

SOUTH WEBER GATEWAY

SOUTH WEBER, UTAH



ARCHITECT

CARBON ARCHITECTS
2630 LINCOLN AVE STE 102
OGDEN, UT 84401
385.244.1140
CARBONARCHITECTS.US

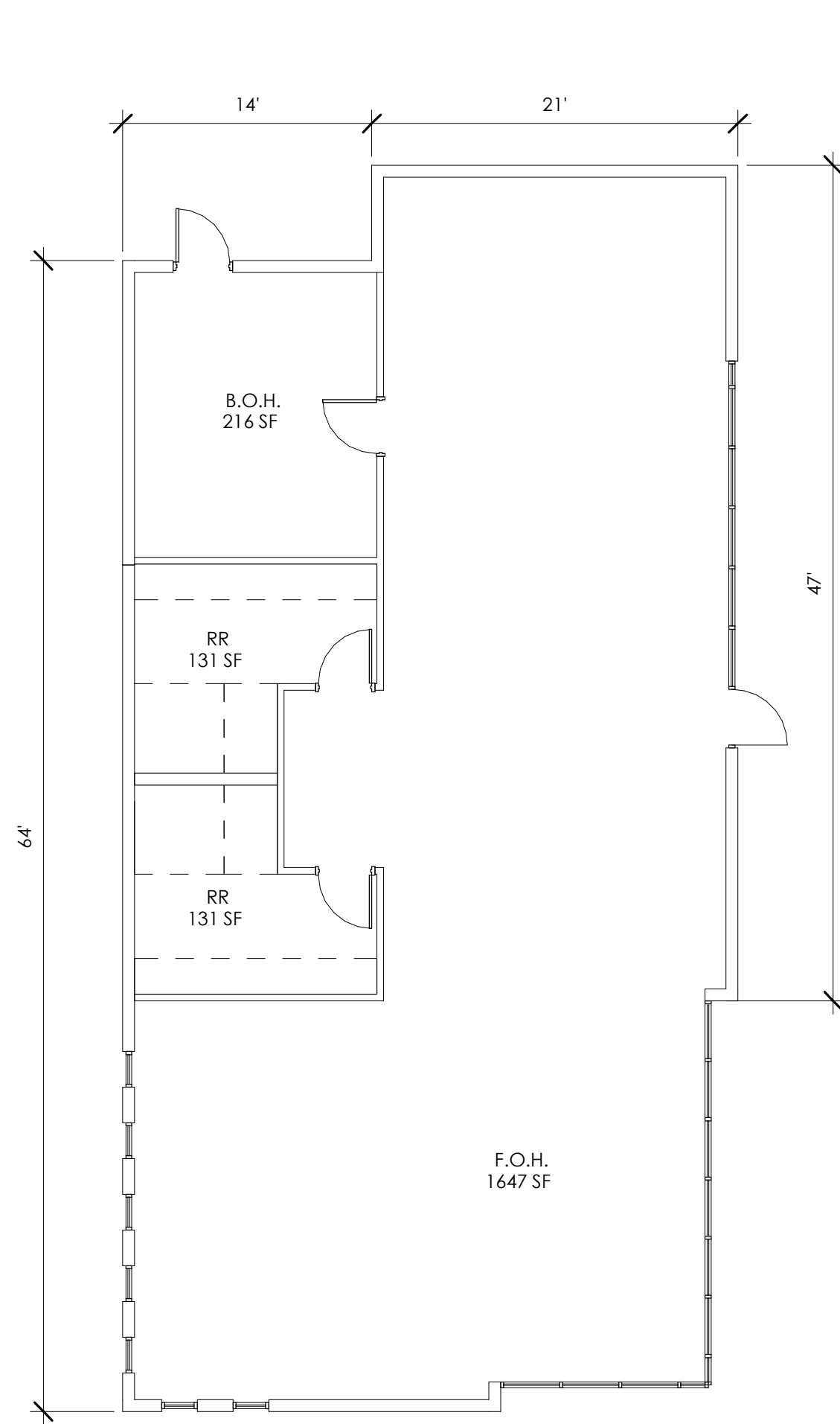
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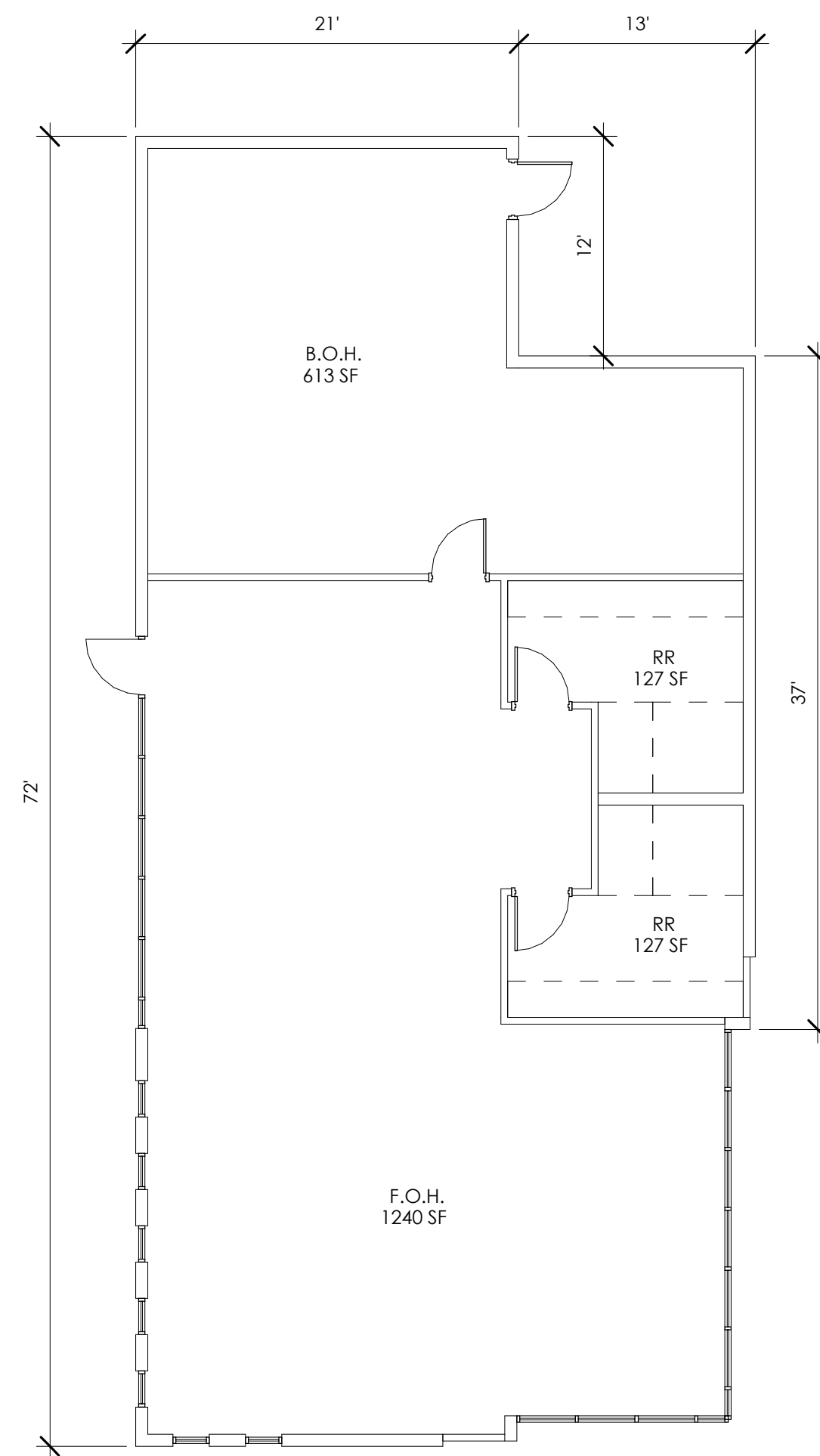
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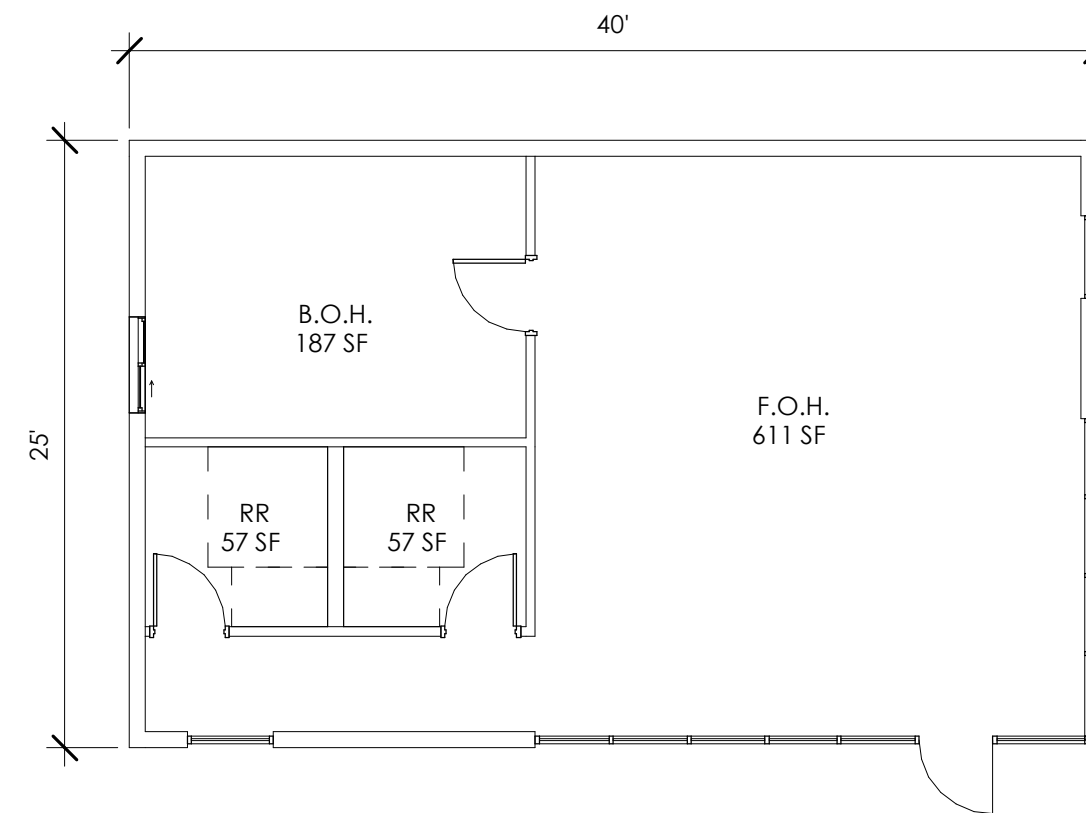
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SHEET NUMBER	
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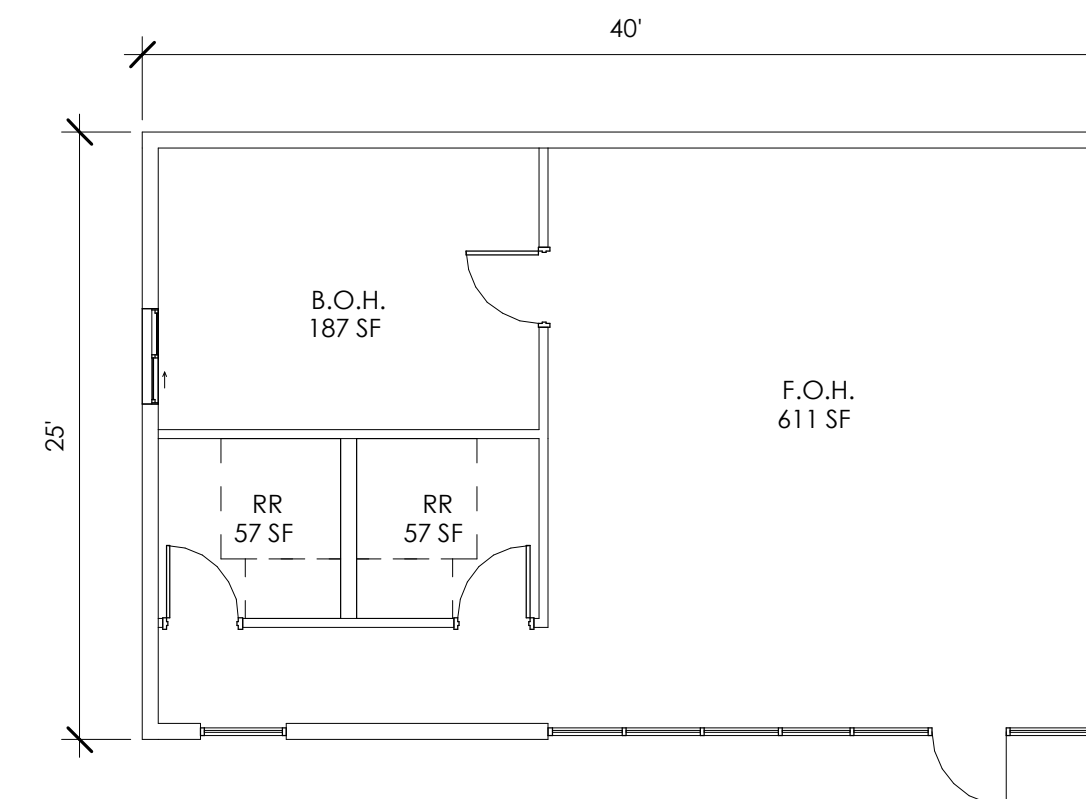
1 BUILDING 1 PLAN
1/8" = 1'-0"



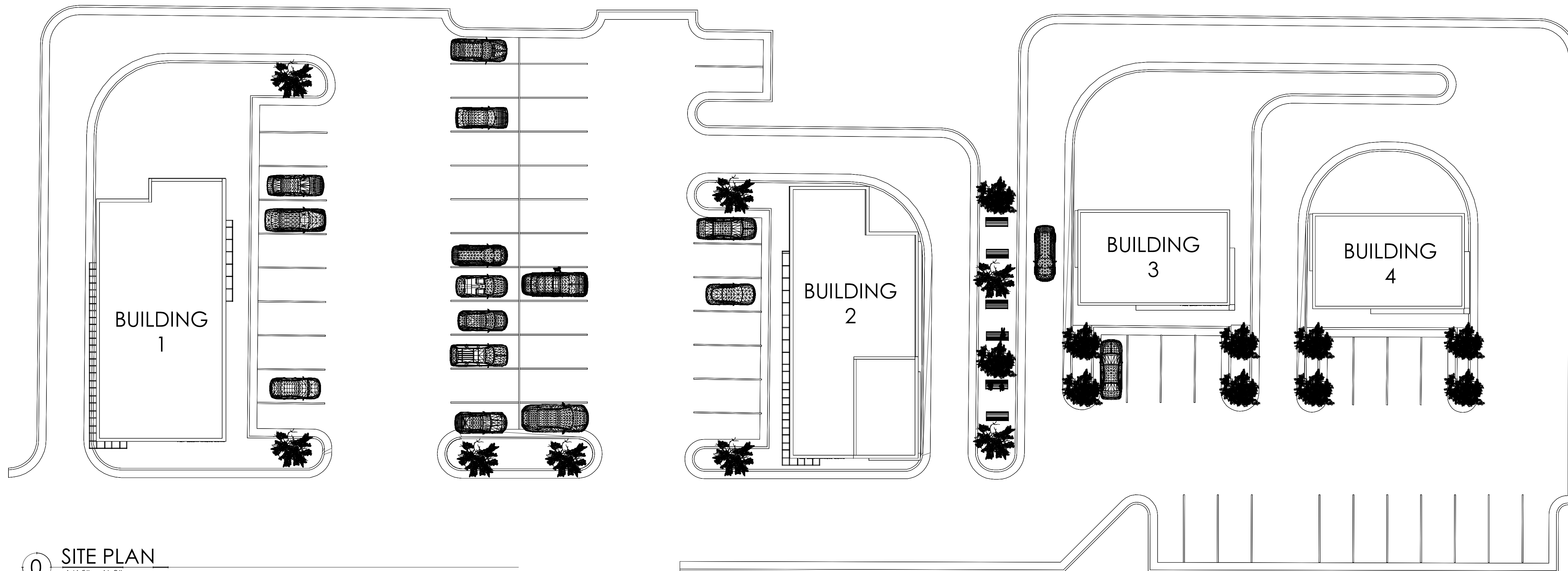
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1/8" = 1'-0"



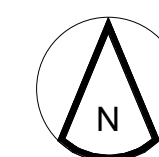
3 BUILDING 3 PLAN
1/8" = 1'-0"



4 BUILDING 4 PLAN
1/8" = 1'-0"



0 SITE PLAN
1/16" = 1'-0"



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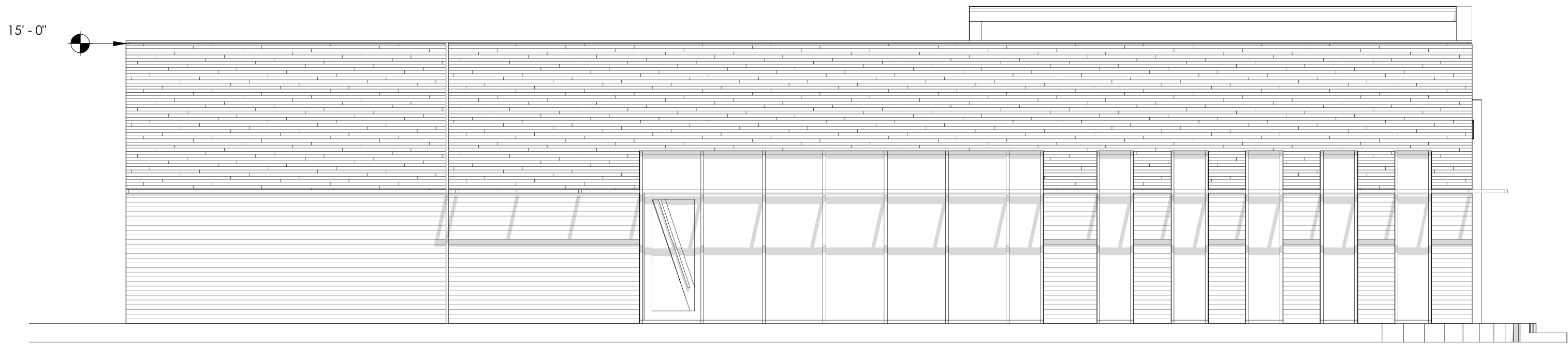
PLANS

CARBON PROJECT NO. 21-4510

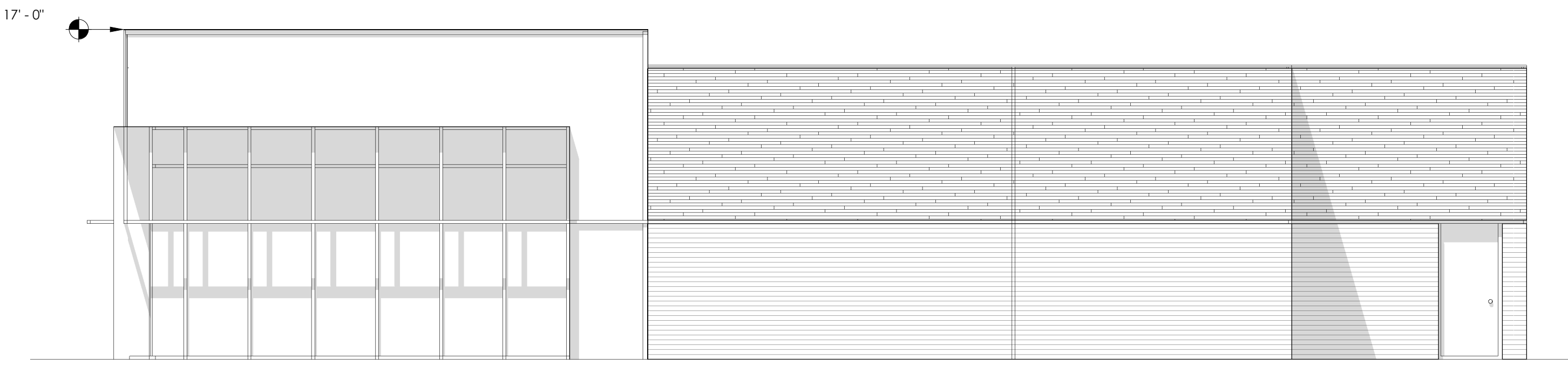
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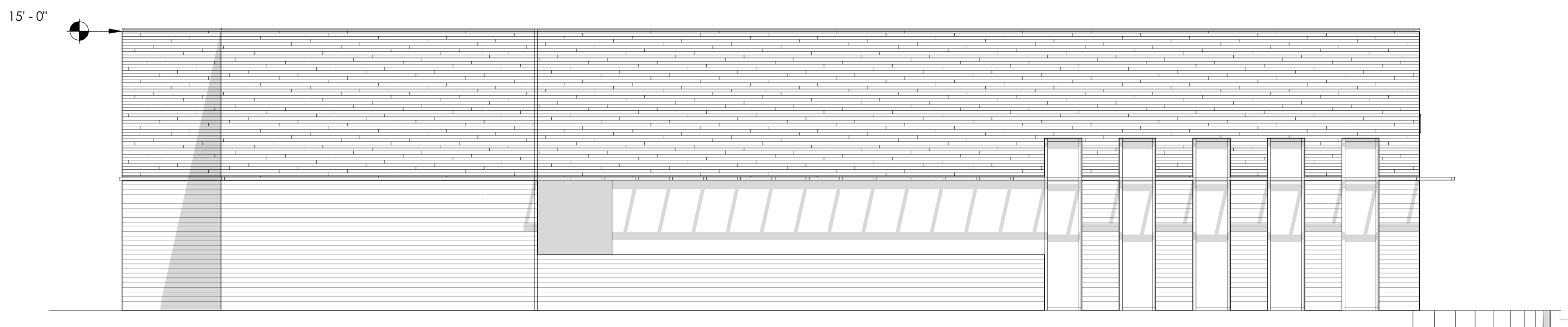
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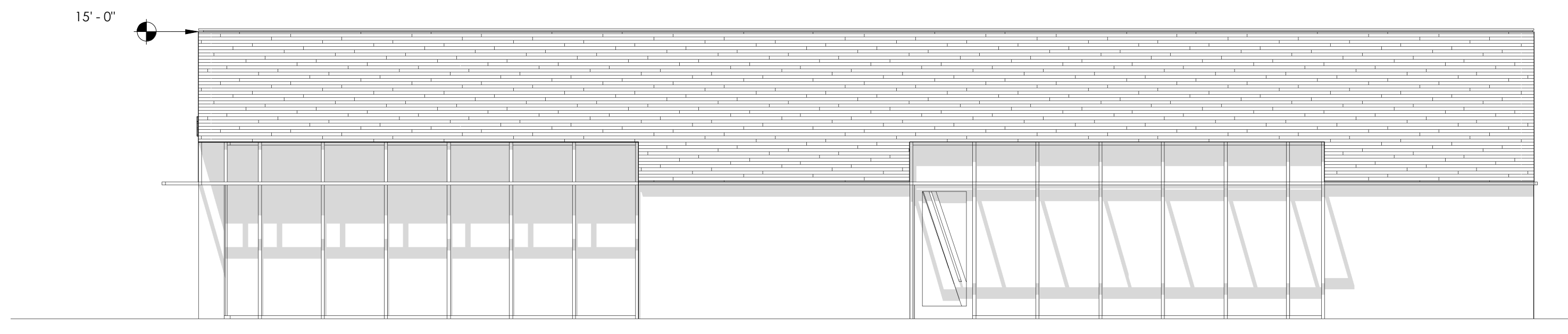
8 BUILDING 2 WEST
3/16" = 1'-0"



6 BUILDING 2 EAST
3/16" = 1'-0"



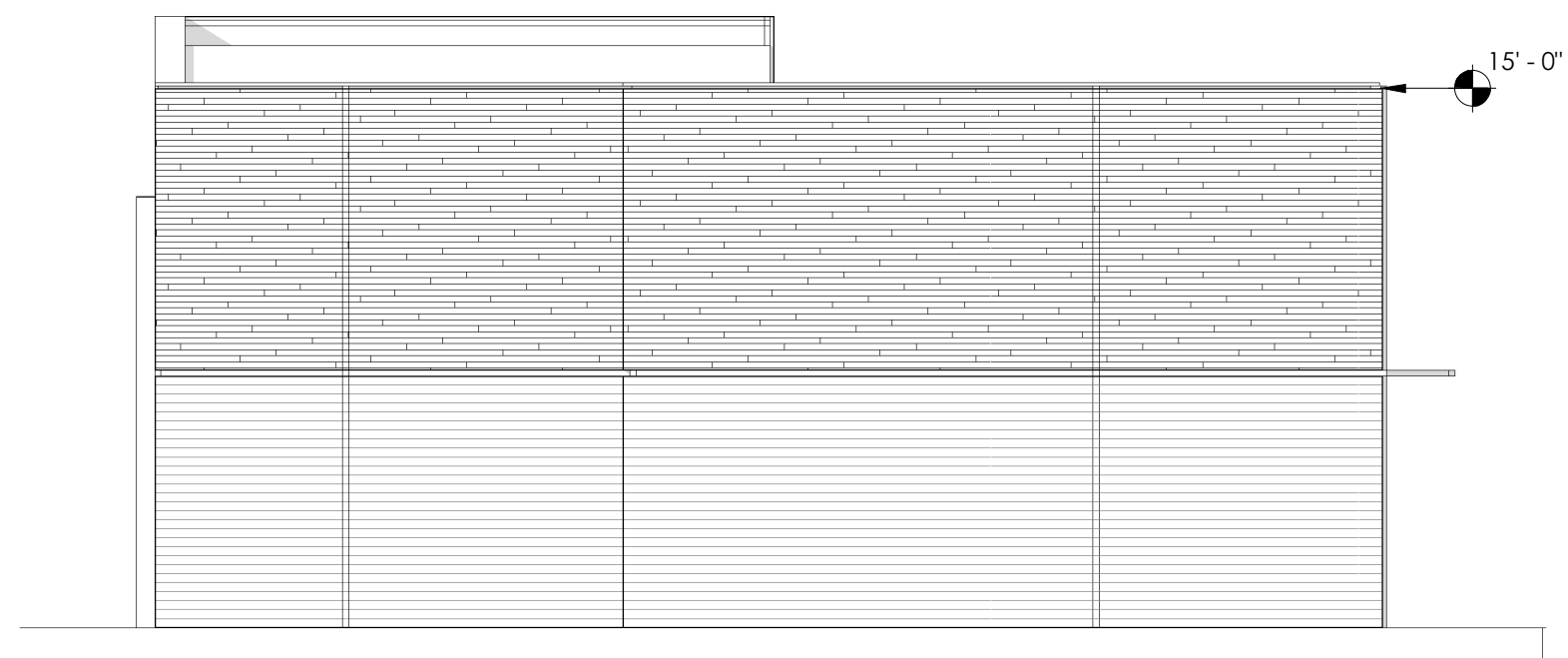
4 BUILDING 1 WEST
3/16" = 1'-0"



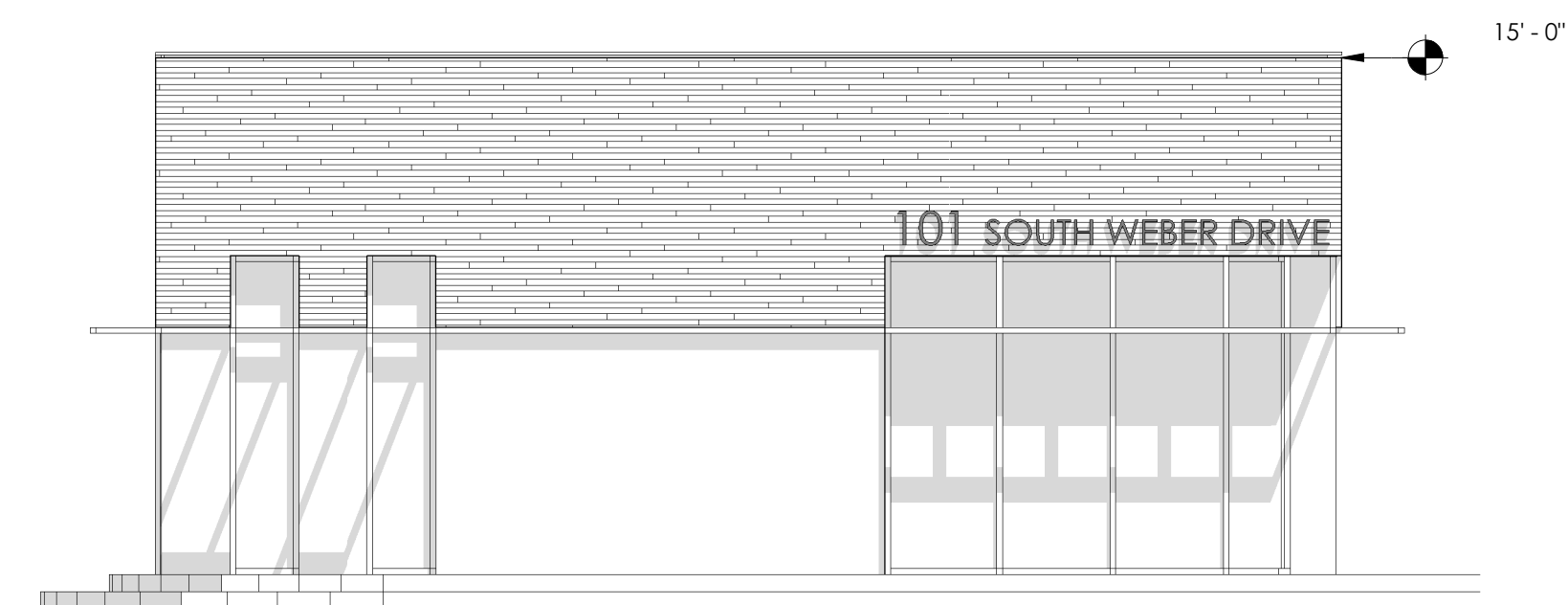
2 BUILDING 1 EAST
3/16" = 1'-0"



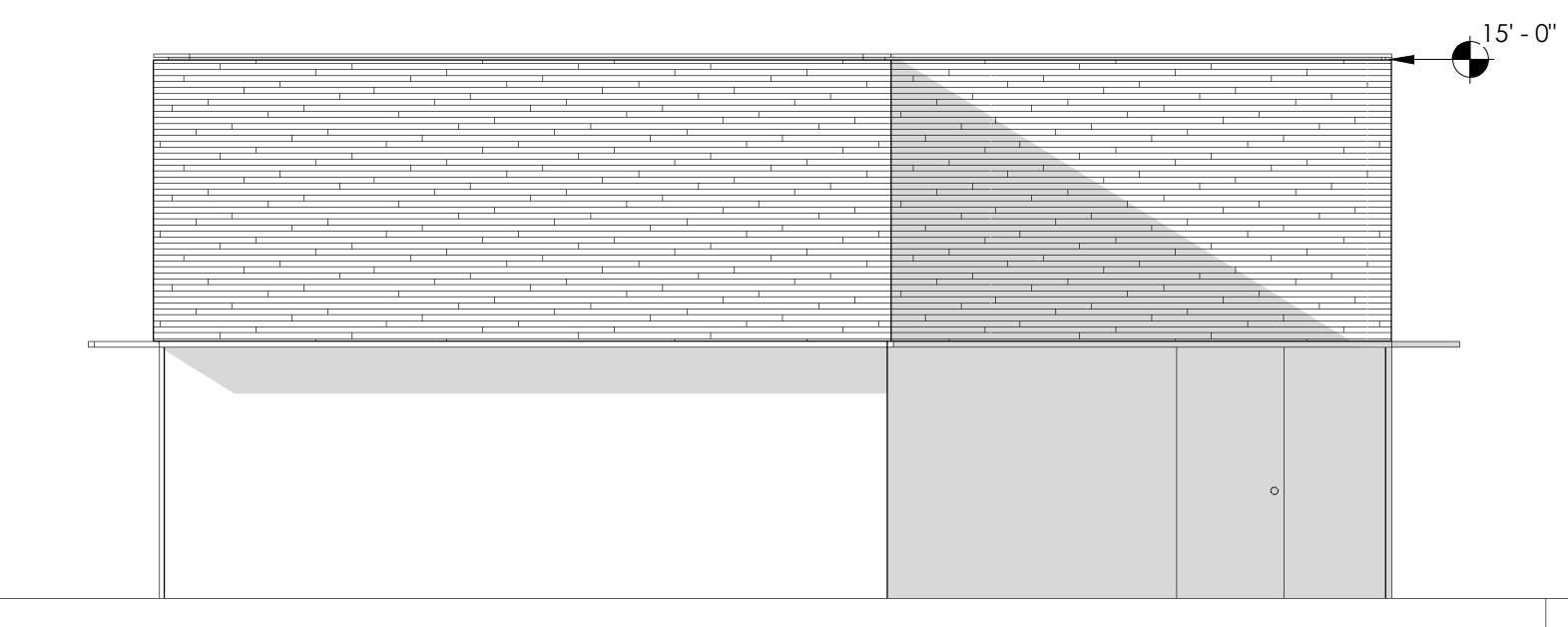
7 BUILDING 2 SOUTH
3/16" = 1'-0"



5 BUILDING 2 NORTH
3/16" = 1'-0"



3 BUILDING 1 SOUTH
3/16" = 1'-0"



1 BUILDING 1 NORTH
3/16" = 1'-0"

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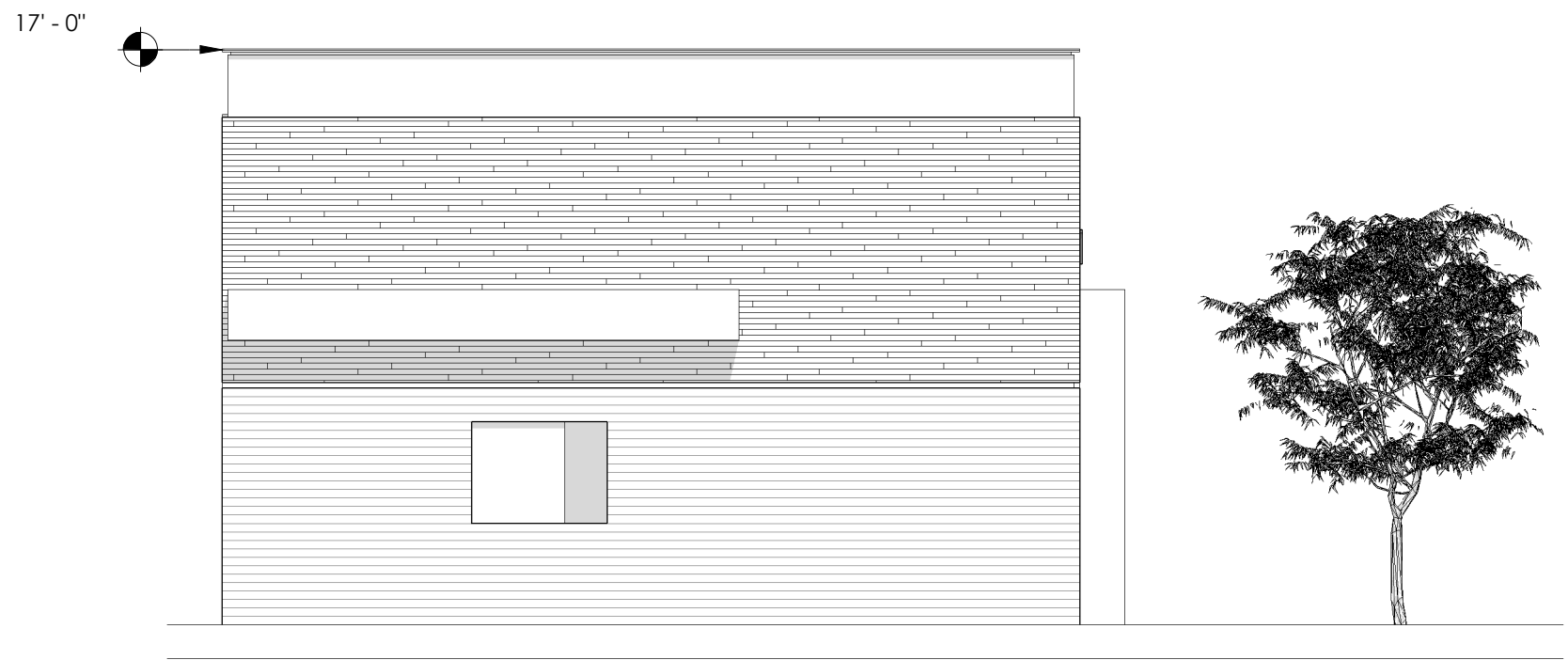
EXTERIOR
ELEVATIONS

CARBON PROJECT NO. 21-4510

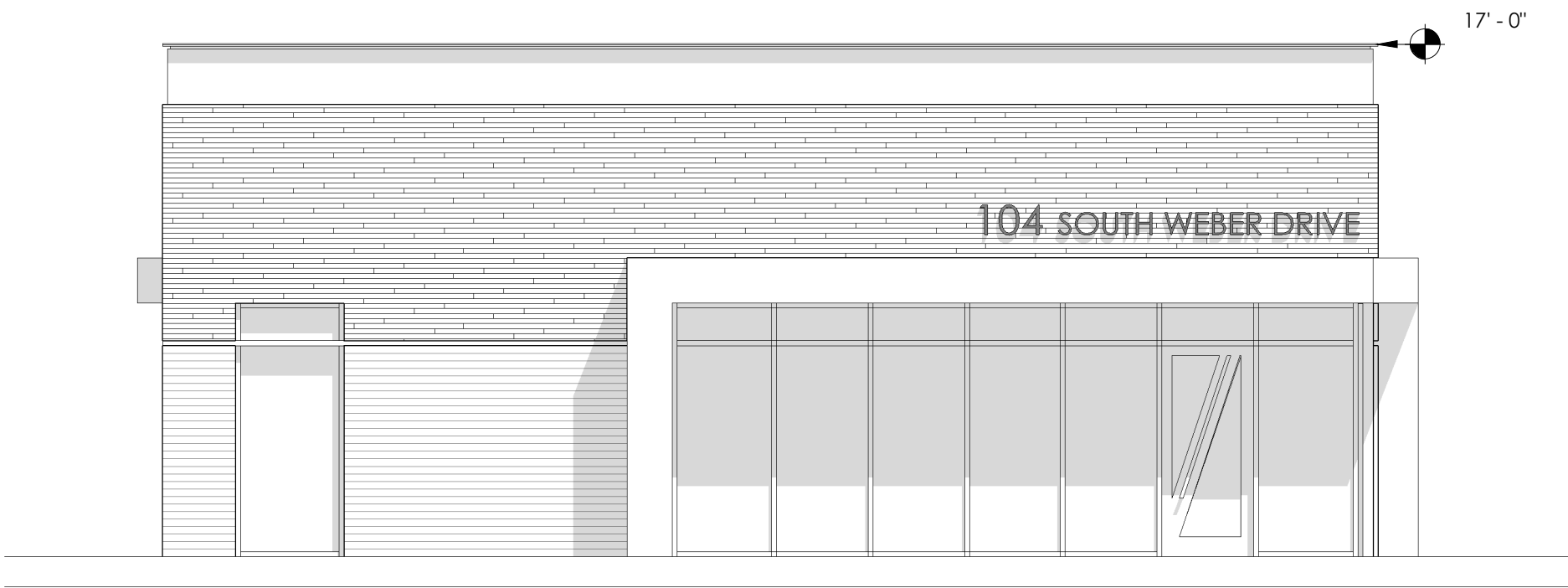
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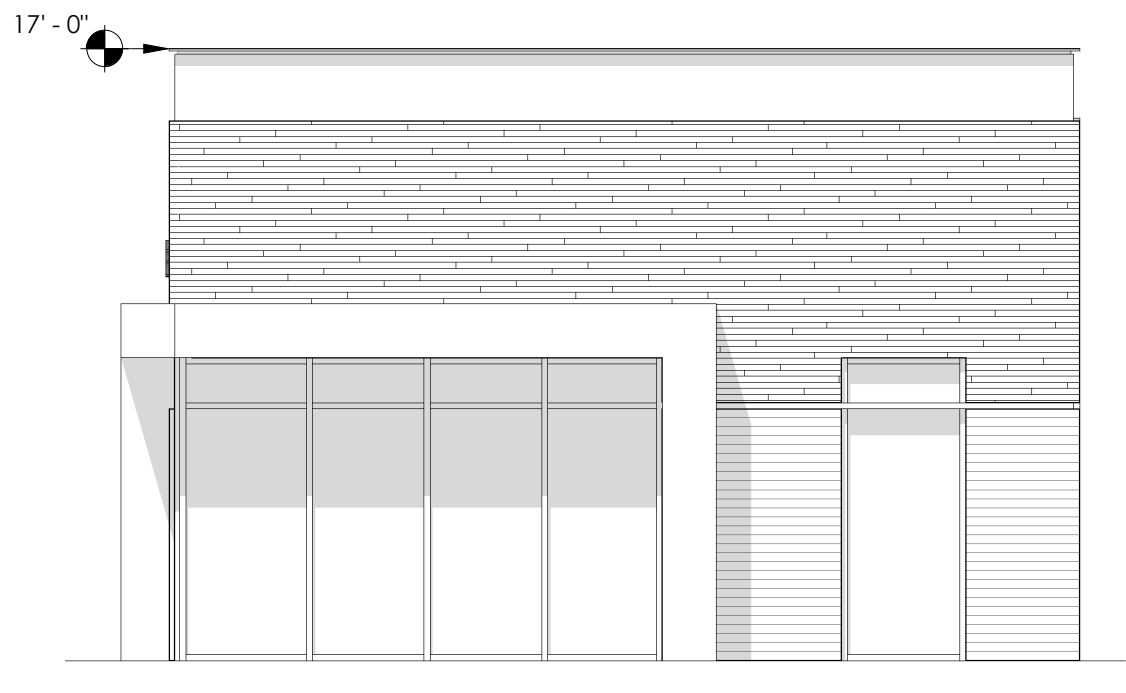
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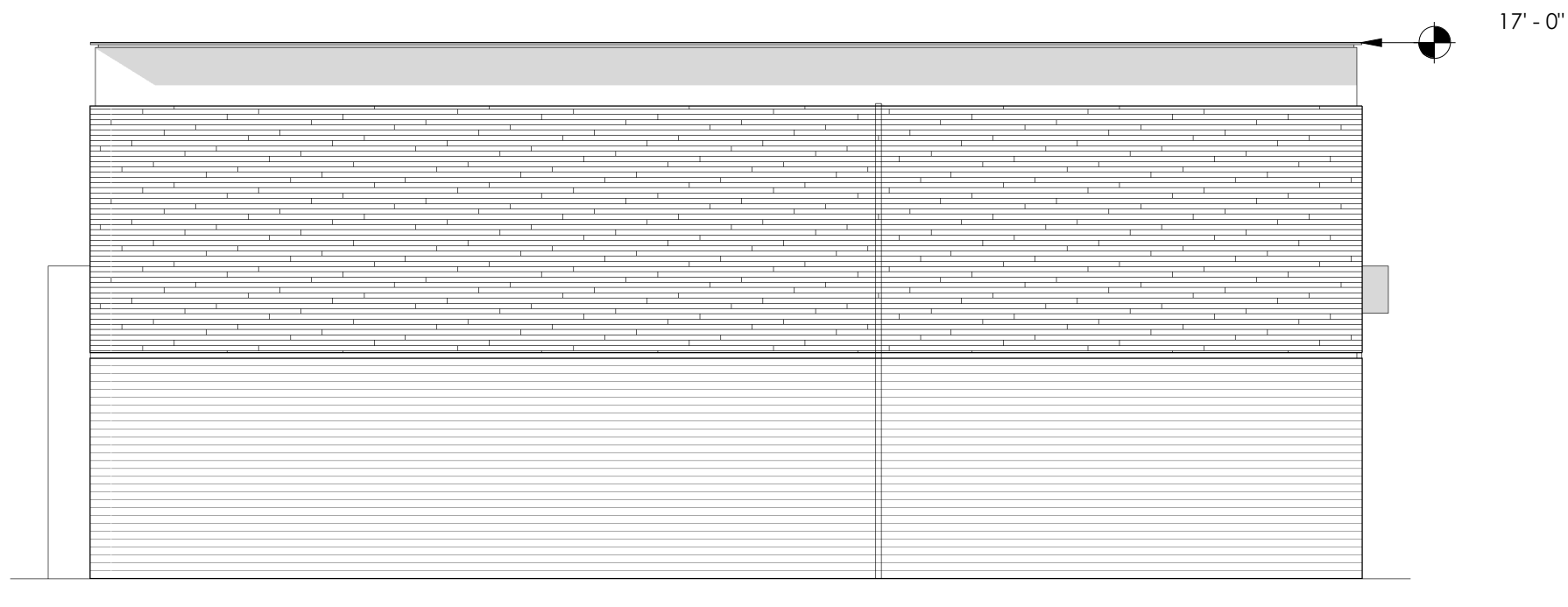
8 BUILDING 4 WEST
3/16" = 1'-0"



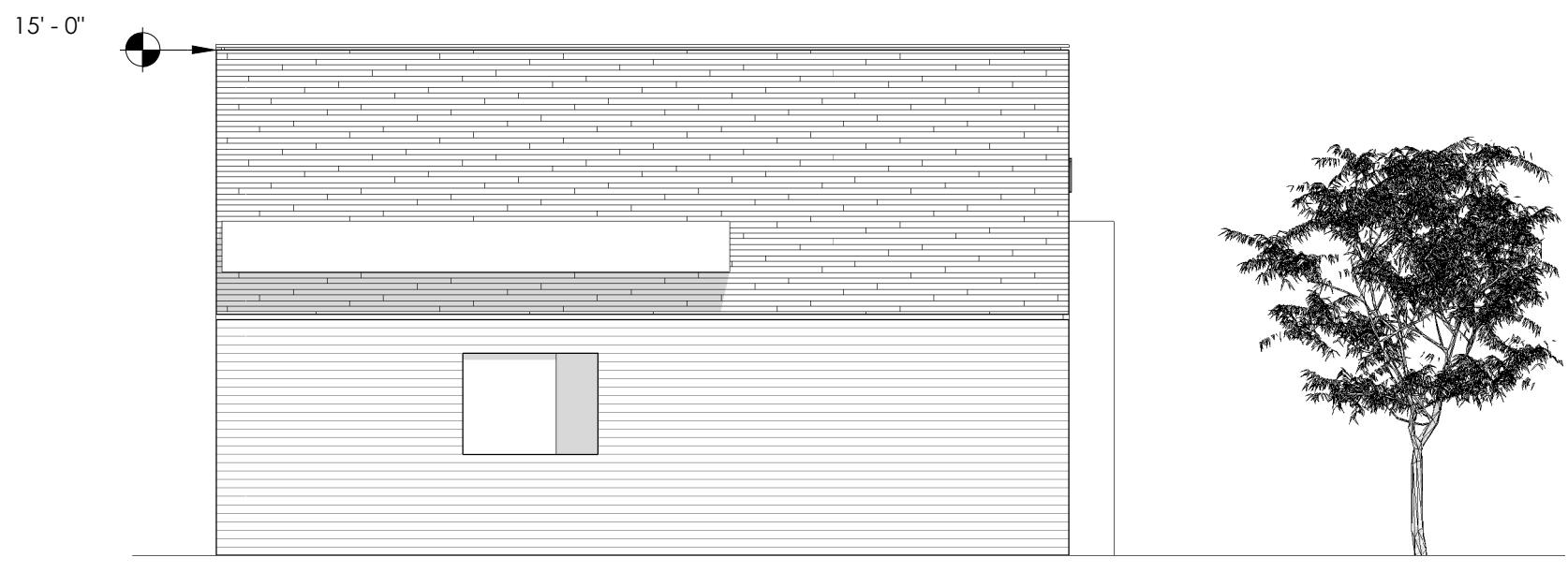
7 BUILDING 4 SOUTH
3/16" = 1'-0"



6 BUILDING 4 EAST
3/16" = 1'-0"



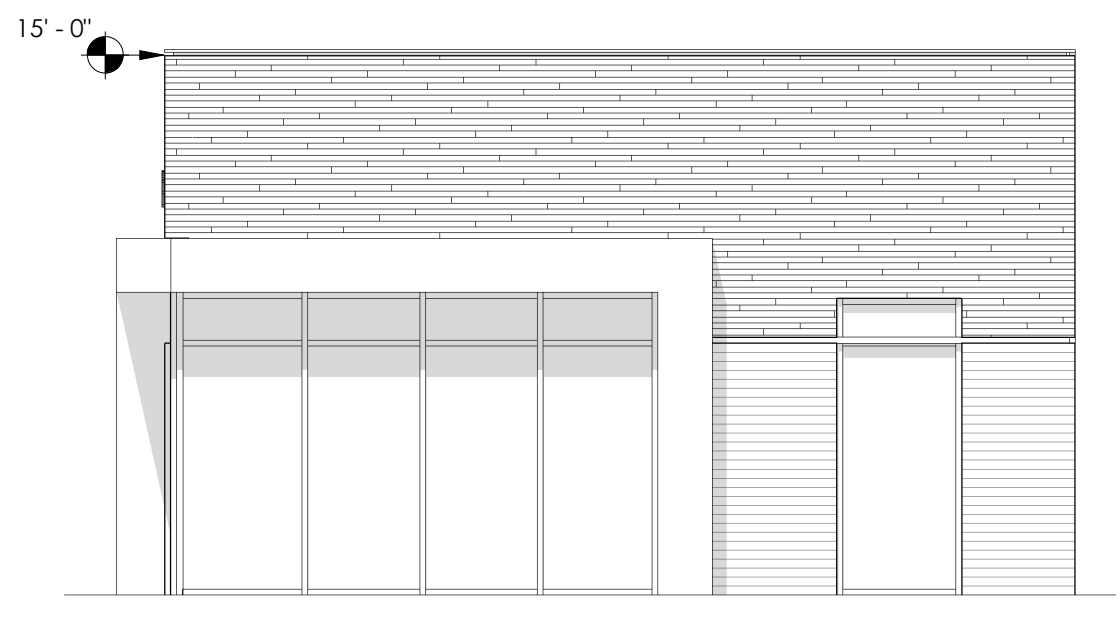
5 BUILDING 4 NORTH
3/16" = 1'-0"



4 BUILDING 3 WEST
3/16" = 1'-0"



3 BUILDING 3 SOUTH
3/16" = 1'-0"



2 BUILDING 3 EAST
3/16" = 1'-0"



1 BUILDING 3 NORTH
3/16" = 1'-0"

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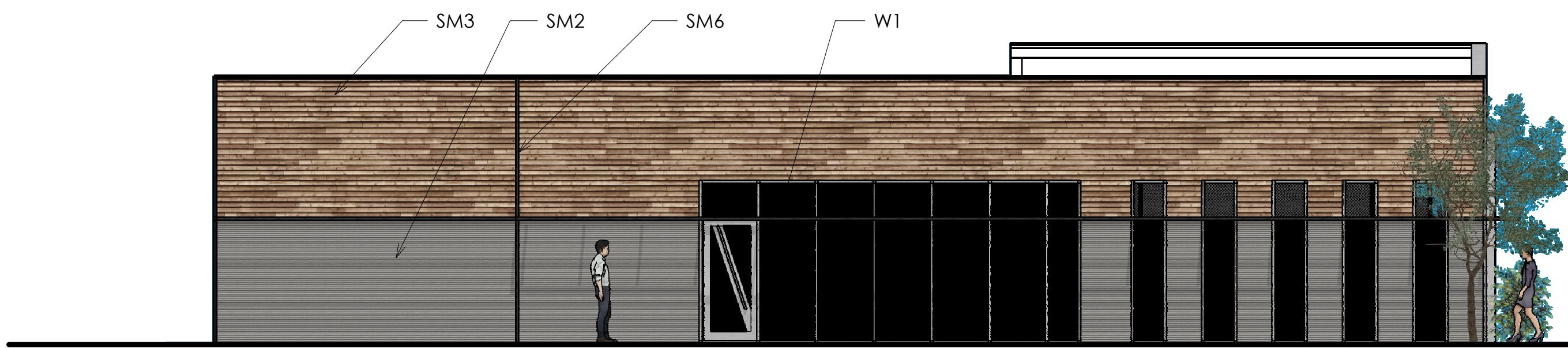
EXTERIOR
ELEVATIONS

CARBON PROJECT NO. 21-4510

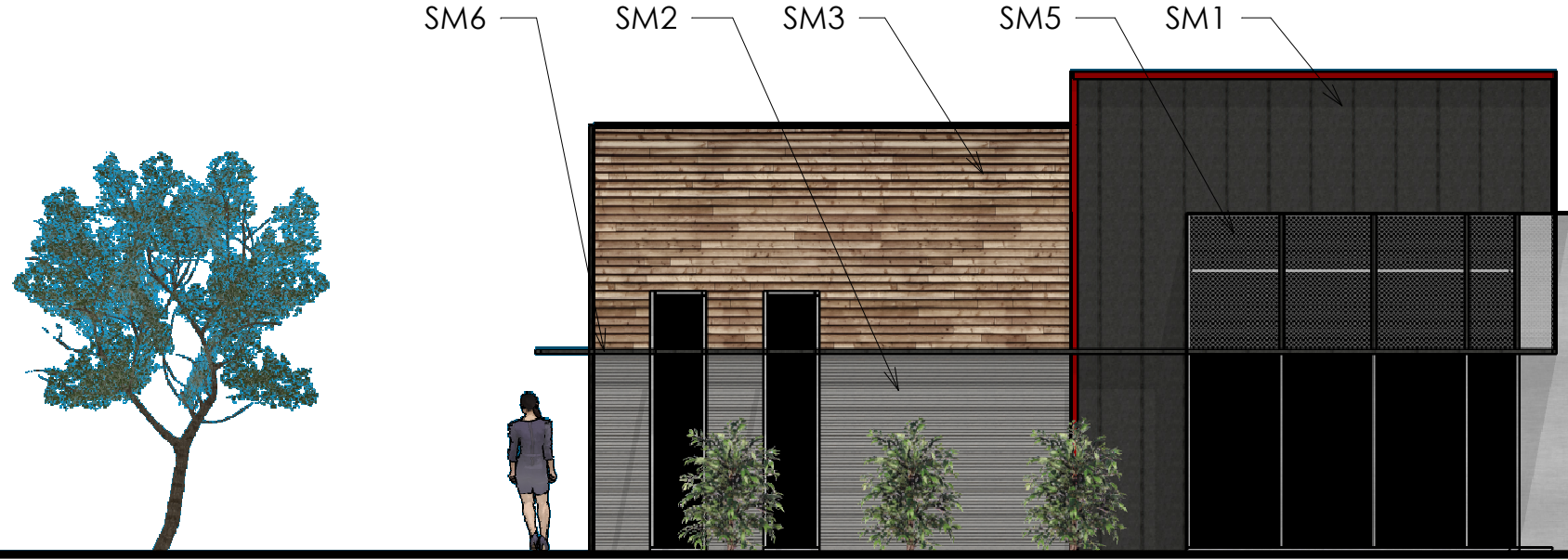
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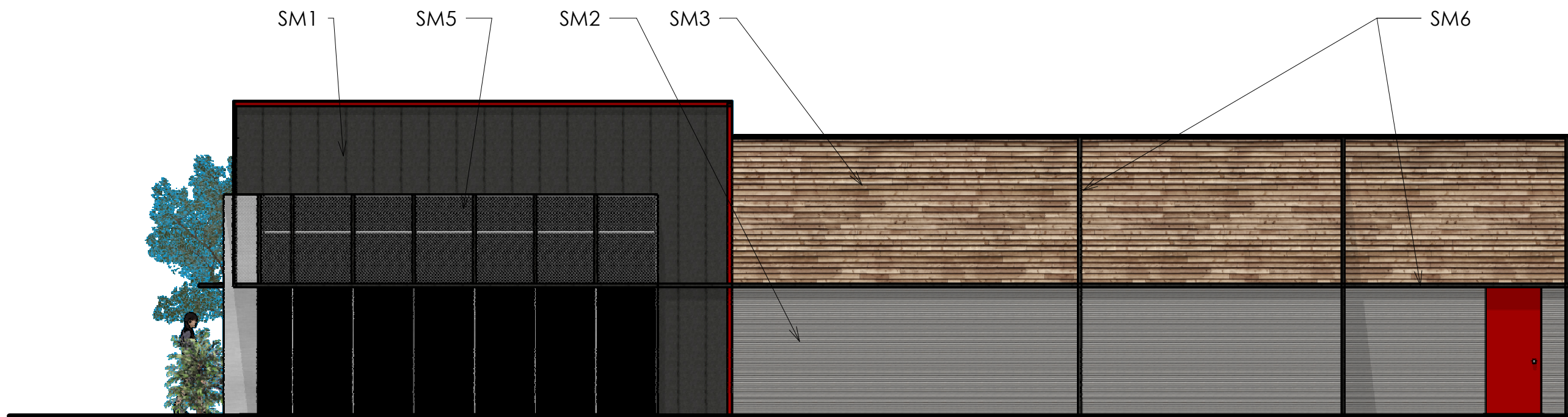
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BUILDING 2 WEST ELEVATION



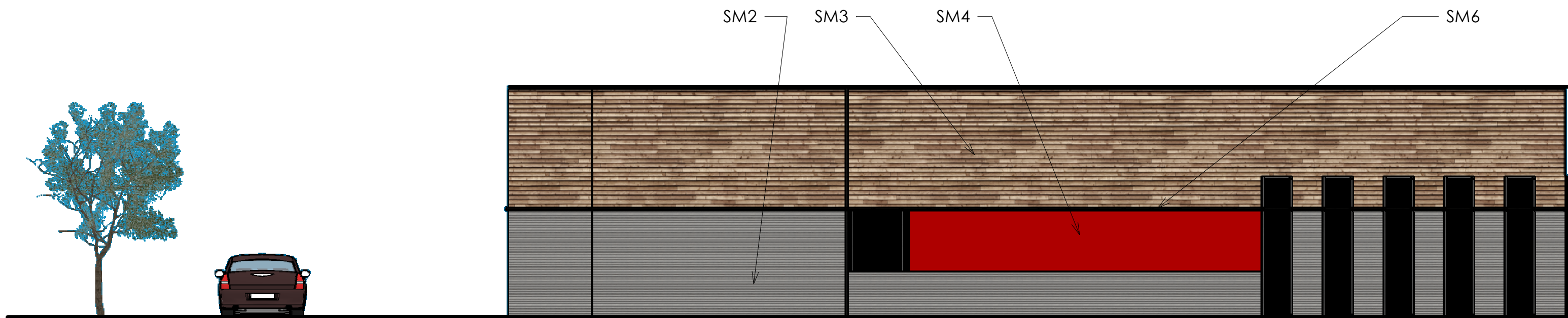
BUILDING 2 SOUTH ELEVATION



BUILDING 2 EAST ELEVATION



BUILDING 2 NORTH ELEVATION



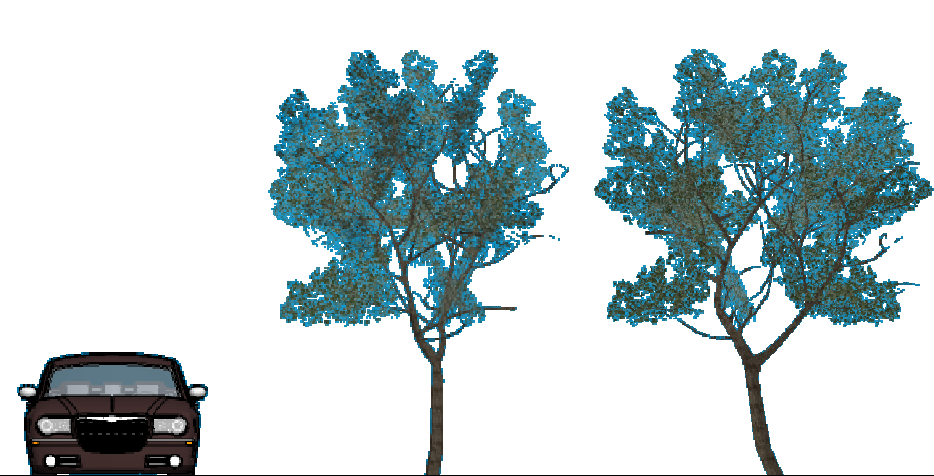
BUILDING 1 WEST ELEVATION



BUILDING 1 SOUTH ELEVATION



BUILDING 1 EAST ELEVATION



BUILDING 1 NORTH ELEVATION

SIDING MATERIAL (SM1)
VM ZINC METAL PANEL
12" X CONT.
COLOR = ANTHRA - ZINC



SIDING MATERIAL (SM2)
EQUITONE (LINES)
FIBER CEMENT PANEL
COLOR = LT20



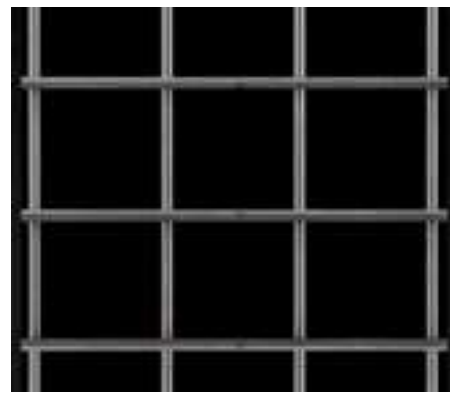
SIDING MATERIAL (SM3)
NICHHA - VINTAGE WOOD
FIBER CEMENT PANEL
COLOR = SPRUCE



SIDING MATERIAL (SM4)
METAL PANEL
COLOR = SW #6868 "REAL RED"



METAL SCREEN PANEL (SM5)
2X2 MESH
MCNICHOLS #3620180041
COLOR = GALVANIZED



METAL ACCENT (SM6)
2x - CONT.
COLOR = DARK BRONZE



ALUMINUM STOREFRONT SYSTEM (W1)
2" X 4" PROFILE
COLOR = CLEAR ANODIZED



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EXTERIOR FINISHES

CARBON PROJECT NO. 21-4510

SHEET NUMBER

A301

A301



BUILDING 4 WEST ELEVATION



BUILDING 4 SOUTH ELEVATION



BUILDING 4 EAST ELEVATION



BUILDING 4 NORTH ELEVATION



BUILDING 3 WEST ELEVATION



BUILDING 3 SOUTH ELEVATION



BUILDING 3 EAST ELEVATION



BUILDING 3 NORTH ELEVATION

SIDING MATERIAL (SM1)
VM ZINC METAL PANEL
12" X CONT.
COLOR = ANTHRA - ZINC



SIDING MATERIAL (SM2)
EQUITONE (LINES)
FIBER CEMENT PANEL
COLOR = LT20



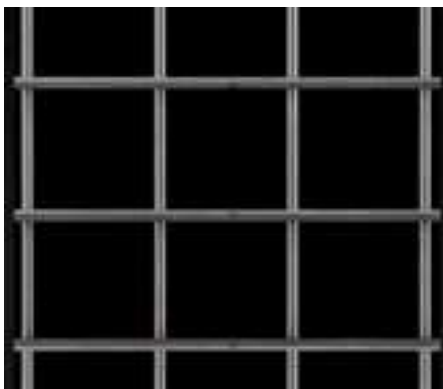
SIDING MATERIAL (SM3)
NICHHA - VINTAGE WOOD
FIBER CEMENT PANEL
COLOR = SPRUCE



SIDING MATERIAL (SM4)
METAL PANEL
COLOR = SW #6868 "REAL RED"



METAL SCREEN PANEL (SM5)
2X2 MESH
MCNICHOLS #3620180041
COLOR = GALVANIZED



METAL ACCENT (SM6)
2x - CONT.
COLOR = DARK BRONZE



ALUMINUM STOREFRONT SYSTEM (W1)
2" X 4" PROFILE
COLOR = CLEAR ANODIZED



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EXTERIOR FINISHES

CARBON PROJECT NO. 21-4510

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A302

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PERSPECTIVE
VIEWS

CARBON PROJECT NO. 21-4510

SHEET NUMBER

A401

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DENTISTS
OF SOUTH JORDAN
& ORTHODONTICS

Oquirrh
MOUNTAIN

SPROUTS
FARMERS MARKET

CVS

planet
fitness

Tide DRY
CLEANERS

FOR MY
NAILS

UPTOWN CHEAPSKATE



DRIVE
THRU



Little
Caesars

M
A
R
K
E
T

P
L
A
C
E

BLOCK

B
RIGHT
YIELD

BIKE

ATTIC VENTILATION NOTES:

The net free ventilation area shall not be less than 1/300th provided that at least 50% of the area is provided by ventilators located in the upper portion of the space to be ventilated, the other to be provided by vented soffit system.

GENERAL NOTES:

Compliance with codes and ordinances governing the work shall be made and enforced by the general contractor. General contractor shall verify all existing conditions and dimensions prior to construction. Note that all written dimensions take precedence over scale. Manufacturer's specifications for installation of materials shall be followed. Workmanship throughout shall be of the best quality of the trade involved and the general contractor shall coordinate the work of the various trades to expedite the job in a smooth and continuous process.

WINDOWS NOTES:

Bedroom windows to have a finished clear opening height max. of 44" from floor.
Windows to have 20" min. clear width and 24" min. clear height.
Bedroom windows to be a min. of 5.7 sq. ft.
Windows to be sized at 1/10th for the sq. ft. for glass size and 1/20th of the sq. ft. for ventilation requirements. Windows within 18" of the floor to be of tempered glass.

EXTERIOR WALL FINISHES MUST BE LISTED, LABELED, AND INSTALLED AS PER MANUFACTURER'S INSTALLATION INSTRUCTION GUIDE. ALL INSTALLERS MUST BE APPROVED BY THE MANUFACTURER.

EXCAVATION NOTES:

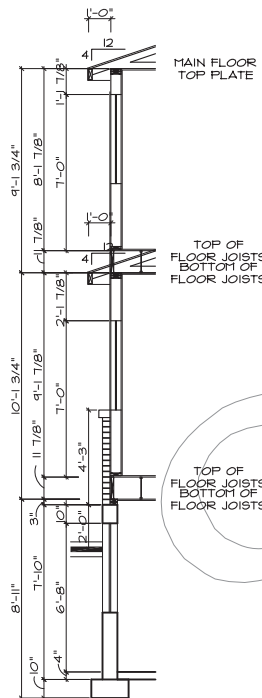
All footings shall bear on natural undisturbed soil. Footings shall be excavated to a minimum depth so as to provide frost protection. (30" min.)

The grade adjacent to all foundation wall shall fall a minimum of 6 inches within the first 10 feet (5%). R4013 Landings, ramps, patios, porches or decks, which are required to be level or can have a MAXIMUM slope of 1/4" per foot. All other impervious surfaces within 10 feet of the foundation walls must slope a MINIMUM of 1/4" per foot away from walls.

VALIDITY OF PERMIT:

The issuance or granting of a permit or approval of plans, specifications and computations shall not be construed to be a permit for, or an approval of, any violations of any of the provisions of this code or of any other ordinance of the jurisdiction. Permits presuming to give authority to violate or cancel the provisions of this code or other ordinances of the jurisdiction shall not be valid.

The issuance of a permit based upon plans, specifications and other data shall not prevent the building official from thereafter requiring the correction of errors on said plans, specifications and other data, or from preventing building operations being carried on thereunder when in violation of this code or of any other ordinances of this jurisdiction. The building official is also authorized to prevent occupancy or use of a structure where in violation of this code or any other ordinances of this jurisdiction.

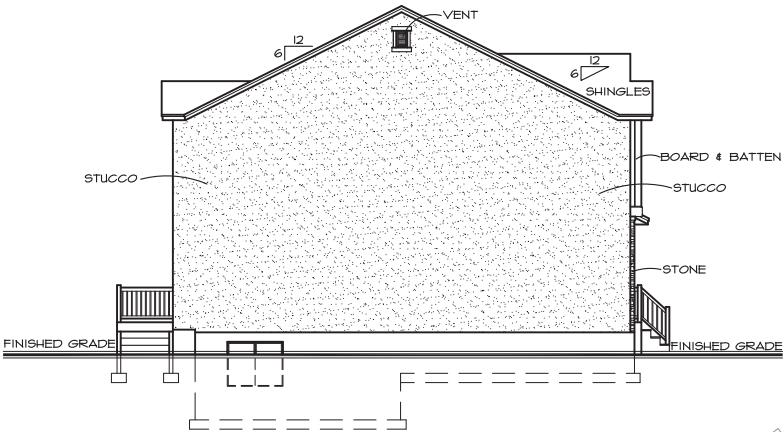


TYP. SECTION
SCALE 1/4"
NOT APPLICABLE IN ALL LOCATIONS



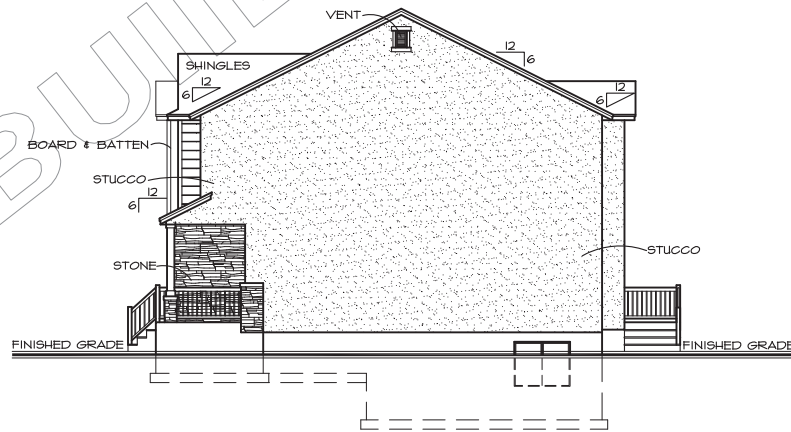
REAR ELEVATION

SCALE 1/8"



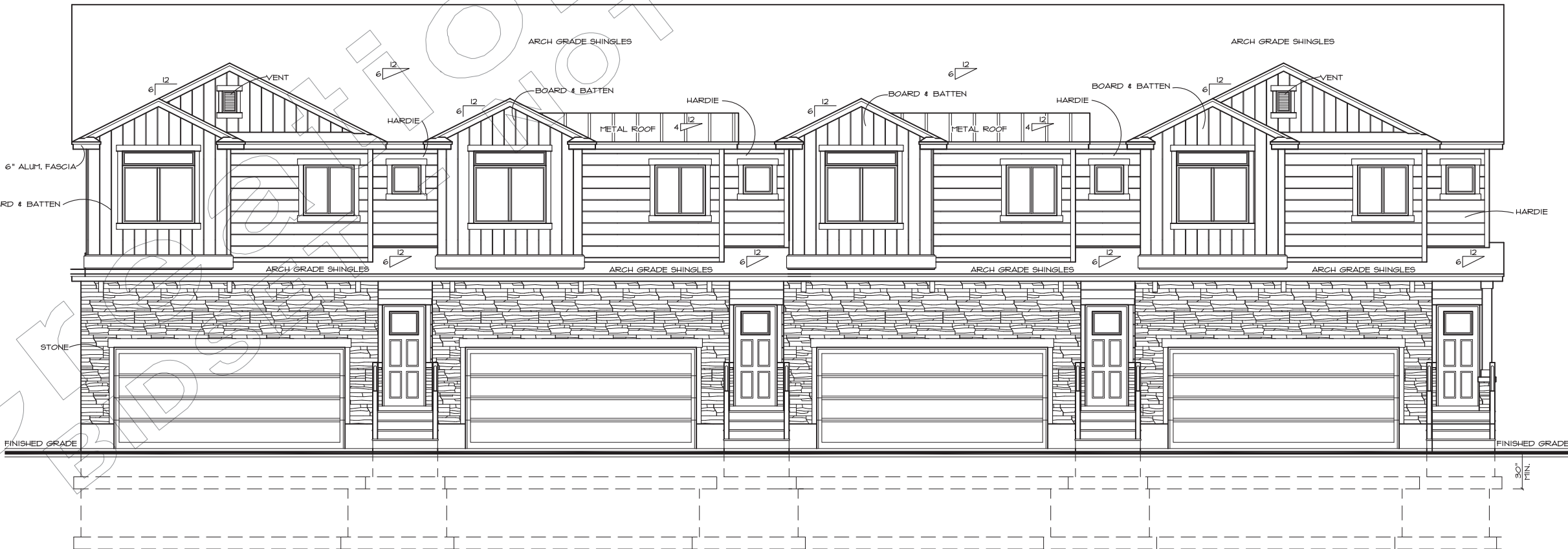
LEFT ELEVATION

SCALE 1/8"



RIGHT ELEVATION

SCALE 1/8"



FRONT ELEVATION

SCALE 1/4"

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The builder/general contractor (construction professional) must carefully and thoroughly verify dimensions, validity, and overall integrity of the plans. In the event of a discrepancy, prior to construction, Creations West shall be contacted for clarification. At the time of construction, Creations West is relieved of liability and the builder/general contractor assumes full responsibility.

PLANNED FOR:
MILL CREEK HOMES
2310 EAST WEBER DRIVE
SOUTH WEBER, UTAH

Ammon
Idaho 83406
801.525.6700

South Jordan
Utah 84091
801.525.6700
Clearfield, Utah 84015
801.525.6700

CREATIONS WEST
EVEN THE BEST DREAMS NEED A PLAN
WWW.CREATIONSWEST.COM



DATE:
SEP. 17 21

SHEET:
1

PLAN NUMBER
SW TOWNHOME

The builder/general contractor (construction professional) must carefully and thoroughly verify dimensions, validity, and overall integrity of the plans. In the event of a discrepancy, prior to construction, Creations West shall be contacted for clarification. At the time of construction, Creations West is relieved of liability and the builder/general contractor assumes full responsibility.

FLOOR PLAN GENERAL NOTES:

1. Plumbing wall 2x6 @ 16" o.c.
2. Attic access 22" x 30" with closer & a self-closing light in attic space. Location, if shown, is approximate.
3. Exhaust fan, 60 CFM run exhaust duct to the outside. 4. Provide 30" min. width for the water closet and 24" clear in front.
4. Temp. wall and door.
5. Vent dryer to outside with 4" metal ducting sealed and secured every 12', termination cap.
6. 12"x12" min. opening installed to provide access to circulation pump.
7. Sufficient access and working space (30" x 36") shall be provided around all electrical equipment.
8. 20 minute fire rated door.
9. Backwater valve.

GENERAL NOTES:

Compliance with codes and ordinances governing the work shall be made and enforced by the general contractor. General contractor shall verify all existing conditions and dimensions prior to construction. Note that all written dimensions take precedence over scale. Manufacturer's specifications for installation of materials shall be followed. Workmanship throughout shall be of the best quality of the trade involved and the general contractor shall coordinate the work of the various trades to expedite the job in a smooth and continuous process.

GENERAL BATHROOM NOTES:

Shower compartments shall have at least 900 sq. in. of floor area and be of sufficient size to house a chair with a dia. not less than 30 in. Hinged shower doors shall open outward and have a minimum width of 22". The wall area above built-in tubs having installed shower heads and in-shower compartments shall be constructed as per Section R102.4. Such walls shall form a watertight joint with each other and with either the tub, receptor or shower floor. Bathrooms, water closet compartments, and other similar rooms shall be provided with aggregate glazing area in windows of not less than 3 sq. ft. one half of which must be operable. (If no window, a mechanical ventilation system shall be req.). The min. ventilation rates shall be 50 cfm, for continuous ventilation. Showers & tubs shall have temperature-limiting device complying with IRC P2708.3. Toilet, bath and shower areas to be finished with a nonabsorbent surface in accordance with IRC R301.

ALL exterior doors shall have a floor or landing on each side of the door. The floor or landing at a door shall not be more than 15 inches lower than the top of the threshold. If the door is not a req. exit door the landing shall not exceed 6" from top of threshold. All landings shall be not less than 36" wide, measured in the direction of travel.

FIRE PROTECTION:

Provide 1/2" type "x" gyp. brd. on all the walls and ceilings of garage if no habitable space above. Provide 5/8" type "x" gyp. brd. on all the walls and ceilings of garage, if habitable space above garage. Not @ 6" o.c.. All beams and structural members shall be protected with 1/2" gyp. brd. Door between garage and house shall be 20 minute rated, solid core wood or "B" labeled door not less than 1 3/4" w/ self-closer and self-latching. IRC R302.5.

Protect enclosed usable space under stairs with 5/8" gyp. brd. Provide fire resistant construction on the underside of the stairs in accordance with IRC R302.6.

Fire blocking at stud cavities that are greater than 8"-0".

Need to fire block all flues, chases and dropped ceilings.

EXHAUST SYSTEM NOTES:

Dryer exhaust systems shall convey the moisture to the outdoors and shall terminate on the outside of the building. Screens shall not be installed at the duct terminal. Ducts shall have a back draft damper. The max. length of clothes dryer exhaust duct shall not exceed 25 feet from the dryer location to the wall or roof termination. The max. length of the ducts shall be reduced 2.5 feet for each 45 degree bend and 5 feet for each 90 degree bend. Metal ducting shall be sealed and secured every 12 feet.

FIREPLACES:

Where a factory-built chimney assembly incorporates offsets, no part of the chimney shall be at an angle of more than 30 degrees from vertical at any point. In the assembly, the chimney assembly shall not include more than four elbows.

Chimneys shall extend at least 3 feet above the highest point where they pass through a roof of a building and at least 2 feet higher than any portion of a building within a horizontal distance of 10 feet.

Listing for any fireplace shown on plans shall be provided at mechanical inspection. In the event of a wood burning fireplace, submit listing showing EPA compliance. (IRC R102.4.1)

Hose connection back flow preventer shall be installed on the discharge side of a hose threaded outlet.

Windows considered to be 0.35 U-Factor typical. U-Factors shall be determined by testing in accordance with NFRC 100 and labeled as such by the manufacturer per section 102.1.3 of the 2015 IECC.

Bottom of operable windows on upper floor to be no closer than 24" from floor in accordance with IRC R302.2.

APPLIANCES IN ATTICS:

Attics containing appliances requiring access shall have an opening and a clear and unobstructed passageway large enough to allow removal of the largest appliance, but not less than 30 inches high and 22 inches wide and not more than 20 feet long when measured along the centerline of the passageway from the opening to the appliance. The passageway shall have continuous solid flooring in accordance with chapter 15 not less than 24 inches wide. A level service space at least 30 inches deep and 30 inches wide shall be present along all sides of the appliance where access is required. The clear access opening dimensions shall be a minimum of 20 inches by 30 inches, where such dimensions are large enough to allow removal of the largest appliance. I.R.C. M1505.1.3

DRYER DUCT:

Dryer duct shall terminate outdoors and shall not exceed a total combined horizontal and vertical length of 35'. Maximum length of duct shall be reduced 2-1/2' for each 45° bend or 5' for each 90° bend. Duct shall be a min. nominal size of 4". I.R.C. M1502.4.4

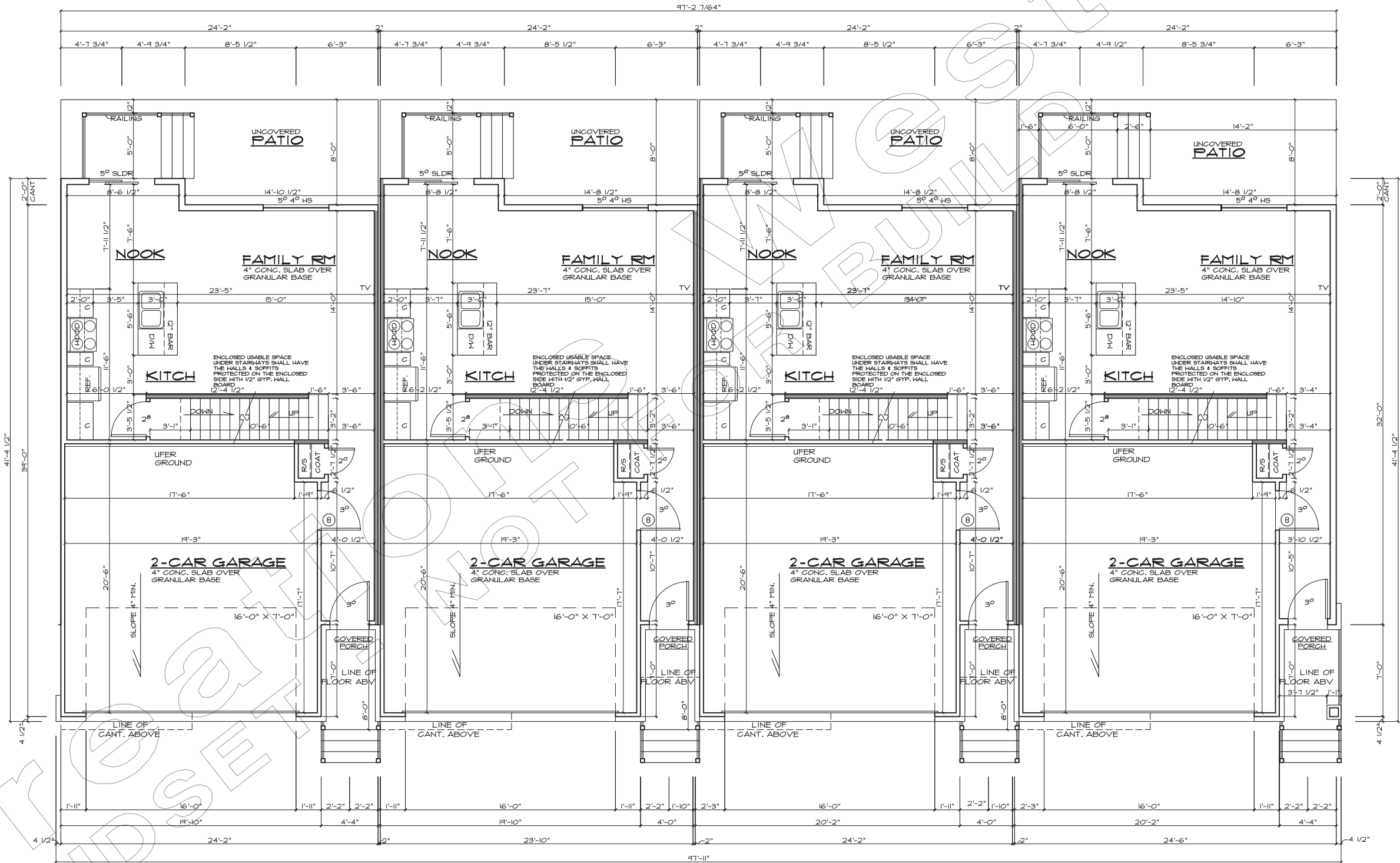
CONDENSATE DISPOSAL:

Condensate from all cooling coils or evaporators shall be conveyed from the drain pan outlet to an approved place of disposal. Condensate shall not discharge into a street, alley or other areas so as to cause a nuisance. I.R.C. M1411.3

A secondary drain or auxiliary drain pan shall be required for each cooling or evaporator coil where damage to any building components will occur as a result of overflow from the equipment drain pan or stoppage in the condensate drain piping. Drain piping shall be a minimum of 3/4" nominal size. I.R.C. M1411.3

ENERGY NOTES:

IECC R402.2.4- The attic access door and crawlspace door from the conditioned space to unconditioned space shall be weather stripped and insulated to a level equivalent to the insulation on the surrounding surfaces.



NOTE:
9'-1 7/8" CEIL. HEIGHT TYP.
2X6 EXTERIOR WALLS (5 1/2")
4 1/2" MASONRY LEDGE U.O.S.
WINDOWS SET @ 7'-0" TYP
DOOR HEIGHT 7'-0" TYP.

MAIN FLOOR PLAN

SCALE
528 SQ. FT. MAIN LEVEL
398 SQ. FT. UPPER LEVEL
1486 SQ. FT. SUBTOTAL

411 SQ. FT. LOWER LEVEL
1871 SQ. FT. TOTAL

PLAN NUMBER

SW TOWNHOME

PLANNED FOR:
MILL CREEK HOMES
2310 EAST WEBER DRIVE
SOUTH WEBER, UTAH

Ammon
Idaho 83406
208.525.9555

South Jordan
Utah 84091
801.925.6700
plans@creationswest.com

1424 Legend Hills Dr.
State # 120
Clearfield Utah 84015
801.925.6700

CREATIONS WEST
EVEN THE BEST DREAMS NEED A PLAN
WWW.CREATIONSWEST.COM



DATE:
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The builder/general contractor (construction professional) must carefully and thoroughly verify dimensions, validity, and overall integrity of the plans. In the event of a discrepancy, prior to construction, Creations West shall be contacted for clarification. At the time of construction, Creations West is relieved of liability and the builder/general contractor assumes full responsibility.

FLOOR PLAN GENERAL NOTES:

1. Plumbing wall 2x6 @ 16" o.c.
2. Attic access 22" x 30" with closer & a switched light in attic space. Location, if shown, is approximate.
3. Exhaust fan, 60 CFM run exhaust duct to the outside. 4. Provide 30" min. width for the water closet and 24" clear in front.
4. Temp. wall and door.
5. Vent dryer to outside with 4" metal ducting sealed and secured every 12', termination cap.
6. 12"x12" min. opening installed to provide access to circulation pump.
7. Sufficient access and working space (30" x 36") shall be provided around all electrical equipment.
8. 20 minute fire rated door.
9. Backwater valve.

GENERAL NOTES:

Compliance with codes and ordinances governing the work shall be made and enforced by the general contractor. General contractor shall verify all existing conditions and dimensions prior to construction. Note that all written dimensions take precedence over scale. Manufacturer's specifications for installation of materials shall be followed. Workmanship throughout shall be of the best quality of the trade involved and the general contractor shall coordinate the work of the various trades to expedite the job in a smooth and continuous process.

GENERAL BATHROOM NOTES:

Shower compartments shall have at least 400 sq. ft. of floor area and be of sufficient size to describe a circle with a dia. not less than 30 in. Hinged shower doors shall open outward and have a minimum width of 22". The wall area above built-in tubs having installed shower heads and in-shower compartments shall be constructed as per Section R102.4. Such walls shall form a watertight joint with each other and with either the tub, receptor or shower floor. Bathrooms, water closet compartments and other similar rooms shall be provided with aggregate glazing area in windows of not less than 3 sq. ft. one half of which must be operable. (If no windows, a mechanical ventilation system shall be req.). The min. ventilation rates shall be 50 cfm, for continuous ventilation. Showers & tubs shall have temperature-limiting device complying with IRC P2708.3.

Toilet, bath and shower areas to be finished with a nonabsorbent surface in accordance with IRC R301.

ALL exterior doors shall have a floor or landing on each side of the door. The floor or landing at a door shall not be more than 15 inches lower than the top of the threshold. If the door is not a req. exit door the landing shall not exceed 8" from top of threshold. All landings shall be not less than 36" wide, measured in the direction of travel.

FIRE PROTECTION:

Provide 1/2" type "x" gyp. brd. on all the walls and ceilings of garage if no habitable space above. Provide 5/8" type "x" gyp. brd. on all the walls and ceilings of garage, if habitable space above garage. Not @ 6" o.c.. All beams and structural members shall be protected with 5/8" gyp. brd.

Door between garage and house shall be 20 minute rated, solid core wood or "B" labeled door not less than 1 3/4" w/ self closer and self-latching. IRC R302.5

Protect enclosed usable space under stairs with 5/8" gyp. brd. Provide fire resistant construction on the underside of the stairs in accordance with IRC R302.6

Fire blocking at stud cavities that are greater than 8'-0".

Need to fire block all flues, chases and dropped ceilings.

EXHAUST SYSTEM NOTES:

Dryer exhaust systems shall convey the moisture to the outdoors and shall terminate on the outside of the building. Screens shall not be installed at the duct terminal. Ducts shall have a back draft damper. The max. length of clothes dryer exhaust duct shall not exceed 25 feet from the dryer location to the wall or roof termination. The max. length of the ducts shall be reduced 2.5 feet for each 45 degree bend and 5 feet for each 90 degree bend. Metal ducting shall be sealed and secured every 12 feet.

CHIMNEYS:

Where a factory-built chimney assembly incorporates offsets, no part of the chimney shall be at an angle of more than 30 degrees from vertical at any point in the assembly, and the chimney assembly shall not include more than four elbows.

Chimneys shall extend at least 3 feet above the highest point where they pass through a roof of a building and at least 2 feet higher than any portion of a building within a horizontal distance of 10 feet.

Listing for any fireplace show on plans shall be provided at mechanical inspection. In the event of a wood burning fireplace, submit listing showing EPA compliance. (IRC R1004)

Hose connection back flow preventer shall be installed on the discharge side a hose threaded outlet.

Windows considered to be 0.35 U-factor typical. U-factors shall be determined by testing in accordance with NFRC 100 and labeled as such by the manufacturer per section 102.3 of the 2015 IECC.

Bottom of operable window on upper floor to be no closer than 24" from floor in accordance with IRC R102.2.1

APPLIANCES IN ATTICS:

Attics containing appliances requiring access shall have an opening and a clear and unobstructed passageway large enough to allow removal of the largest appliance, but not less than 30 inches high and 22 inches wide and not more than 20 feet long when measured along the centerline of the passageway from the opening to the appliance. The passageway shall have continuous solid flooring in accordance with chapter 5 not less than 24 inches wide. A level service space at least 30 inches deep and 30 inches wide shall be present along all sides of the appliance where access is required. The clear access opening dimensions shall be a minimum of 20 inches by 30 inches, where such dimensions are large enough to allow removal of the largest appliance. I.R.C. M1505.1.3

DRYER DUCT:

Dryer duct shall terminate outdoors and shall not exceed a total combined horizontal and vertical length of 95'. Maximum length of duct shall be reduced 2 1/2' for each 45° bend or 5' for each 90° bend. Duct shall be a min. nominal size of 4". I.R.C. M1502.4.4

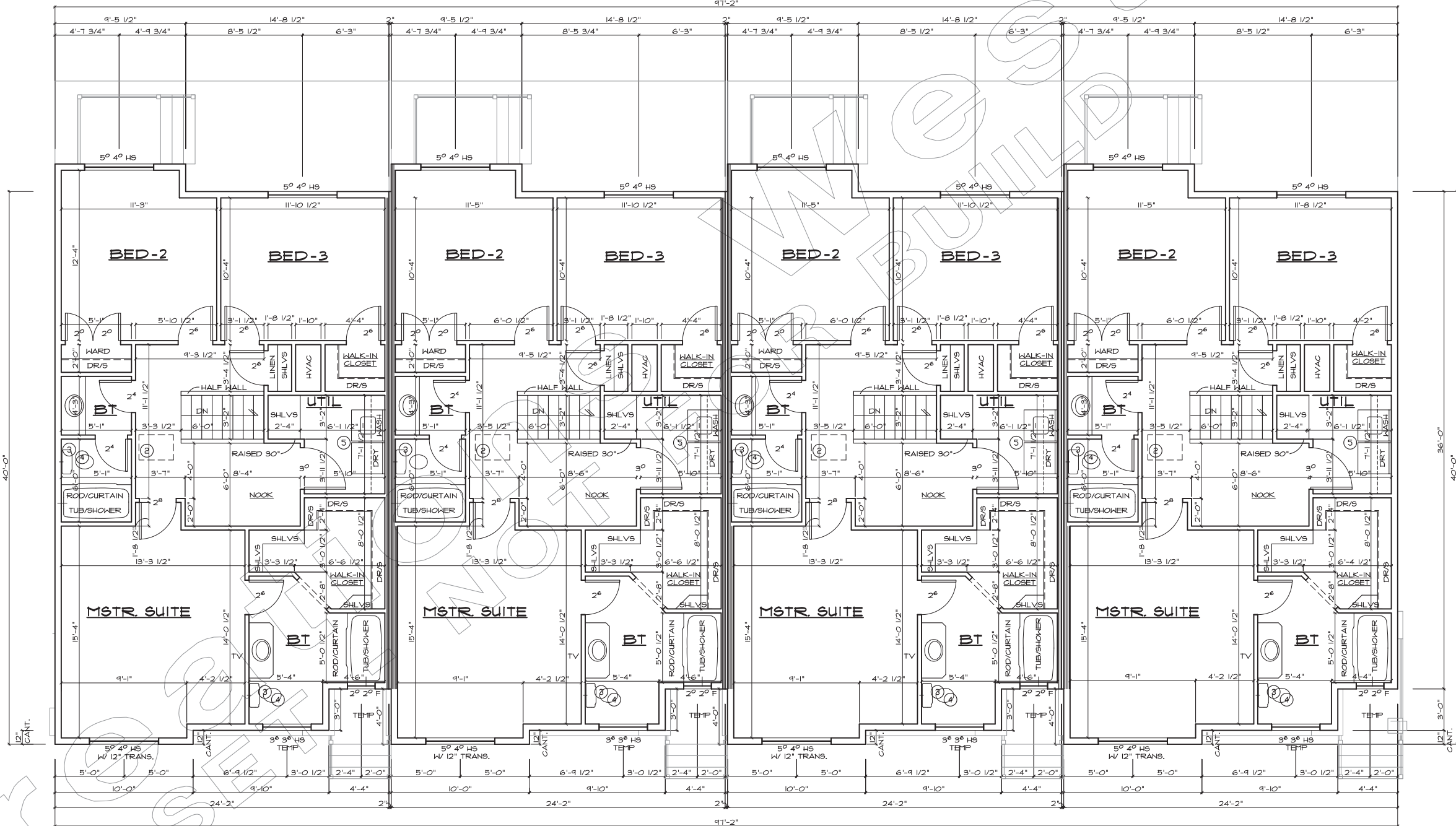
CONDENSATE DISPOSAL:

Condensate from all cooling coils or evaporators shall be conveyed from the drain pan outlet to an approved place of disposal. Condensate shall not discharge into a street, alley or other areas so as to cause a nuisance. I.R.C. M1411.3

A secondary drain or auxiliary drain pan shall be required for each cooling or evaporator coil where damage to any building components will occur as a result of overflow from the equipment drain pan or stoppage in the condensate drain piping. Drain piping shall be a minimum of 3/4" nominal size. I.R.C. M1411.3

ENERGY NOTES:

IECC R402.2.4- The attic access door and crawlspace door from the conditioned space to unconditioned space shall be weather stripped and insulated to a level equivalent to the insulation on the surrounding surfaces.



NOTE:
8'-1 7/8" CEIL. HEIGHT TYP.
2X6 EXTERIOR WALLS (5 1/2")
WINDOWS SET @ 6'-8" TYP
DOOR HEIGHT 6'-8" TYP.

UPPER FLOOR PLAN

SCALE 1/4" = 1'-0"

PLANNED FOR:
MILL CREEK HOMES
2300 EAST WEBER DRIVE
SOUTH WEBER, UTAH

Ammon
Idaho 83406
208.325.9535

South Jordan
Utah 84091
801.325.6700

1424 Legend Hills Dr.
Suite # 120
Clearfield, Utah 84015
801.325.6700

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DATE:
SEP. 17 21

SHEET:
3

PLAN NUMBER
SW TOWNHOME

FLOOR PLAN GENERAL NOTES:

1. Finishing wall 2'6" x 16" o.c.
2. Attic access 22" x 30" with closer & a switched light in attic space. Location, if shown, is approximate.
3. Exhaust fan, 60 CFM run exhaust duct to the outside. 4. Provide 30" min. width for the water closet and 24" clear in front.
4. Temp. wall and door.
5. Vent dryer to outside with 4" metal ducting sealed and secured every 12". termination cap.
6. 12" x 12" min. opening installed to provide access to circulation pump.
7. Sufficient access and working space (30" x 36") shall be provided around all electrical equipment.
8. 20 minute fire rated door.
9. Backwater valve.

APPLIANCE ANCHORAGE NOTES:

Water heaters shall be anchored or strapped to resist horiz. movement. Strapping shall be at points within the upper one-third and lower one-third of the appliance's vert. dimensions. At the lower point, the strapping shall maintain a min. distance of 4 inches above the controls.

MECHANICAL GENERAL NOTES:

Mechanical contractor to provide combustion air to furnace area in accordance with local natural gas specifications. Combustion air to be brought into house from outside. 2-ducts provided, 1 placed at 12" above floor, and 1 placed at 12" below ceiling. Combustion air shall be supplied by two (2) VERTICAL openings, each with 1 sq. ft. per 4000 BTU/h of the total heating rating of all appliances within the space.

OR
Combustion air shall be supplied by two (2) HORIZONTAL openings, each with 1 sq. ft. per 3000 BTU/h of the total input rating of all appliances within the space. One opening must be in the top 12" of room (IRC G2401.6.2)

Water heater seismic bracing. In Seismic Design Category D, D-1, D-2 and townhouses in Seismic Design Category C, water heaters shall be anchored or strapped in the upper one-third and the lower one-third of the appliance to resist a horizontal force equal to one-third of the operating weight of the water heater, acting in any horizontal direction, or in accordance with the appliance manufacturer's recommendations. F0801.1 & IRC F2801.

CONDENSATE DISPOSAL: Condensate from all cooling coils or evaporators shall be conveyed from the drain pan outlet to an approved place of disposal. Condensate shall not discharge into a street, alley or other area so as to cause a nuisance. IRC M1413

The mechanical room shall be enclosed, sealed and insulated in accordance with IECC N102.4.4

WINDOW WELL NOTES:

Window wells required for emergency escape and rescue shall have horizontal dimensions that allow the door or window of the emergency escape and rescue opening to be fully opened. The horizontal dimensions of the window well shall provide a min. clear of 8 sq. ft. w/ a min. horizontal projection and width of 36 inches. Window wells with a vertical depth greater than 44 inches below grade shall be equipped with a permanently affixed ladder or steps usable with the window in the fully open position.

GENERAL CONCRETE NOTES:

Basement walls, foundations and other concrete not exposed to the weather > 2500 psi. Basement slabs and interior slabs on grade, except garage floor slabs > 2500 psi. Basement walls, foundation walls, exterior walls exposed to the weather > 3000 psi. Driveways, carport slabs, and steps exposed to the weather, and garage floor slabs > 3000 psi.

Emergency floor drains at water heaters, laundries, garages, etc., req. a trap seal primer or deep seal trap. (Utah State Amendment to IRC Sec. 1002.4.1)

PERIMETER DRAINS / DWP FLOORING:

Provide perimeter drains as required for foundation walls per IRC R405.1. Provide damp proofing at the below-grade foundation walls per IRC R406.1.

FOUNDATION ELEVATION:
On graded sites, the top of any exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved drainage device a minimum of 12 inches (305mm) plus 28". Alternate elevations are permitted subject to the approval of the building official, provided it can be demonstrated that required drainage to the point of discharge and away from the structure is provided at all locations on the site. (R405.1.3)

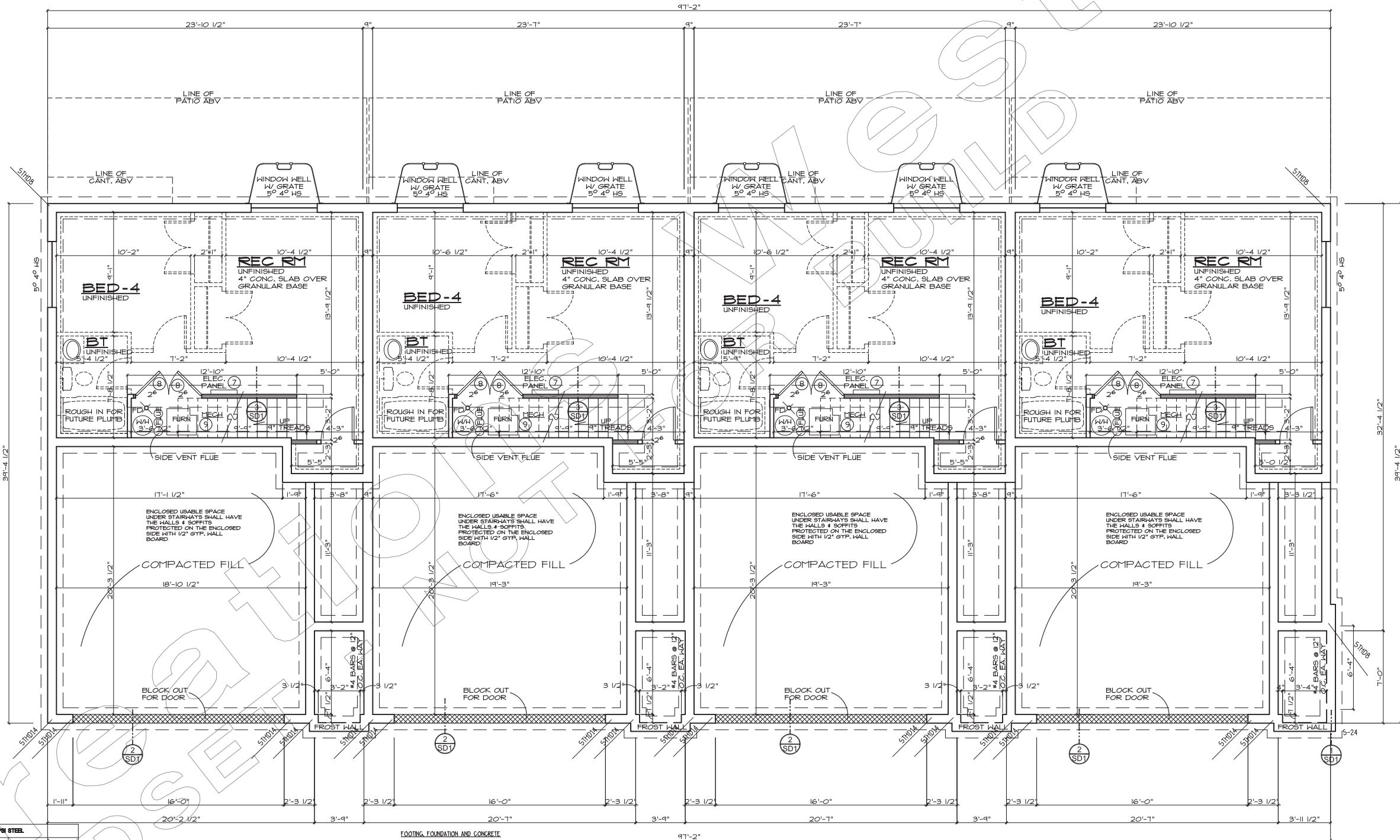
MINIMUM HEIGHT:
Basement hallways, bathrooms, toilet rooms, laundry rooms, or any non-habitable areas at basements shall have a ceiling height of not less than 6'-8".

CONCRETE OR MASONRY FOUNDATIONS:
Drains shall be provided around all concrete or masonry foundations that retain earth and enclose habitable or usable spaces located below grade. Drainage tiles, gravel or crushed stone drains, perforated pipe or other approved systems or materials shall be installed at or below the area to be protected and shall discharge by gravity or mechanical means into an approved drainage system.

All 120V 15-20 AMP receptacles installed inside or outside of dwelling shall be listed as tamper resistant.

CONCRETE FTG'S UNDER ALL FOUNDATION WALLS, BEARING WALLS AND POSTS

NOTE: ALL FOOTINGS 20" F-20



3,000 PSI CONCRETE FOUNDATION SCHEDULE										80,000 PSI STEEL									
MAXIMUM WALL HEIGHT FROM T.O. FOOTING	TOP EDGE SUPPORT	MIN. WALL WIDTH	VERTICAL WALL REIN.	HORIZONTAL WALL REIN.	MIN. WALL FOOTING SIZE AND REIN.	NOTES	SILL PLATE J-BOLTS UNO, SEE PLAN	MIN. 7" EMBEDMENT	MIN. 7" EMBEDMENT	TYPE	WIDTH	LENGTH	THICK	REINFORCEMENT	TYPE	WIDTH	LENGTH	THICK	REINFORCEMENT
2'-0" TO 4'-0"	NONE	8"	#4 @ 16" O.C.	#4 @ 16" O.C.	SEE PLAN					F-16	16"	CONT.	10"	(2) # 4 BARS CONT.	F-16	16"	CONT.	10"	(2) # 4 BARS CONT.
4'-0" TO 6'-0"	NONE	8"	#4 @ 16" O.C.	#4 @ 16" O.C.	SEE PLAN	SEE NOTE #4 BELOW				F-18	18"	CONT.	10"	(2) # 4 BARS CONT.	F-18	18"	CONT.	10"	(2) # 4 BARS CONT.
6'-0" TO 8'-0"	NONE	8"	#4 @ 16" O.C.	#4 @ 16" O.C.	SEE PLAN	SEE NOTE #4 BELOW				F-20	20"	CONT.	10"	(2) # 4 BARS CONT.	F-20	20"	CONT.	10"	(2) # 4 BARS CONT.
8'-0" TO 10'-0"	NONE	8"	#4 @ 16" O.C.	#4 @ 16" O.C.	SEE PLAN	SEE NOTE #4 BELOW				F-24	24"	CONT.	10"	(3) # 4 BARS CONT.	F-24	24"	CONT.	10"	(3) # 4 BARS CONT.
10'-0" TO 12'-0"	FLOOR	8"	#4 @ 16" O.C.	#4 @ 16" O.C.	SEE PLAN	SEE NOTE #4 BELOW				F-30	30"	CONT.	10"	(3) # 4 BARS CONT.	F-30	30"	CONT.	10"	(3) # 4 BARS CONT.
12'-0" TO 14'-0"	FLOOR	8"	#4 @ 16" O.C.	#4 @ 16" O.C.	SEE PLAN	SEE NOTE #4 BELOW				F-36	36"	CONT.	10"	(4) # 4 BARS CONT.	F-36	36"	CONT.	10"	(4) # 4 BARS CONT.
14'-0" TO 16'-0"	FLOOR	8"	#4 @ 16" O.C.	#4 @ 16" O.C.	SEE PLAN	SEE NOTE #4 BELOW				F-24	24"	CONT.	10"	(3) # 4 BARS CONT.	F-24	24"	CONT.	10"	(3) # 4 BARS CONT.
16'-0" TO 18'-0"	FLOOR	8"	#4 @ 16" O.C.	#4 @ 16" O.C.	SEE PLAN	SEE NOTE #4 BELOW				S-30	30"	CONT.	10"	(3) # 4 BARS CONT.	S-30	30"	CONT.	10"	(3) # 4 BARS CONT.
18'-0" TO 20'-0"	FLOOR	8"	#4 @ 16" O.C.	#4 @ 16" O.C.	SEE PLAN	SEE NOTE #4 BELOW				S-36	36"	CONT.	10"	(4) # 4 BARS CONT.	S-36	36"	CONT.	10"	(4) # 4 BARS CONT.
20'-0" TO 22'-0"	FLOOR	8"	#4 @ 16" O.C.	#4 @ 16" O.C.	SEE PLAN	SEE NOTE #4 BELOW				S-42	42"	CONT.	10"	(5) # 4 BARS CONT.	S-42	42"	CONT.	10"	(5) # 4 BARS CONT.
22'-0" TO 24'-0"	FLOOR	8"	#4 @ 16" O.C.	#4 @ 16" O.C.	SEE PLAN	SEE NOTE #4 BELOW				S-48	48"	CONT.	10"	(6) # 4 BARS CONT.	S-48	48"	CONT.	10"	(6) # 4 BARS CONT.
24'-0" TO 26'-0"	FLOOR	8"	#4 @ 16" O.C.	#4 @ 16" O.C.	SEE PLAN	SEE NOTE #4 BELOW				S-60	60"	CONT.	10"	(7) # 4 BARS CONT.	S-60	60"	CONT.	10"	(7) # 4 BARS CONT.

FOOTING, FOUNDATION AND CONCRETE									
TYPE	WIDTH	LENGTH	THICK	REINFORCEMENT	TYPE	WIDTH	LENGTH	THICK	REINFORCEMENT
F-16	16"	CONT.	10"	(2) # 4 BARS CONT.	F-16	16"	CONT.	10"	(2) # 4 BARS CONT.
F-18	18"	CONT.	10"	(2) # 4 BARS CONT.	F-18	18"	CONT.	10"	(2) # 4 BARS CONT.
F-20	20"	CONT.	10"	(2) # 4 BARS CONT.	F-20	20"	CONT.	10"	(2) # 4 BARS CONT.
F-24	24"	CONT.	10"	(3) # 4 BARS CONT.	F-24	24"	CONT.	10"	(3) # 4 BARS CONT.
F-30	30"	CONT.	10"	(3) # 4 BARS CONT.	F-30	30"	CONT.	10"	(3) # 4 BARS CONT.
F-36	36"	CONT.	10"	(4) # 4 BARS CONT.	F-36	36"	CONT.	10"	(4) # 4 BARS CONT.
F-24	24"	CONT.	10"	(3) # 4 BARS CONT.	F-24	24"	CONT.	10"	(3) # 4 BARS CONT.
S-30	30"	CONT.	10"	(3) # 4 BARS CONT.	S-30	30"	CONT.	10"	(3) # 4 BARS CONT.
S-36	36"	CONT.	10"	(4) # 4 BARS CONT.	S-36	36"	CONT.	10"	(4) # 4 BARS CONT.
S-42	42"	CONT.	10"	(5) # 4 BARS CONT.	S-42	42"	CONT.	10"	(5) # 4 BARS CONT.
S-48	48"	CONT.	10"	(6) # 4 BARS CONT.	S-48	48"	CONT.	10"	(6) # 4 BARS CONT.
S-60	60"	CONT.	10"	(7) # 4 BARS CONT.	S-60	60"	CONT.	10"	(7) # 4 BARS CONT.

1. FOOTING DESIGN IS BASED ON ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF UNO. SEE PLAN. IF A PROJECT SOILS REPORT HAS BEEN COMPLETED, FOLLOW ALL REPORT RECOMMENDATIONS. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR GRANULAR FILL COMPACTED TO 95% OF MAXIMUM DENSITY. NO FOOTINGS SHALL BE PLACED IN WATER OR ON FROZEN GROUND. ALL FOOTINGS TO BE PLACED AT MIN. BELOW LOCAL FROST DEPTH, AND BE CONTINUOUS AND MONOLITHIC FOUR.
2. CHANGES IN ELEV. SHALL BE STEPPED WITH STEP HEIGHT NOT HIGHER THAN 1/2 THE STEP LENGTH AND NOT GREATER THAN 5". NOTIFY ENGINEER IF GRADE DROPS OVER 8" IN 24" (GREATER THAN 1/3 SLOPE) SO THAT APPROPRIATE DESIGN CHANGES MAY BE MADE TO FOUNDATION AND FOOTINGS.
3. ALL FOOTINGS, FOUNDATIONS, AND INTERIOR SLABS SHALL BE NORMAL WT. CONCRETE WITH A COMPRESSIVE STRENGTH OF 2500 PSI MIN. UNO. TO MEET STRENGTH REQUIREMENTS (SEE CALCS). NO SPECIAL INSPECTIONS REQUIRED UNO. SEE PLAN HOWEVER, PER RC 402.2 USE 3000 PSI CONCRETE FOR DURABILITY PURPOSES. THE WATER/CEMENT RATIO SHALL BE NO GREATER THAN 50 WITH A MINIMUM CEMENT CONTENT OF 504 LBS. PER CUBIC YARD.
4. ALL CONC. WORK SHALL BE PLACED, CURED, STRIPPED, AND PROTECTED AS REQUIRED BY ACI STANDARDS AND PRACTICES.
5. ALL REINFORCING SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH ACI STANDARD 318. REINFORCEMENT SHALL BE FREE FROM MUD AND OIL AND OTHER NON-METALLIC COATINGS THAT HAMPER BONDING CAPACITY.
6. OWNER/CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS LISTED ON THE DRAWING. VERIFICATION OF ALL SITE CONDITIONS INCLUDING SITE STABILITY IS THE RESPONSIBILITY OF OTHERS
7. ALLOW 14 DAYS FOR CONCRETE TO CURE PRIOR TO BACKFILL.
8. STRUCTURAL CONCRETE EXPOSED TO FREEZE THAW CYCLES SHALL HAVE 5% AIR ENTRAINMENT, MIN.
9. RUN FOOTINGS CONTINUOUS UNDER ALL DOOR OPENINGS. SEE PLAN.
10. SILL PLATE J-BOLTS SHALL BE A307 WITH 7" MIN. EMBEDMENT IN CONCRETE UNO. SEE PLAN.

10. SILL PLATE J-BOLTS SHALL BE A307 WITH 7" MIN. EMBEDMENT IN CONCRETE UNO. SEE PLAN.
11. TITEN HD BOLTS OR EPOXY THREADED RODS MAY BE USED AS SUBSTITUTION FOR SILL PLATE J-BOLTS AT SAME SIZE AND SPACING AS J-BOLTS. USE 6" TITEN HD FOR SINGLE SILL PLATE AND 8" TITEN HD FOR DBL PLATE.
12. ALL FOUNDATION HOLDOWN STRAPS/ANCHORS SHALL BE ALIGNED WITH END OF SHEAR WALL ABOVE AND SHALL ATTACH TO FULL HEIGHT KING STUDS UNO. SEE PLAN. PROVIDE WOOD POST AT EACH HOLDOWN PER THE HOLDOWN SCHEDULE. DIMENSIONS TO HOLDOWN LOCATIONS MUST BE FIELD VERIFIED.
13. FOOTINGS TO BE CENTERED ON WALLS AND COLUMNS/POSTS UNO. SEE PLAN.
14. USE SIMPSON SET-XP EPOXY FOR CONCRETE ANCHORS UNO. SEE PLAN. CONTINUOUS SPECIAL INSPECTIONS REQUIRED ON ALL EPOXY OPERATIONS UNLESS WAIVED BY ENGINEER AND THE BUILDING OFFICIAL.
15. LAP REBAR 48 BAR DIAMETERS UNO. SEE PLAN. REINFORCING IN SLABS ON GRADE MAY BE LAPPED 24". SPLICES IN BOTTOM STEEL IN CONCRETE BEAMS AND CAST IN PLACE SUSPENDED SLABS SHALL BE STAGGERED 48 BAR DIAMETERS.
16. LITELS IN CONCRETE WALLS MAY BE AS FOLLOWS UNO. SEE PLAN FOR 3'-0" MAX SPAN, 8" DEEP WITH (2) 4 BOTT. BARS, FOR 6'-0" MAX SPAN, 12" DEEP WITH (2) 4 BOTT. BARS.
17. PROVIDE (2) EDGE BARS ABOVE CONCRETE WALL OPENINGS AND (1) BAR EACH SIDE AND BELOW OPENINGS UNO. SEE PLAN. MATCH SIZE OF EDGE BARS WITH TYPICAL WALL REINFORCING AND PLACE WITHIN 4" OF OPENING EDGE. EXTEND BARS 48 BAR DIAMETERS PLUS 6" OF OPENING OR EXTEND AS FAR AS POSSIBLE AND PROVIDE 30" STANDARD HOOK AT END.
18. PROVIDE HORIZONTAL BAR WITHIN 3" OF TOP AND BOTT. OF WALL AND PROVIDE VERTICAL BAR AT ALL WALL CORNERS AND ENDS.

NOTE:
1'-9" CEIL. HEIGHT TYP.
7'-10" FOUND WALL
DOUBLE PLATE (3")
2X6 EXTERIOR WALLS (5 1/2")
8" FOUND. WALLS U.O.S.
4" FOUND. FUR WALLS U.O.S.
WINDOWS SET @ 6'-8" TYP.
DOOR HEIGHT 6'-8" TYP.

FTG. / FOUND. PLAN
SCALE
411 SQ. FT. LOWER LEVEL
1/4"

PLANNED FOR:
MILLCREEK HOMES
2310 EAST WEBER DRIVE
SOUTH WEBER, UTAH

Ammon
Idaho 83406
801.925.6700
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PLAN NUMBER
SW TOWNHOME