURVE ELEVATION
BEGIN VERTICAL CURVE STATION
CURB AND GUTTER
CATCH BASIN
CHORD
CHORD BEARING
CAST IRON
CENTERLINE
CORRUGATED METAL PIPE
CLEANOUT
COMBINATION
CONCRETE
CONSTRUCTION
CONTROL POINT
CULINARY
CULINARY WATER
CULINARY WATERLINE
DEMOLITION
DUCTILE IRON
DIAMETER
DISTANCE
DIVERSION
EAST
EASEMENT
EXISTING GRADE
ELBOW
ELECTRICAL
END VERTICAL CURVE
END VERTICAL CURVE ELEVATION
END VERTICAL CURVE STATION
EXISTING
FINISH GRADE
FIRE HYDRANT
FLOWLINE
FOUNDATION
FOOTING
GRADE BREAK
GRATE
GATE VALVE
HIGH-DENSITY POLYETHYLENE PIPE
HIGH POINT
HIGH POINT ELEVATION
HIGH POINT STATION
INSIDE DIAMETER
INVERT
IRRIGATION
IRRIGATION MANHOLE
RADIUS OF CURVATURE
LENGTH
LATERAL SERVICE
LAND DRAIN
LAND DRAIN MANHOLE
LIP OF GUTTER
LOW POINT
LOW POINT ELEVATION
LOW POINT STATION
MECHANICAL
MANHOLE
MONUMENT
NORTH
NORTHEAST
NON-RADIAL
NORTHWEST
ON CENTER
OUTSIDE DIAMETER
PROPERTY LINE
PROPERTY
PUBLIC UTILITY EASEMENT
PUBLIC UTILITY & DRAINAGE EASEMENT
PUBLIC UTILITY EASEMENT & DRAINAGE EASEMENT
POLYVINYLCHLORIDE
RADIUS
ROADWAY CENTERLINE
REINFORCED CONCRETE PIPE
SOUTH
STORM DRAIN
STORM DRAIN CATCH BASIN
STORM DRAIN CLEANOUT
STORM DRAIN MANHOLE
SOUTHEAST
SECONDARY
SECTION
SALT LAKE BASE & MERIDIAN
SPECIFICATION
SPECIFICATIONS
STEEL PIPE
SANITARY SEWER
SANITARY SEWER CLEANOUT
SANITARY SEWER MANHOLE
STANDARD
STANDARDS
SECONDARY WATER
SOUTHWEST
SECONDARY WATERLINE
TANGENT
THRUST BLOCK
TOP BACK OF CURB
TOP BACK OF WALK
TELEPHONE
TOP OF CURB/WALL
TOP OF ASPHALT
TOP OF CONCRETE
TOP OF GRATE
TOP OF WALL
UTILITY
VALVE
VERTICAL CURVE
WATER
WEST
WATERLINE
WATER METER
CROSS
CROSS-SECTION

PINNACLE Engineering & Land Surveying, Inc. Phone: (801) 773-1910 Fax: (801) 773-1925 327 West Gordon Ave #3 Layton, UT 84041

SOUTH BENCH MEADOWS GENERAL NOTES & DETAILS FOR: JONATHAN WALL 7494 SOUTH 1025 EAST SOUTH WEBER, UTAH PROJECT #23-018

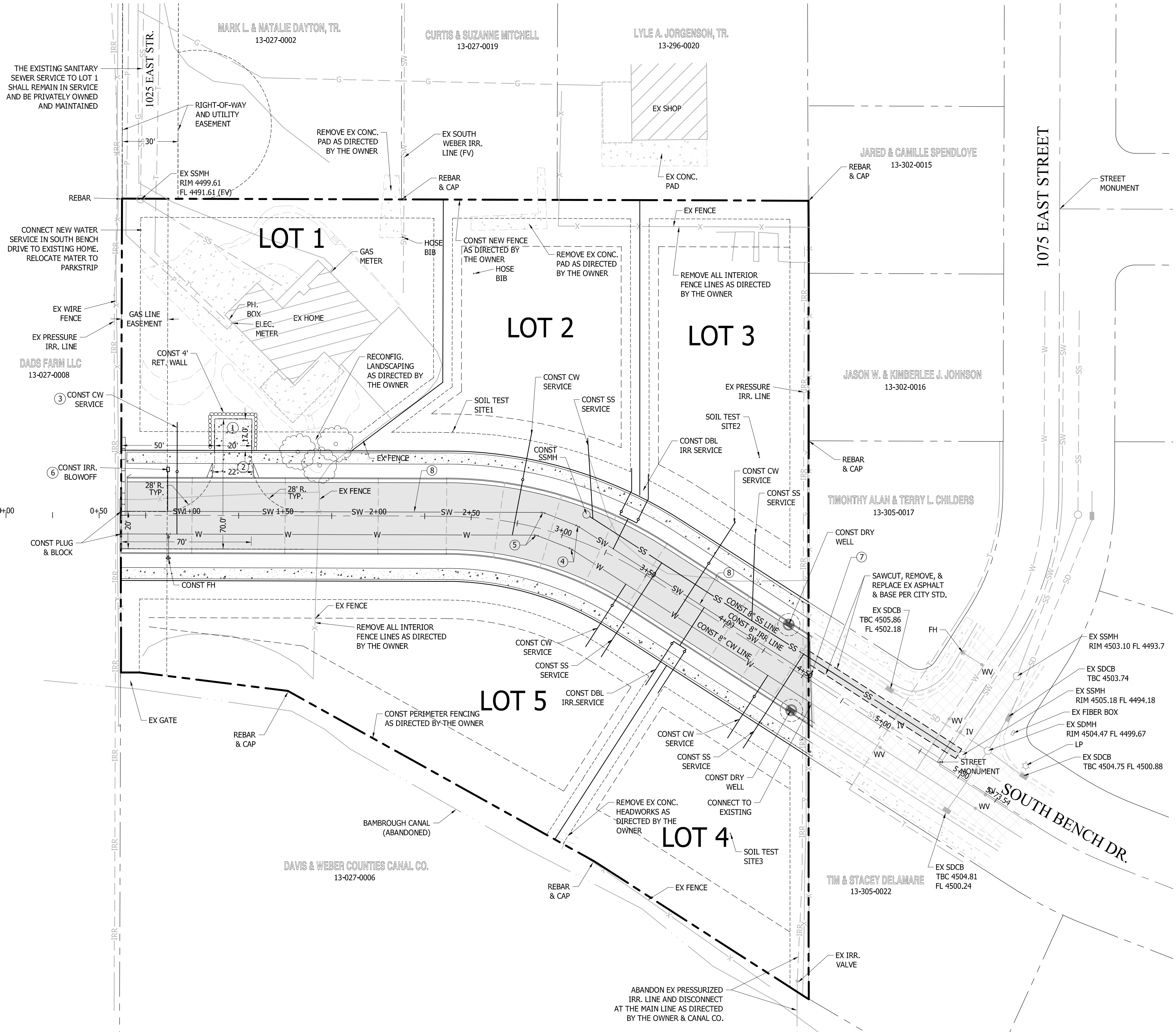


Table with columns for SURVEYED BY, DESIGNED BY, DRAWN BY, APPROVED BY, DATE, and REVISION.

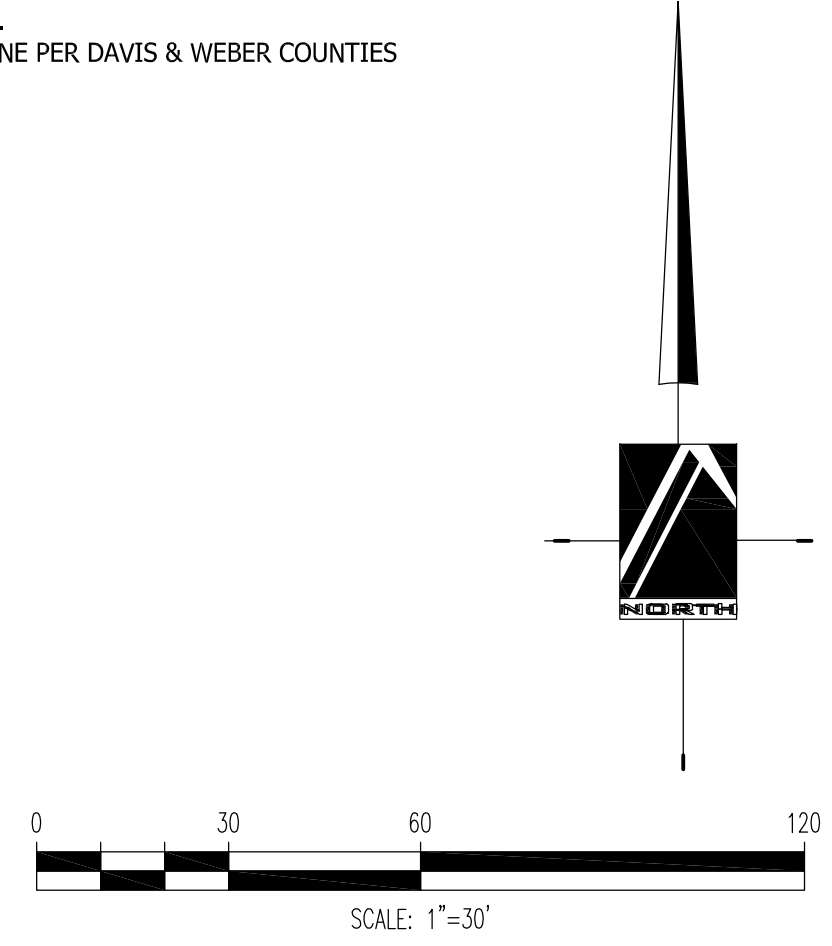
CALL BLUESTAKES 1-800-662-4111



ALL INFORMATION SHOWN HEREIN IS NOT FINAL OR APPROVED WITHOUT THE GOVERNING AGENCY'S STAMP AND SIGNATURE. ANY USE OF THIS DRAWING AND ITS CONTENT WITHOUT SAID APPROVAL IS DONE AT THE INDIVIDUAL'S OWN RISK. PINNACLE ENGINEERING & LAND SURVEYING, INC. DOES NOT ASSUME LIABILITY FOR ANY SUCH USE.



- ### KEYED NOTES
1. CONSTRUCT 6" CONCRETE PAD ON 6" MIN. COMPACTED ROAD BASE ON COMPACTED GRANULAR BORROW
 2. CONSTRUCT APPROACH APRON PER CITY STANDARDS
 3. CONNECT NEW WATER SERVICE TO LOT 1 FROM NEW SOUTH BENCH DRIVE TO EXISTING WATER SERVICE LINE TO THE EXISTING HOME, RELOCATE EXISTING WATER METER TO NEW PARKSTRIP - COORDINATE LOCATIONS WITH OWNERS PRIOR TO CONSTRUCTION
 4. CONSTRUCT 11.25 DEG. ELBOW & THRUST BLOCK
 5. CONSTRUCT 22.5 DEG. ELBOW & THRUST BLOCK
 6. MAINTAIN A MINIMUM OF 5 FT OF SEPARATION BETWEEN THE SECONDARY WATER BLOWOFF AND THE NEW CULINARY WATER SERVICE LINE TO LOT 1.
 7. CONNECT TO DAVIS & WEBER COUNTIES CANAL COMPANY SECONDARY WATER LINE ON SOUTH BENCH DRIVE.
 8. CONSTRUCT 8" SECONDARY WATER LINE PER DAVIS & WEBER COUNTIES CANAL COMPANY STANDARDS



LEGEND

NOT ALL ITEMS IN THE LEGEND MAY BE APPLICABLE

BM	BENCHMARK
C&G	CURB AND GUTTER
CB	CATCH BASIN
CP	CONTROL POINT
CW	CULINARY WATER
P.O.B.	POINT OF BEGINNING
FH	FIRE HYDRANT
G.V.	GATE VALVE
IRR	IRRIGATION
LD	LAND DRAIN
LDMH	LAND DRAIN MANHOLE
MH	MANHOLE
MON	MONUMENT
ROW	RIGHT OF WAY
SD	STORM DRAIN
SDCB	STORM DRAIN CATCH BASIN
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
LP	UTILITY POLE
LP	UTILITY/LIGHT POLE WITHOUT ENTRY # - OFFICIAL RECORDS
PH	PHONE
---	BOUNDARY LINE
---	STREET RIGHT-OF-WAY LINE
---	CENTERLINE
---	ADJACENT PROPERTY LINE
---	EASEMENT LINE
---	NEW STORM DRAIN
---	NEW SANITARY SEWER
---	NEW CULINARY WATERLINE
---	EX. OVERHEAD POWER LINE
---	EX. STORM DRAIN
---	EX. SANITARY SEWER
---	EX. TELEPHONE LINE
---	EX. GAS LINE
---	EX. CULINARY WATERLINE
---	EX. SECONDARY WATERLINE
(-250)	NEW DRAINAGE SWALE
(-250)	EG CONTOUR MAJOR
(-250)	EG CONTOUR MINOR
+	SECTION CORNER
+	MONUMENT
+	CONTROL POINT
+	EXISTING TREE
+	EXISTING PINE TREE
+	SET BAR & CAP OR NAIL & WASHER STAMPED "PINNACLE"
+	EXISTING CONCRETE
+	EXISTING GRASS
+	EXISTING ASPHALT
+	NEW CONCRETE
+	NEW ASPHALT
---	ASPHALT SAWCUT
---	EXIST. CONC. C&G OR SIDEWALK

BENCHMARK

BENCHMARK IS: THE NORTH QUARTER CORNER OF SECTION 33, TOWNSHIP 5 NORTH, RANGE 1 WEST, SLB&M. ELEVATION = 4490.10

PINNACLE
Engineering & Land Surveying, Inc.
Phone: (801) 773-1910
Fax: (801) 773-1925
327 West Gordon Ave #3
Layton, UT 84041

SOUTH BENCH MEADOWS
SITE PLAN & UTILITY PLAN
FOR: JONATHAN WALL
7494 SOUTH 1025 EAST
SOUTH WEBER, UTAH
PROJECT #23-018

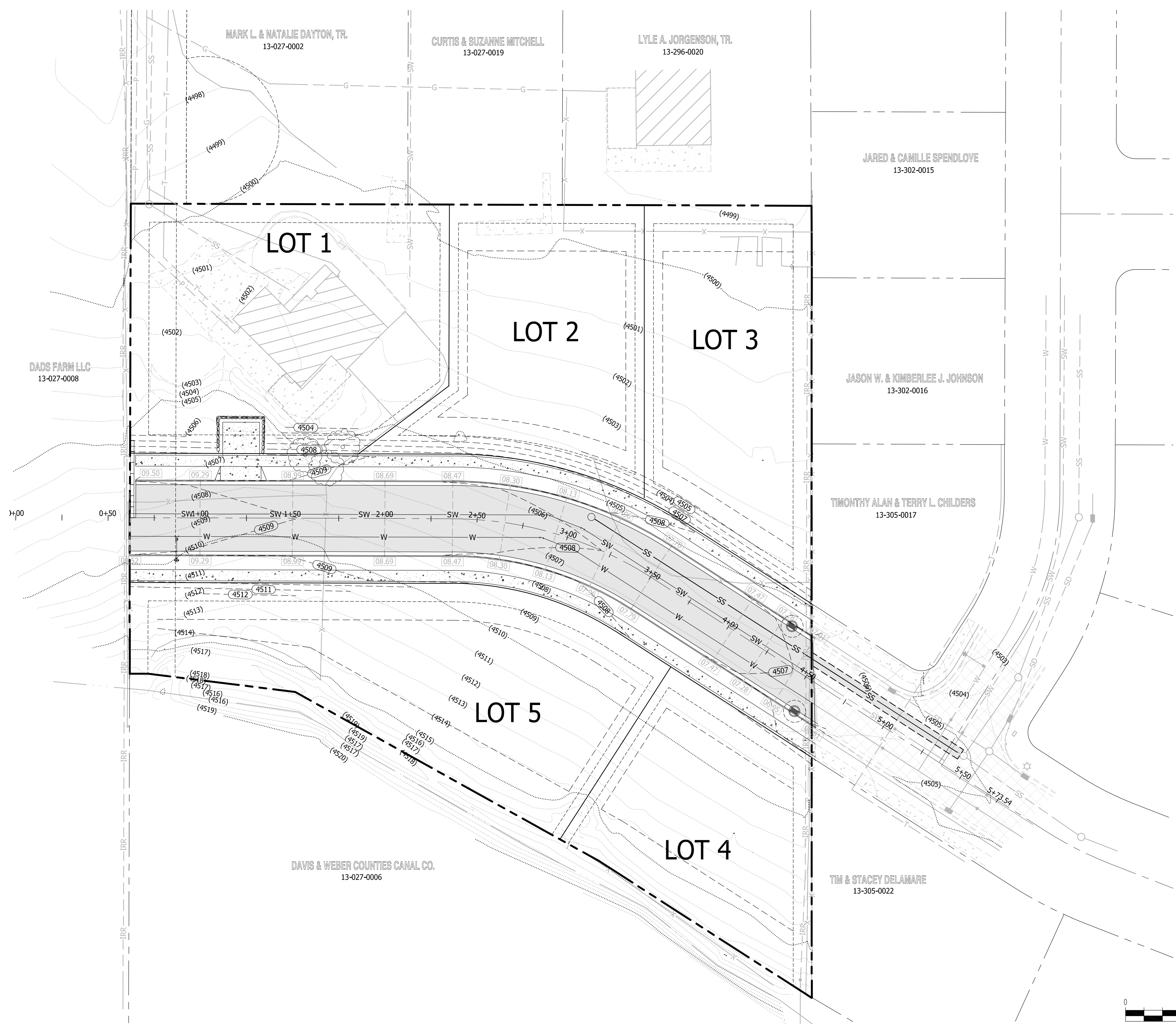


REVISION	DATE	BY

SURVEYED BY	7-2023
DESIGNED BY	SB
DRAWN BY	SB
APPROVED BY	09/13/23
DATE	09/13/23

CALL BLUESTAKES
1-800-662-4111
AT LEAST 48 HOURS BEFORE DIGGING

SHEET
5



Rainfall Data

Storm Duration (min.)	10 Year Intensity (in/hr)	100 Year Intensity (in/hr)
5	3.67	7.21
10	2.80	5.48
15	2.31	4.53
30	1.58	3.05
60	0.96	1.89
360	0.28	0.41
720	0.16	0.25
1440	0.10	0.14

Run-off Coefficient Calculation

Zone	Area	C-Value	Trib Area	C-Value
Asphalt	14,106	sf 0.9	12,696	
Sidewalks	4,290	sf 0.9	3,861	
Curb & Gutter	1,950	sf 0.9	1,755	
Hardscape	25,000	sf 0.9	22,500	
Softscape	73,976	sf 0.25	18,494	
Total	119,323	sf	59,309	0.50
	2.7	acres		

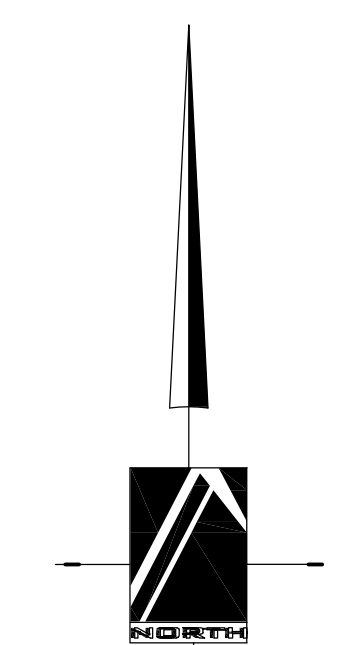
10 Year Detention

Area	2.74	Acres
C	0.50	
Discharge	0.10	cfs/acre

Time (min)	Intensity (in/hr)	Runoff (cf)	Discharge	Required Storage
5	3.67	1,499	82	1,417
10	2.80	2,288	164	2,123
15	2.31	2,831	247	2,585
30	1.58	3,824	493	3,331
60	0.96	4,716	986	3,730
360	0.28	7,619	5,918	1,700
720	0.16	9,648	11,837	0
1440	0.10	11,649	23,674	0

LEGEND

- NOT ALL ITEMS IN THE LEGEND MAY BE APPLICABLE
- BM BENCHMARK
 - C&G CURB AND GUTTER
 - CB CATCH BASIN
 - CP CONTROL POINT
 - CW CULINARY WATER
 - P.O.B. POINT OF BEGINNING
 - FH FIRE HYDRANT
 - G.V. GATE VALVE
 - IRR IRRIGATION
 - LD LAND DRAIN
 - LDMH LAND DRAIN MANHOLE
 - MH MANHOLE
 - MON MONUMENT
 - ROW RIGHT OF WAY
 - SD STORM DRAIN
 - SDCB STORM DRAIN CATCH BASIN
 - SDMH STORM DRAIN MANHOLE
 - SS SANITARY SEWER
 - SSCO SANITARY SEWER CLEANOUT
 - SSMH SANITARY SEWER MANHOLE
 - UP UTILITY POLE
 - LP UTILITY/LIGHT POLE WITHOUT ENTRY
 - W/O OFFICIAL RECORDS
 - PH PHONE
 - BOUNDARY LINE
 - STREET RIGHT-OF-WAY LINE
 - CENTERLINE
 - ADJACENT PROPERTY LINE
 - EASEMENT LINE
 - NEW STORM DRAIN
 - NEW SANITARY SEWER
 - NEW CULINARY WATERLINE
 - EX. OVERHEAD POWER LINE
 - EX. STORM DRAIN
 - EX. SANITARY SEWER
 - EX. TELEPHONE LINE
 - EX. GAS LINE
 - EX. CULINARY WATERLINE
 - EX. SECONDARY WATERLINE
 - NEW DRAINAGE SWALE
 - EG CONTOUR MAJOR
 - EG CONTOUR MINOR
 - SECTION CORNER
 - MONUMENT
 - CONTROL POINT
 - EXISTING TREE
 - EXISTING PINE TREE
 - SET BAR & CAP OR NAIL WITHOUT STAMPED "PINNACLE"
 - EXISTING CONCRETE
 - EXISTING GRASS
 - EXISTING ASPHALT
 - NEW CONCRETE
 - NEW ASPHALT
 - ASPHALT SAWCUT
 - EXIST. CONC. C&G OR SIDEWALK
- BENCHMARK**
BENCHMARK IS: THE NORTH QUARTER CORNER OF SECTION 33, TOWNSHIP 5 NORTH, RANGE 1 WEST, SLB&M. ELEVATION = 4490.10



PINNACLE
Engineering & Land Surveying, Inc.
327 West Gordon Ave #3
Layton, UT 84041
Phone: (801) 773-1910
Fax: (801) 773-1925

SOUTH BENCH MEADOWS
GRADING & DRAINAGE PLAN
FOR: JONATHAN WALL
7494 SOUTH 1025 EAST
SOUTH WEBER, UTAH
PROJECT #23-018



BY	DATE	REVISION

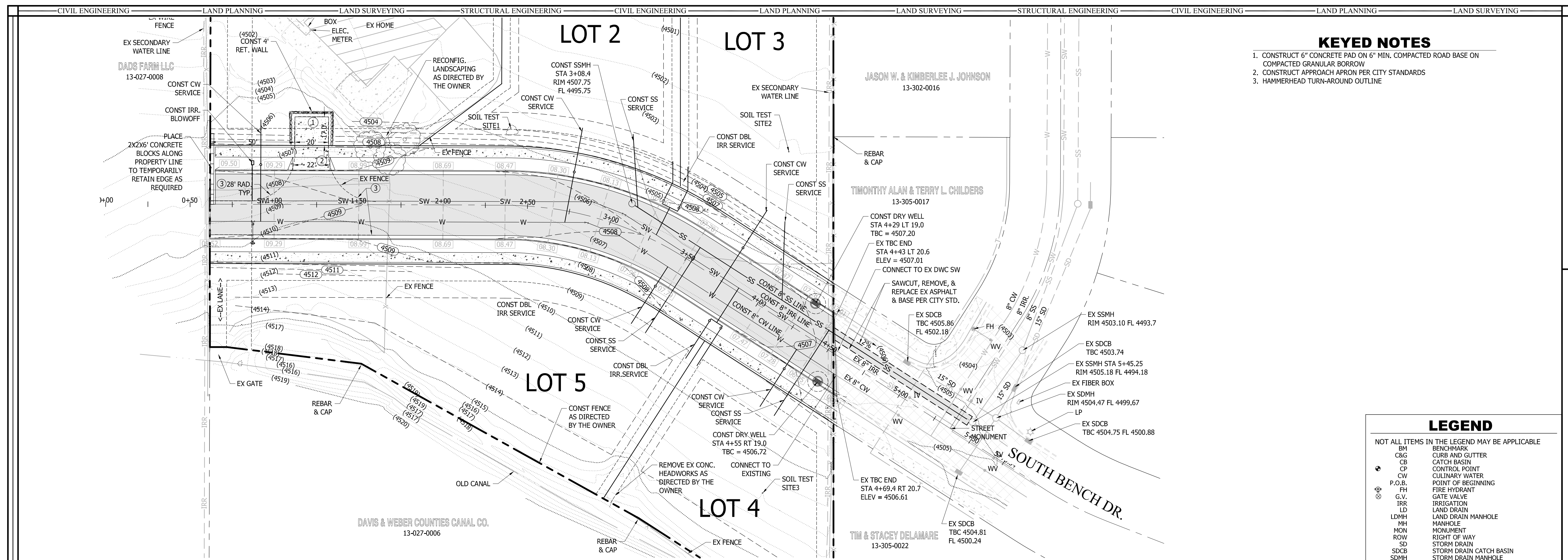
SURVEYED BY: SB 7-2023
DESIGNED BY: SB
DRAWN BY: SB 09/13/23
APPROVED BY: SB 09/13/23

CALL BLUESTAKES
1-800-662-4111
AT LEAST 48 HOURS BEFORE DIGGING

SHEET
6

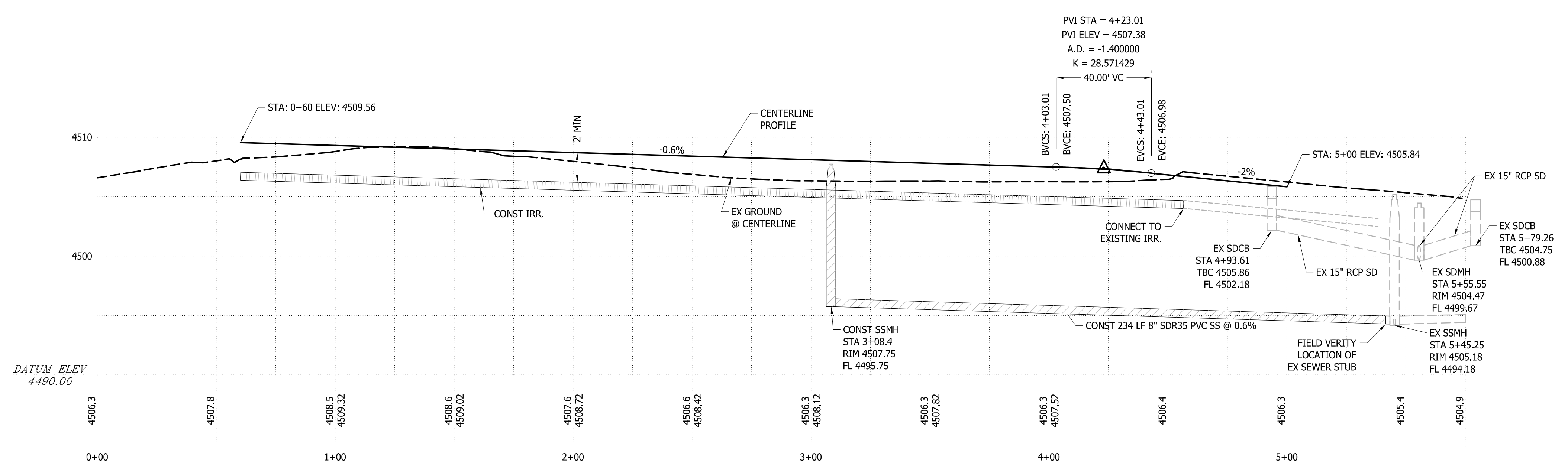
P:\2023 Projects\23-018 - Jon Wall\dwg\23-018_MP2.DWG 09/13/2023 10:25 PM

ALL INFORMATION SHOWN HEREIN IS NOT FINAL OR APPROVED WITHOUT THE GOVERNING AGENCY'S STAMP AND SIGNATURE. ANY USE OF THIS DRAWING AND ITS CONTENT WITHOUT SAID APPROVAL IS DONE AT THE INDIVIDUAL'S OWN RISK. PINNACLE ENGINEERING & LAND SURVEYING, INC. DOES NOT ASSUME LIABILITY FOR ANY SUCH USE.



- ### KEYED NOTES
1. CONSTRUCT 6" CONCRETE PAD ON 6" MIN. COMPACTED ROAD BASE ON COMPACTED GRANULAR BORROW
 2. CONSTRUCT APPROACH APRON PER CITY STANDARDS
 3. HAMMERHEAD TURN-AROUND OUTLINE

SOUTH BENCH DRIVE EXTENSION PLAN & PROFILE



LEGEND

NOT ALL ITEMS IN THE LEGEND MAY BE APPLICABLE

BM	BENCHMARK
C&G	CURB AND GUTTER
CB	CATCH BASIN
CP	CONTROL POINT
CW	CULINARY WATER
P.O.B.	POINT OF BEGINNING
FH	FIRE HYDRANT
G.V.	GATE VALVE
IRR	IRRIGATION
LD	LAND DRAIN
LDMH	LAND DRAIN MANHOLE
MH	MANHOLE
MON	MONUMENT
ROW	RIGHT OF WAY
SD	STORM DRAIN
SDCB	STORM DRAIN CATCH BASIN
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
UP	UTILITY POLE
LP	UTILITY/LIGHT POLE WITHOUT ENTRY # - OFFICIAL RECORDS
W/O	PHONE
E	PHONE
PH	PHONE
---	BOUNDARY LINE
---	STREET RIGHT-OF-WAY LINE
---	CENTERLINE
---	ADJACENT PROPERTY LINE
---	EASEMENT LINE
---	NEW STORM DRAIN
---	NEW SANITARY SEWER
---	NEW CULINARY WATERLINE
---	EX. OVERHEAD POWER LINE
---	EX. STORM DRAIN
---	EX. SANITARY SEWER
---	EX. TELEPHONE LINE
---	EX. GAS LINE
---	EX. CULINARY WATERLINE
---	EX. SECONDARY WATERLINE
---	NEW DRAINAGE SWALE
(4250)	EG CONTOUR MAJOR
(4250)	EG CONTOUR MINOR
+	SECTION CORNER
+	MONUMENT
+	CONTROL POINT
+	EXISTING TREE
+	EXISTING PINE TREE
+	SET BAR & CAP OR NAIL & WASHER STAMPED "PINNACLE"
+	EXISTING CONCRETE
+	EXISTING GRASS
+	EXISTING ASPHALT
+	NEW CONCRETE
+	NEW ASPHALT
---	ASPHALT SAWCUT
---	EXIST. CONC. C&G OR SIDEWALK

PINNACLE
Engineering & Land Surveying, Inc.
Phone: (801) 773-1910
Fax: (801) 773-1925
327 West Gordon Ave #3
Layton, UT 84041

SOUTH BENCH MEADOWS
STREET PLAN & PROFILE
FOR: JONATHAN WALL
7494 SOUTH 1025 EAST
SOUTH WEBER, UTAH
PROJECT #23-018



BY	DATE	REVISION

SURVEYED BY: SB 7-2023
DESIGNED BY: SB
DRAWN BY: SB 09/13/23
APPROVED BY: SB 09/13/23

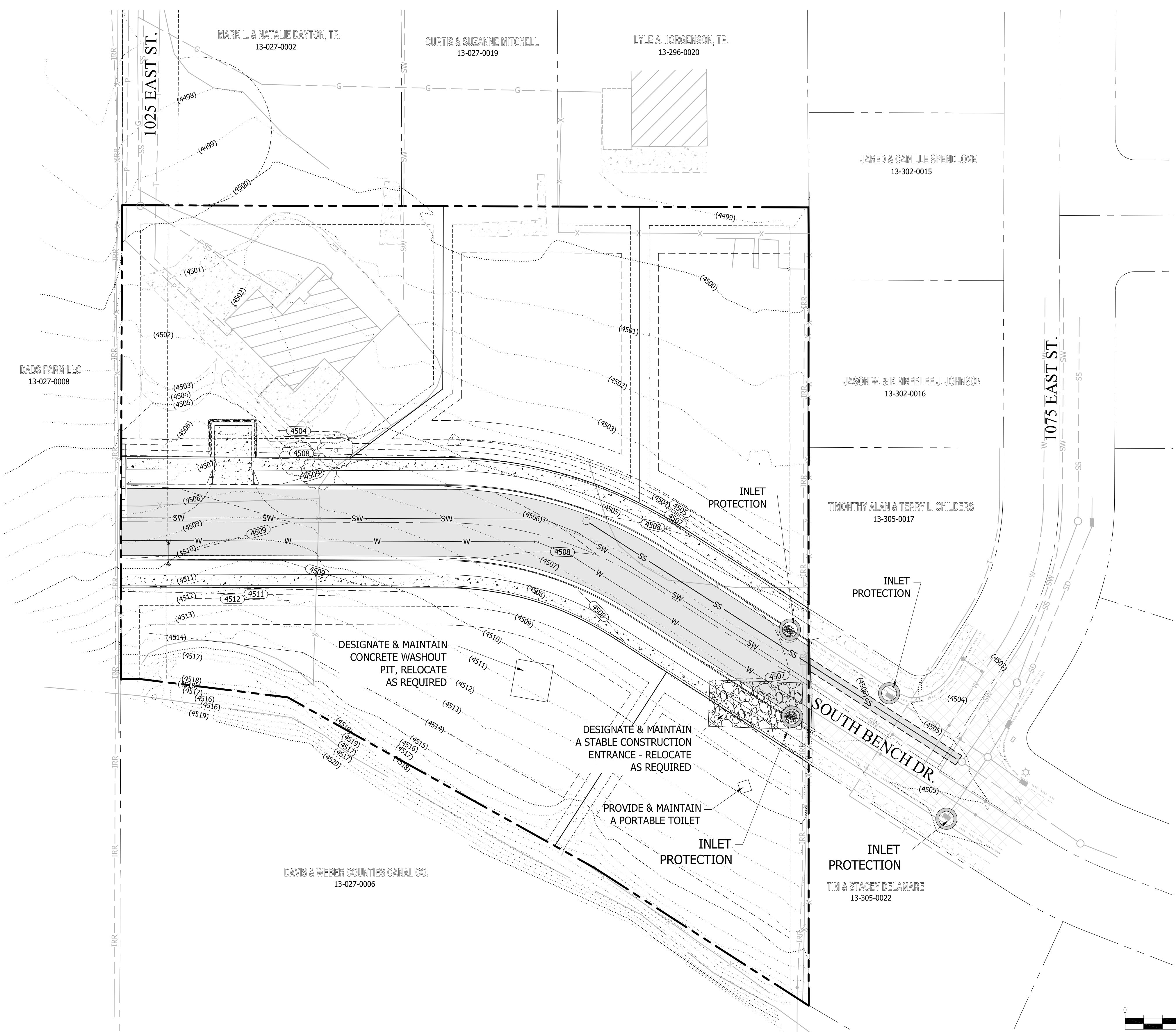
CALL BLUESTAKES
1-800-662-4111
AT LEAST 48 HOURS BEFORE DIGGING

BENCHMARK
BENCHMARK IS: THE NORTH QUARTER CORNER OF SECTION 33, TOWNSHIP 5 NORTH, RANGE 1 WEST, SLB&M. ELEVATION = 4490.10

SHEET
7

P:\2023 Projects\23-018 - Jon Wall\dwg\23-018_MP2.DWG 09/13/2023 10:33 PM

ALL INFORMATION SHOWN HEREIN IS NOT FINAL OR APPROVED WITHOUT THE GOVERNING AGENCY'S STAMP AND SIGNATURE. ANY USE OF THIS DRAWING AND ITS CONTENT WITHOUT SAID APPROVAL IS DONE AT THE INDIVIDUAL'S OWN RISK. PINNACLE ENGINEERING & LAND SURVEYING, INC. DOES NOT ASSUME LIABILITY FOR ANY SUCH USE.



LEGEND

NOT ALL ITEMS IN THE LEGEND MAY BE APPLICABLE

- BM BENCHMARK
- C&G CURB AND GUTTER
- CB CATCH BASIN
- CP CONTROL POINT
- CW CULINARY WATER
- P.O.B. POINT OF BEGINNING
- FH FIRE HYDRANT
- G.V. GATE VALVE
- IRR IRRIGATION
- LD LAND DRAIN
- LDMH LAND DRAIN MANHOLE
- MH MANHOLE
- MON MONUMENT
- ROW RIGHT OF WAY
- SD STORM DRAIN
- SDCB STORM DRAIN CATCH BASIN
- SDMH STORM DRAIN MANHOLE
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEANOUT
- SSPH SANITARY SEWER MANHOLE
- UP UTILITY POLE
- LP UTILITY/LIGHT POLE WITHOUT ENTRY # - OFFICIAL RECORDS
- W/O ENTRY # - OFFICIAL RECORDS
- E.P. PHONE

- BOUNDARY LINE
- STREET RIGHT-OF-WAY LINE
- CENTERLINE
- ADJACENT PROPERTY LINE
- EASEMENT LINE
- NEW STORM DRAIN
- NEW SANITARY SEWER
- NEW CULINARY WATERLINE
- EX. OVERHEAD POWER LINE
- EX. STORM DRAIN
- EX. SANITARY SEWER
- EX. TELEPHONE LINE
- EX. GAS LINE
- EX. CULINARY WATERLINE
- EX. SECONDARY WATERLINE

- (4250) NEW DRAINAGE SWALE
- EG CONTOUR MAJOR
- (4250) EG CONTOUR MINOR
- SECTION CORNER
- MONUMENT
- CONTROL POINT
- EXISTING TREE
- EXISTING PINE TREE
- SET BAR & CAP OR NAIL & WASHER STAMPED "PINNACLE"
- EXISTING CONCRETE
- EXISTING GRASS
- EXISTING ASPHALT
- NEW CONCRETE
- NEW ASPHALT
- ASPHALT SAWCUT
- EXIST. CONC. C&G OR SIDEWALK

BENCHMARK

BENCHMARK IS: THE NORTH QUARTER CORNER OF SECTION 33, TOWNSHIP 5 NORTH, RANGE 1 WEST, SLB&M. ELEVATION = 4490.10

PINNACLE
Engineering & Land Surveying, Inc.
327 West Gordon Ave #3
Layton, UT 84041
Phone: (801) 773-1910
Fax: (801) 773-1925

SOUTH BENCH MEADOWS
STORM WATER POLLUTION PREVENTION PLAN
FOR: JONATHAN WALL
7494 SOUTH 1025 EAST
SOUTH WEBER, UTAH
PROJECT #23-018



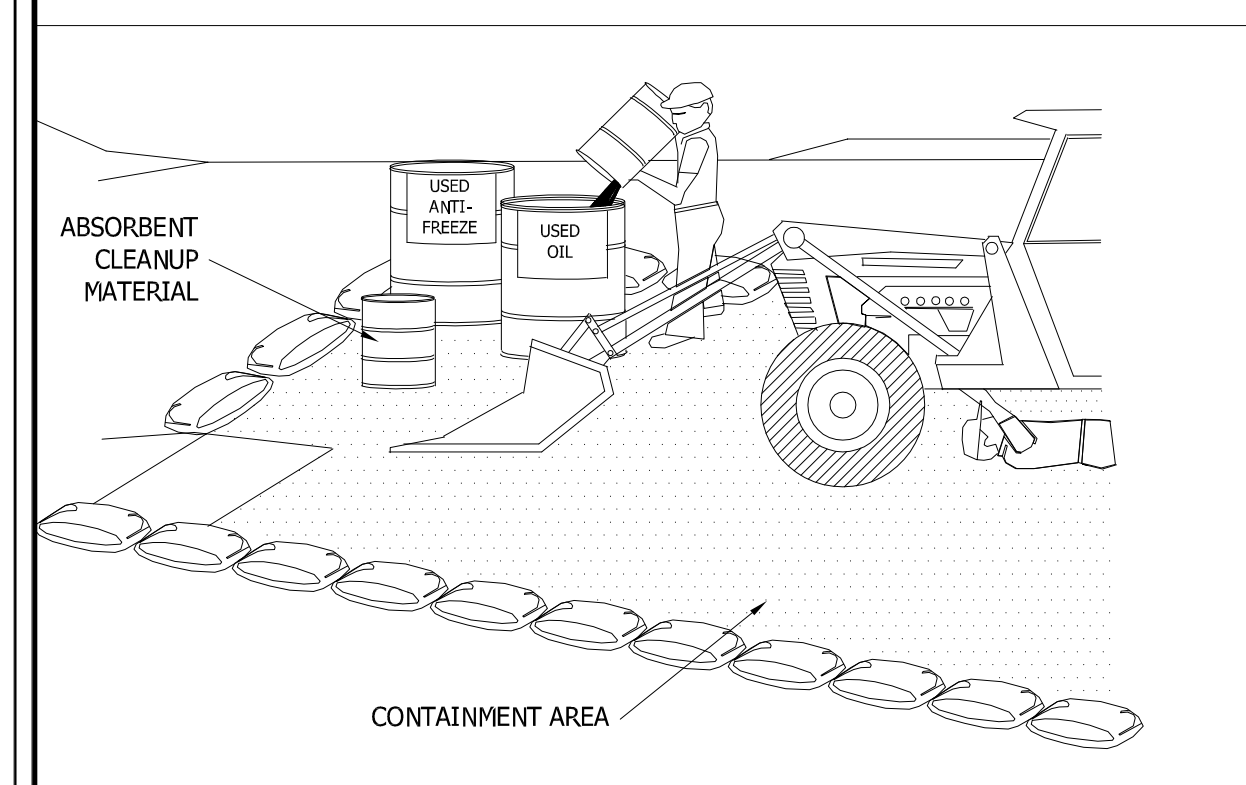
REVISION	DATE	BY

SURVEYED BY SB	7-2023
DESIGNED BY SB	
DRAWN BY SB	09/13/23
APPROVED BY SB	09/13/23

CALL BLUESTAKES
1-800-662-4111
AT LEAST 48 HOURS BEFORE DIGGING

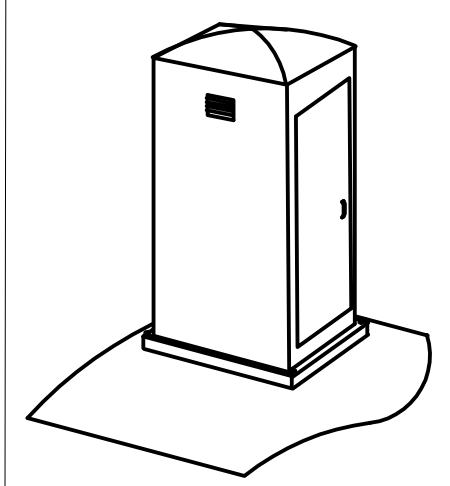
ALL INFORMATION SHOWN HEREIN IS NOT FINAL OR APPROVED WITHOUT THE GOVERNING AGENCY'S STAMP AND SIGNATURE. ANY USE OF THIS DRAWING AND ITS CONTENT WITHOUT SAID APPROVAL IS DONE AT THE INDIVIDUAL'S OWN RISK. PINNACLE ENGINEERING & LAND SURVEYING, INC. DOES NOT ASSUME LIABILITY FOR ANY SUCH USE.

P:\2023 Projects\23-018 - Jon Wall\dwg\23-018 IMP.DWG 09/13/2023 11:35:36 PM



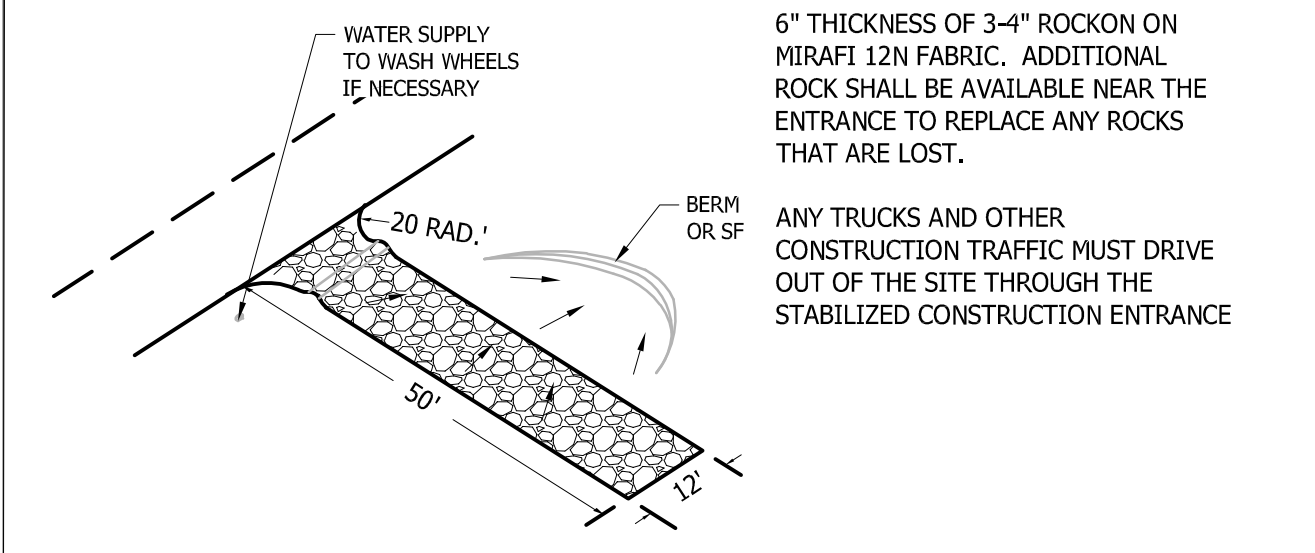
EQUIPMENT MAINTENANCE/REPAIR

1. NO EQUIPMENT OR VEHICLE MAINTENANCE ON-SITE.
- IF NECESSARY THE FOLLOWING ARE RECOMMENDED
- A. LEAKING VEHICLES AND EQUIPMENT SHALL NOT BE ALLOWED ON-SITE. EQUIPMENT AND VEHICLES SHALL BE INSPECTED FREQUENTLY FOR LEAKS AND SHALL BE REPAIRED IMMEDIATELY. CLEAN UP SPILLS AND LEAKS PROMPTLY WITH ABSORBENT MATERIALS; DO NOT FLUSH WITH WATER.
 - B. VEHICLES AND EQUIPMENT SHALL BE MAINTAINED, AND REPAIRED ON-SITE ONLY IN DESIGNATED AREAS. PREVENT RUN-ON AND RUN-OFF FROM DESIGNATED AREAS.
 - C. CONTAINMENT DEVICES SHALL BE PROVIDED AND AREAS SHALL BE COVERED IF NECESSARY.
 - D. DESIGNATE ON-SITE VEHICLE AND EQUIPMENT MAINTENANCE AREAS, AWAY FROM STORM DRAIN INLETS AND WATERCOURSES.
 - E. ALWAYS USE SECONDARY CONTAINMENT, SUCH AS A DRAIN PAN OR DROP CLOTH TO CATCH SPILLS AND LEAKS WHEN REMOVING OR CHANGING FLUIDS. LEGALLY DISPOSE OF USED OILS, FLUIDS AND LUBRICANTS.
 - F. PROVIDE SPILL CONTAINMENT DIKES OR SECONDARY CONTAINMENT AROUND STORED OIL, FUEL, AND CHEMICAL DRUMS.
 - G. MAINTAIN AN ADEQUATE SUPPLY OF ABSORBENT SPILL CLEANUP MATERIALS IN DESIGNATED AREAS.



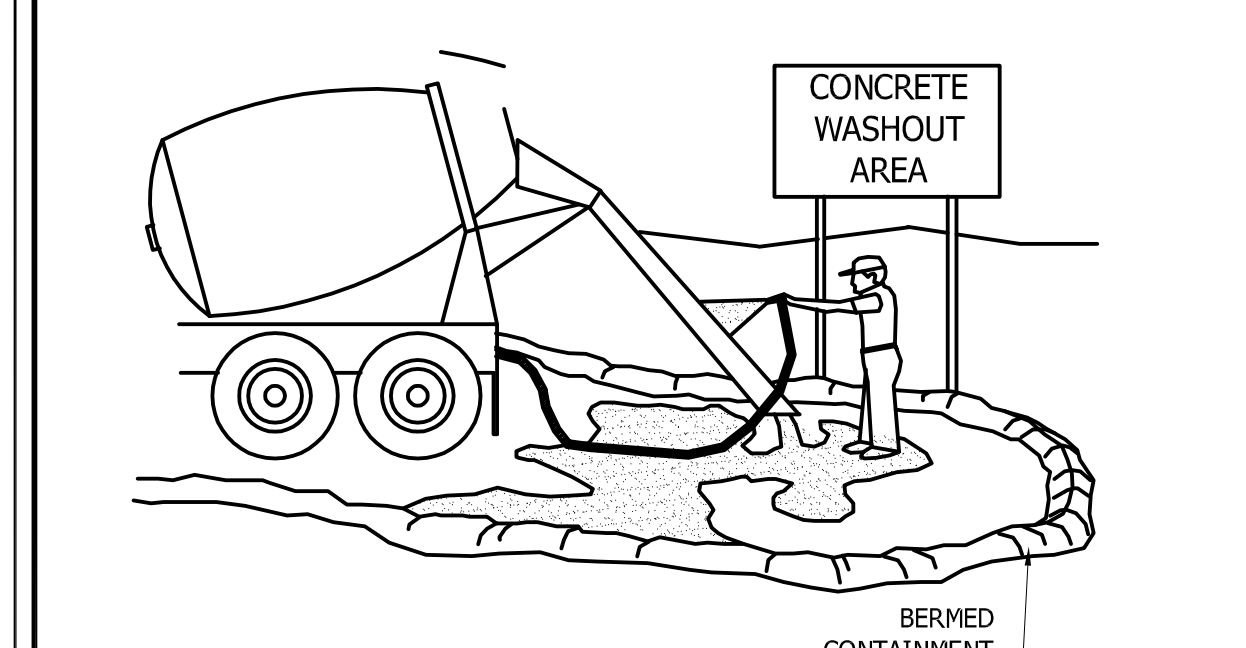
PORTABLE TOILET

- REQ'D UNTIL PLACING ROAD BASE
1. LOCATE TOILET IN CONVENIENT LOCATION.
 2. STAKE CORNERS TO GROUND TO PREVENT OVERTURNING
 3. MONITOR FOR LEAKS DAILY.
 4. ALL WASTE TO BE DISPOSED OF BY A LICENSED SANITARY WASTE DISPOSAL CONTRACTOR ACCORDING TO THE APPROPRIATE AUTHORITY'S STANDARDS & REGULATIONS.



STABILIZED CONSTRUCTION ENTRANCE

REQ'D UNTIL PLACING ROAD BASE



CONCRETE WASTE MANAGEMENT

- NOTES:
1. EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
 2. FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED ON SITE.
 3. SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP, AND DISPOSED OF PROPERLY.



BMP INSPECTION & MAINTENANCE

- 1) INSPECT BMPS IMMEDIATELY AFTER ANY RAINFALL, AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- 2) LOOK FOR RUNOFF BYPASSING OR DAMAGING EROSION CONTROLS.
- 3) REPAIR OR REPLACE DAMAGED AREAS. PRIORITIZE REPAIRS TO THE AREAS WITH HIGHEST ACCUMULATION OF POLLUTANTS.
- 4) REMOVE ACCUMULATED SEDIMENT AFTER EACH STORM EVENT AND BEFORE THE WET SEASON.
- 5) KEEP AN ACCURATE LOG OF INSPECTIONS, CLEANING AND REPAIRS.
- 6) RECORD THE AMOUNT OF WASTE COLLECTED

RESPONSIBLE PARTY

SPECIFIC NOTES

THIS STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WAS DEVELOPED AT THE REQUEST OF THE OWNER FOR THE DEVELOPMENT OF A 2.7 ACRE RESIDENTIAL DEVELOPMENT IN SOUTH WEBER CITY, DAVIS COUNTY, STATE OF UTAH. THIS PLAN IDENTIFIES POTENTIAL SOURCES OF POLLUTANTS OF STORM WATER, PRESENTS POLLUTION CONTROL MEASURES, AND ASSISTS IN INSURING IMPLEMENTATION AND MAINTENANCE OF THE BEST MANAGEMENT PRACTICES (BMP'S) INDICATED HEREIN.

A NOTICE OF INTENT SHALL BE FILED WITH THE STATE OF UTAH WATER RESOURCES CONTROL BOARD BY THE OWNER SO THAT THIS CONSTRUCTION PROJECT MAY BE COVERED UNDER THE STATE GENERAL PERMIT. THE PERMIT IS NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT (NO. UTR 620000) FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

IN THE EVENT OF A CHANGE IN OWNERSHIP, A NEW NOTICE OF INTENT SHALL BE FILED WITH THE STATE WATER RESOURCES CONTROL BOARD.

IN THE EVENT OF A RELEASE OF A REPORTABLE QUANTITY OF A POLLUTANT, THE CONTRACTOR SHALL ADVISE THE OWNER TO NOTIFY THE NATIONAL RESPONSE CENTER, SOUTH WEBER CITY AND PINNACLE ENGINEERING, INC. IF NECESSARY, THIS POLLUTION PREVENTION PLAN SHOULD BE REVISED TO REFLECT THE CHANGE IN CONDITIONS OF THE CONSTRUCTION ACTIVITY. A REPORTABLE QUANTITY IS ESTABLISHED BY 40 CODE OF FEDERAL REGULATIONS (CFR) 117.3

ALL CONTRACTORS AND THEIR PERSONNEL WHOSE WORK CAN CONTRIBUTE TO OR CAUSE POLLUTION OF STORM WATER SHOULD BE MADE FAMILIAR WITH THIS POLLUTION PREVENTION PLAN. ADEQUATE TRAINING FOR IMPLEMENTATION OF THE MEASURES PRESENTED HEREIN SHALL BE PROVIDED TO THE CONTRACTORS AND THEIR PERSONNEL.

CHANGES IN CONSTRUCTION OR IN CONDITIONS WHICH ARE NOT COVERED BY THIS PLAN SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNERS AND PINNACLE ENGINEERING, INC. IF NECESSARY, THIS POLLUTION PREVENTION PLAN WILL BE REVISED TO REFLECT THE CHANGE IN CONSTRUCTION OR IN CONDITIONS.

ALL PREVENTION AND CLEAN UP MEASURES SHOULD BE CONDUCTED IN ACCORDANCE WITH SOUTH WEBER CITY ORDINANCES, AS WELL AS STATE AND FEDERAL REGULATIONS. WASTE MATERIALS SHOULD BE DISPOSED OF IN ALL DISCHARGERS OF STORM WATER MUST COMPLY WITH THE LAWFUL REQUIREMENTS OF SOUTH WEBER CITY AND OTHER LOCAL AGENCIES REGARDING THE DISCHARGES OF STORM WATER TO STORM DRAINS.

THIS PLAN DOES NOT COVER THE REMOVAL OF HAZARDOUS OR TOXIC WASTE. IN THE EVENT OF A DISCHARGE OR RELEASE OF A REPORTABLE QUANTITY OF TOXIC WASTE, WORK SHOULD BE STOPPED UNTIL THE SPILL CAN BE ASSESSED AND A MITIGATION REPORT PREPARED BY A QUALIFIED ENVIRONMENTAL CONSULTANT, AND IF NECESSARY, REVIEWED BY SOUTH WEBER CITY AND ANY OTHER AGENCY HAVING JURISDICTION.

THIS SWPPP SHALL BE MADE AVAILABLE TO THE PUBLIC UNDER SECTION 308(B) OF THE CLEAN WATER ACT. UPON REQUEST BY MEMBERS OF THE PUBLIC, THE DISCHARGER SHALL MAKE AVAILABLE FOR REVIEW A COPY OF THIS SWPPP EITHER TO THE REGIONAL WATER BOARD OR DIRECTLY THIS SWPPP MUST BE KEPT ON SITE DURING CONSTRUCTION ACTIVITY AND MADE AVAILABLE UPON REQUEST OF A REPRESENTATIVE OF THE REGIONAL WATER BOARD AND/OR THE LOCAL AGENCY HAVING JURISDICTION

PRE-CONSTRUCTION STORM WATER DISCHARGE COEFFICIENT IS 0.2. POST-CONSTRUCTION STORM WATER DISCHARGE COEFFICIENT FOLLOWING CONSTRUCTION OF THE STREET IMPROVEMENTS, HOMES, IS ASSUMED TO BE 0.30.

GENERAL NOTES

- A) PROHIBITION ON MOST NON-STORM WATER DISCHARGES ONLY STORM WATER FROM THE PROJECT SITE SHALL BE ALLOWED TO FLOW INTO THE ON-SITE STORM DRAIN SYSTEM. CLEAN, NON-CHLORINATED WATER FROM THE FLUSHING OF FIRE HYDRANTS, WATER MAINS, AND STORM DRAINS MAY BE DISCHARGED TO THE STORM DRAIN IF IT IS NOT ALLOWED TO COLLECT DIRT, DEBRIS, AND TRASH WHILE FLOWING TO A STORM DRAIN INLET.
- B) SOURCES OF STORM WATER POLLUTANTS STORM WATER POLLUTANTS INCLUDE SOIL SEDIMENT AND NUTRIENTS, OIL, GREASE, TOXIC POLLUTANTS, AND HEAVY METALS. SOURCES OF STORM WATER POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO SOIL EROSION BY WATER AND/OR WIND; CLEARING OF VEGETATION; GRADING; VEHICLE AND EQUIPMENT REFUELING AND MAINTENANCE; WASHING OF CONCRETE TRUCKS, MIXERS AND HANDLING EQUIPMENT; PAINTS, SOLVENTS AND ADHESIVES; AND LANDSCAPING WORK.
- C) EROSION AND SEDIMENT CONTROLS
 - 1) COVER EXPOSED STOCKPILES OF SOILS, CONSTRUCTION AND LANDSCAPING MATERIALS WITH HEAVY PLASTIC SHEETING.
 - 2) IN LANDSCAPING AREAS WHERE THE VEGETATION HAS NOT ESTABLISHED GROWTH AND TAKEN HOLD, CONSTRUCT SANDBAG OR DIRT BERMS AROUND THEIR PERIMETER TO INSURE THAT WATER WILL BE CONTAINED INSIDE THE LANDSCAPING AREA AND THAT IT WILL NOT BE CONVEYED TO A STORM DRAIN INLET.
 - 3) RE-VEGETATE AREAS WHERE LANDSCAPING HAS DIED OR NOT TAKEN HOLD.
 - 4) DIVERT STORM WATER RUNOFF AROUND DISTURBED SOILS WITH BERMS OR DIRT SWALES.
- D) OTHER CONTROLS
 - 1) WASTE DISPOSAL
 - A) KEEP WASTE DISPOSAL CONTAINERS COVERED.
 - B) PROVIDE FOR THE WEEKLY (OR MORE FREQUENT, IF NECESSARY) SUBMIT THE RECORDS EXCEPT UPON SPECIFIC REQUEST BY THE STATE DEQ DIVISION OF WATER QUALITY.
 - C) DISCHARGERS WHO CANNOT CERTIFY COMPLIANCE MUST NOTIFY THE STATE DEQ DIVISION OF WATER QUALITY. THIS NOTIFICATION SHALL IDENTIFY THE TYPE OR TYPES OF NONCOMPLIANCE, DESCRIBE THE ACTIONS NECESSARY TO ACHIEVE COMPLIANCE, AND INCLUDE A TIME SCHEDULE. SUBJECT TO THE MODIFICATIONS BY THE STATE DEQ DIVISION OF WATER QUALITY, INDICATING WHEN COMPLIANCE WILL BE ACHIEVED. NONCOMPLIANCE REPORTS MUST BE SUBMITTED WITHIN 30 DAYS OF THE IDENTIFICATION OF THE NONCOMPLIANCE.
 - 2) MAINTENANCE OF CONTROLS
 - 1) MAINTENANCE AND REPAIR ALL CONTROLS AND MEASURES INDICATED ON THIS PLAN SHOULD BE MAINTAINED IN GOOD AND EFFECTIVE CONDITION IF ANY CONTROLS OR MEASURES ARE DAMAGED OR REMOVED, THEY SHOULD BE PROMPTLY REPAIRED OR RESTORED.
 - 2) PLAN REVISIONS IF CONSTRUCTION ACTIVITY OR CONDITIONS CHANGE FROM THOSE SHOWN IN THIS PLAN, THEN THIS PLAN SHALL BE REVISED TO REFLECT THE CURRENT CONDITIONS.
 - 3) FINAL STABILIZATION AND POST-CONSTRUCTION CONTROLS
 - 1) AFTER CONSTRUCTION HAS BEEN COMPLETED, THE SITE SHALL BE SWEEP CLEAN, STORM WATER INLETS (GRATES AND BASINS) SHALL BE CLEANED, AND ALL WASTE AND LEFTOVER MATERIALS SHALL BE REMOVED FROM THE SITE.
 - 2) ALL LANDSCAPING AND PLANTING AREAS SHOULD BE WELL MAINTAINED TO PREVENT EROSION. AVOID OVER WATERING OF LANDSCAPING.
 - 3) ALL PAVED AREAS SHOULD BE SWEEP WEEKLY EITHER BY HAND OR BY MECHANICAL MEANS TO KEEP THE SITE CLEAN OF DIRT, DUST, AND DEBRIS.
 - 4) WASTE MATERIALS ON-SITE SHOULD BE STORED IN COVERED CONTAINERS WHICH ARE CLEANED OUT REGULARLY.
 - 5) TESTING OF FIRE HYDRANTS ON-SITE SHALL NOT BE CONDUCTED UNTIL THE AREA WHERE THE WATER DISCHARGES HAS BEEN SWEEP CLEAN OF DIRT AND DEBRIS.
 - 6) STORM DRAIN LINES SHOULD BE CHECKED AND CLEANED ANNUALLY TO KEEP THEM CLEAN AND CLEAR OF DEBRIS.
 - 7) ALL ON-SITE STORM WATER INLETS SHOULD BE CLEARLY MARKED "STORM WATER ONLY".
 - 4) COMPLETION OF CONSTRUCTION ACTIVITIES AND NOTICE OF TERMINATION
 - 1) WHEN CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED ON THIS SITE, THE OWNER SHALL FILE A LETTER WITH THE STATE DEQ DIVISION OF WATER QUALITY. THIS LETTER SHALL CERTIFY THAT THE CONSTRUCTION ACTIVITY HAS BEEN COMPLETED, THAT ALL ELEMENTS OF THE SWPPP HAVE BEEN IMPLEMENTED, THAT CONSTRUCTION AND EQUIPMENT MAINTENANCE WASTES HAVE BEEN DISPOSED OF PROPERLY, THAT THE SITE IS IN COMPLIANCE WITH ALL LOCAL STORM WATER REQUIREMENTS INCLUDING EROSION/SEDIMENT CONTROL REQUIREMENTS, POLICIES, AND GUIDELINES.

DEFINITIONS

"BEST MANAGEMENT PRACTICES" ("BMP'S") MEANS SCHEDULES OF ACTIVITIES, PROHIBITIONS OF PRACTICES, MAINTENANCE PROCEDURES, AND OTHER MANAGEMENT PRACTICES TO PREVENT OR REDUCE THE POLLUTION OF WATERS OF THE UNITED STATES. BMP'S ALSO INCLUDE TREATMENT REQUIREMENTS, OPERATING PROCEDURES, AND PRACTICES TO CONTROL SITE RUNOFF, SPILLAGE OR LEAKS, WASTE DISPOSAL, OR DRAINAGE FROM RAW MATERIAL STORAGE.

"CLEAN WATER ACT" ("CWA") MEANS THE FEDERAL WATER POLLUTION CONTROL ACT ENACTED BY PUBLIC LAW 92-500 AS AMENDED BY PUBLIC LAWS 95-217, 95-576, 96-483, AND 97-111; 33 USC 1251 ET SEQ.

"CONSTRUCTION SITE" IS THE LOCATION OF THE CONSTRUCTION ACTIVITY.

"NON-STORM WATER DISCHARGE" MEANS ANY DISCHARGE TO STORM DRAIN SYSTEMS THAT IS NOT COMPOSED ENTIRELY OF STORM WATER EXCEPT DISCHARGE PURSUANT TO AN NPDES PERMIT AND DISCHARGES RESULTING FROM FIRE FIGHTING ACTIVITIES.

"SIGNIFICANT MATERIALS" INCLUDES, BUT IS NOT LIMITED TO RAW MATERIALS; FUELS; MATERIALS SUCH AS SOLVENTS, DETERGENTS, AND PLASTIC PELLETS; FINISHED MATERIALS SUCH AS METALLIC PRODUCTS; RAW MATERIALS USED IN FOOD PROCESSING OR PRODUCTION HAZARDOUS SUBSTANCES DESIGNATED UNDER SECTION 101(14) OF THE COMPREHENSIVE ENVIRONMENTAL RESPONSE, COMPENSATION, AND LIABILITY ACT (CERCLA); ANY CHEMICAL THE FACILITY IS REQUIRED TO REPORT PURSUANT TO SECTION 313 OF TITLE III OF SUPERFUND AMENDMENTS AND REAUTHORIZATION ACT (SARA); ASBESTOS, PESTICIDES, AND WASTE PRODUCTS SUCH AS ASHES, SLAG, AND SLUDGE THAT HAVE THE POTENTIAL TO BE RELEASED WITH STORM WATER DISCHARGES.

"SIGNIFICANT QUANTITY" IS THE VOLUME, CONCENTRATIONS, OR MASS OF A POLLUTANT IN STORM WATER DISCHARGE THAT CAN CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; ADVERSELY IMPACT HUMAN HEALTH OR THE ENVIRONMENT; AND CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY APPLICABLE WATER QUALITY STANDARDS FOR THE RECEIVING WATER.

"STORM WATER" MEANS STORM WATER RUNOFF, SNOW MELT RUNOFF, SURFACE RUNOFF AND DRAINAGE. IT EXCLUDES INFILTRATION AND RUNOFF FROM AGRICULTURAL LAND.

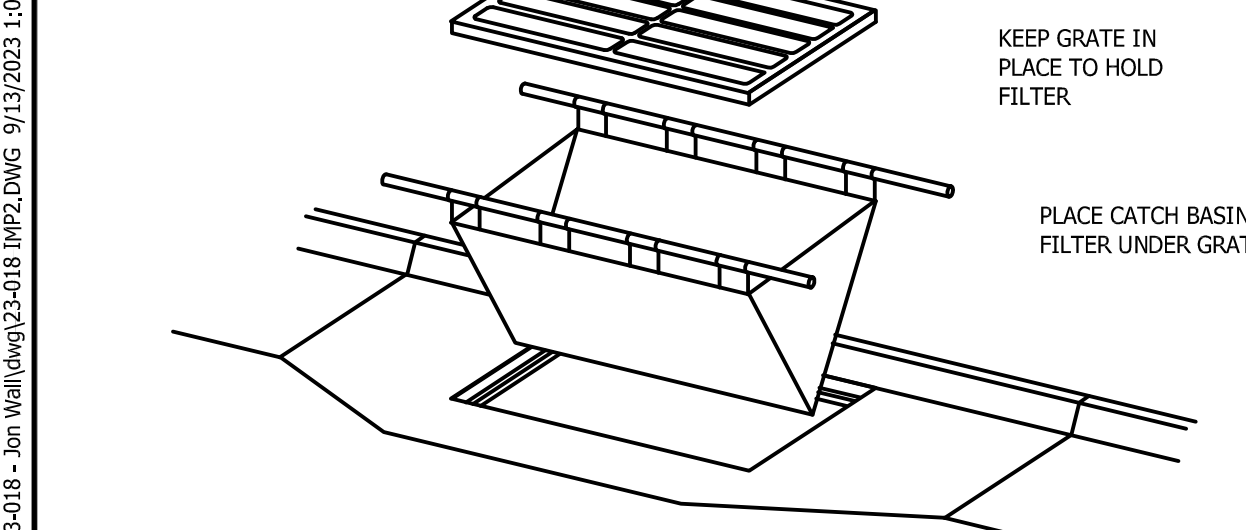
"POLLUTION" MEANS THE "MAN-MADE OR MAN-INDUCED ALTERATION OF THE CHEMICAL, PHYSICAL, BIOLOGICAL, AND RADIOLOGICAL INTEGRITY OF WATER" [CLEAN WATER ACT SECTION 502(19)]. POLLUTION ALSO MEANS "AN ALTERATION OF THE QUALITY OF THE WATERS OF THE STATE BY WASTE TO A DEGREE WHICH UNREASONABLY AFFECTS EITHER... THE WATERS FOR BENEFICIAL USES... OR FACILITIES WHICH SERVE THESE BENEFICIAL USES." [CALIFORNIA WATER CODE SECTION 13050(1)].

"CONTAMINATION" MEANS "AN IMPAIRMENT OF THE QUALITY OF THE WATERS OF THE STATE BY WASTE TO A DEGREE WHICH CREATES A HAZARD TO THE PUBLIC HEALTH THROUGH POISONING OR THROUGH THE SPREAD OF DISEASE... INCLUDING ANY EQUIVALENT EFFECT RESULTING FROM THE DISPOSAL OF WASTE, WHETHER OR NOT WATERS OF THE STATE ARE AFFECTED."

"NUISANCE" MEANS "ANYTHING WHICH MEETS ALL OF THE FOLLOWING REQUIREMENTS: (1) IS INJURIOUS TO HEALTH, OR IS INDECENT OR OFFENSIVE TO THE SENSES, OR AN OBSTRUCTION TO THE FREE USE OF PROPERTY, SO AS TO INTERFERE WITH THE COMFORTABLE ENJOYMENT OF LIFE AND PROPERTY; (2) AFFECTS AT THE SAME TIME AN ENTIRE COMMUNITY OR NEIGHBORHOOD, OR ANY CONSIDERABLE NUMBER OF PERSONS, ALTHOUGH THE EXTENT OF THE ANNOYANCE OR DAMAGE INFLICTED UPON INDIVIDUALS MAY BE UNEQUAL; (3) OCCURS DURING OR AS A RESULT OF THE TREATMENT OR DISPOSAL OF WASTES."

"LOCAL AGENCY" MEANS ANY AGENCY THAT IS INVOLVED WITH REVIEW, APPROVAL, OR OVERSIGHT OF THE CONSTRUCTION SITES' (a) CONSTRUCTION ACTIVITY, (b) EROSION AND SEDIMENT CONTROLS, (c) STORM WATER DISCHARGE.

IP-CBF



CATCH BASIN FILTER

MAINTENANCE: LIFT GRATE & INSPECT WEEKLY & AFTER RAINSTORMS. PROPERLY DISPOSE OF SEDIMENT.

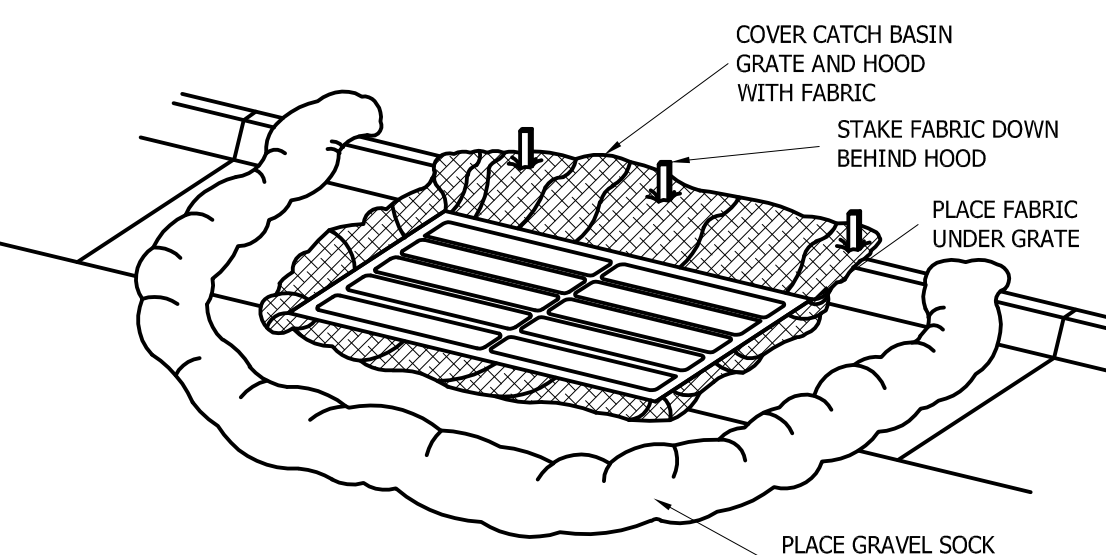
INLET PROTECTION - CATCH BASIN FILTER OPTION A

INSTALLATION NOTES

1. REMOVE GRATE
2. PLACE THE FILTER, TAKING CARE TO EXTEND FLAPS BEYOND THE EDGE OF THE GRATE.
3. PLACE THE GRATE BACK IN THE FRAME, ENSURING THAT THE FLAPS ARE PINCHED BETWEEN THE FRAME AND GRATE.

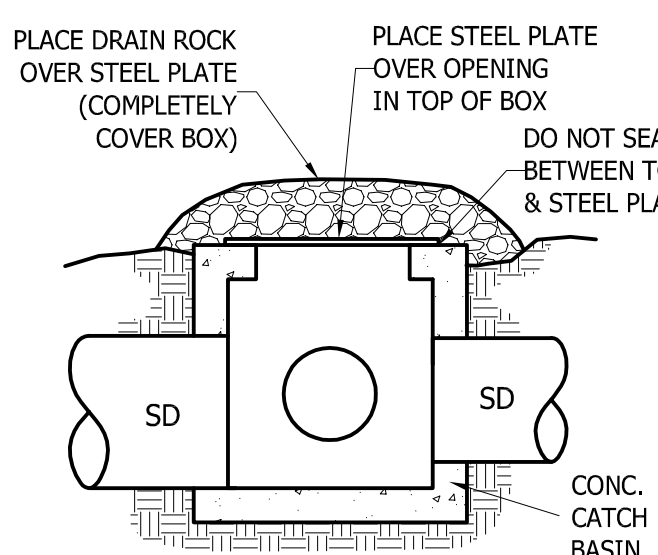
TIMING NOTES:

1. INSTALL PRIOR TO BEGINNING EXCAVATION WORK.
2. TO REMAIN IN PLACE UNTIL EARTHWORK IS STABILIZED.



FABRIC UNDER GRATE

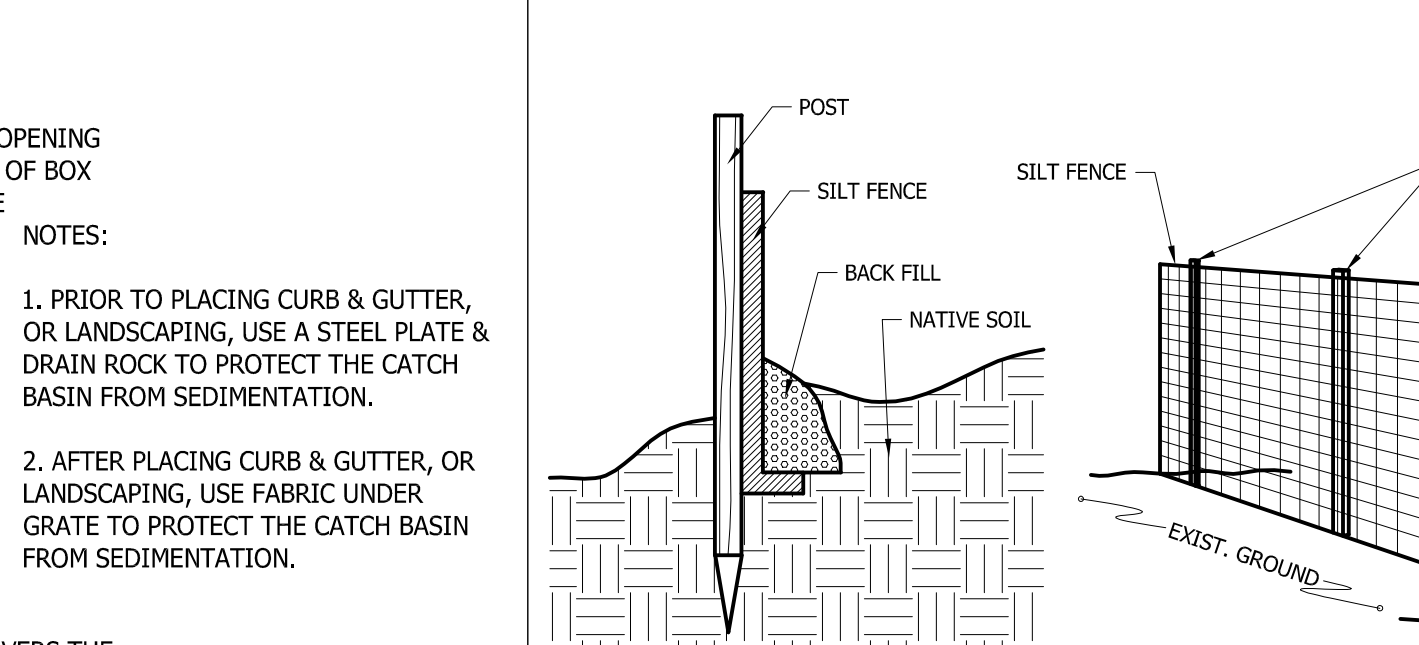
MAINTENANCE: LIFT GRATE & CLEAN SEDIMENT OFF OF FABRIC WEEKLY & AFTER A STORM. TAKE CARE WHILE LIFTING GRATE TO PREVENT SEDIMENT FROM FALLING INTO THE CATCH BASIN. DISPOSE OF SEDIMENT AWAY FROM THE STORM DRAIN.



STEEL PLATE & DRAIN ROCK

MAINTENANCE: CHECK THAT DRAIN ROCK COMPLETELY COVERS THE CATCH BASIN WEEKLY & AFTER A STORM. IF SEDIMENT COVERS THE DRAIN ROCK, REMOVE THE SEDIMENT.

CATCH BASIN PROTECTION OPTION B



SILT FENCE DETAIL

PINNACLE Engineering & Land Surveying, Inc.
 327 West Gordon Ave #3 Layton, UT 84041
 Phone: (801) 773-1910 Fax: (801) 773-1925

SOUTH BENCH MEADOWS STORM WATER POLLUTION PREVENTION NOTES
 FOR: JONATHAN WALL
 7494 SOUTH 1025 EAST SOUTH WEBER, UTAH
 PROJECT #23-018

REGISTERED PROFESSIONAL ENGINEER
 SB 345593
 STEPHEN P. BOTT
 9/13/23
 UTAH

REVISION	DATE	BY

DESIGNED BY SB 7-2023
 DRAWN BY SB 09/13/23
 APPROVED BY SB 09/13/23

CALL BLUESTAKES 1-800-662-4111
 AT LEAST 48 HOURS BEFORE DIGGING

SHEET 9

ALL INFORMATION SHOWN HEREIN IS NOT FINAL OR APPROVED WITHOUT THE GOVERNING AGENCY'S STAMP AND SIGNATURE. ANY USE OF THIS DRAWING AND ITS CONTENT WITHOUT SAID APPROVAL IS DONE AT THE INDIVIDUAL'S OWN RISK. PINNACLE ENGINEERING & LAND SURVEYING, INC. DOES NOT ASSUME LIABILITY FOR ANY SUCH USE.