

## PLANNING COMMISSION AGENDA

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**PUBLIC NOTICE** is hereby given that the Planning Commission of **SOUTH WEBER CITY, Utah**, will meet in a regular public meeting commencing at 6:00 p.m. on **Thursday, May 8, 2025**, in the Council Chambers at 1600 E. South Weber Dr.

**OPEN** (Agenda items may be moved to meet the needs of the Commission.)

1. **Pledge of Allegiance:** Julie Losee
2. **Public Comment:** Please respectfully follow these guidelines.
  - a. Individuals may speak once for 3 minutes or less: Do not remark from the audience.
  - b. State your name & city and direct comments to the entire Commission (They will not respond).

### **ACTION ITEMS**

3. **Consent Agenda**
  - a. April 10, 2025, Minutes
4. **Public Hearing for Rezone of Coopers Landing Property Located at Approximately 6525 S 475 E**
5. Rezone of Coopers Landing property located at approximately 6525 S 475 E. The purpose is to review an application to change the zoning on approximately 2.2 acres from A (Agricultural) to R-M (Residential Moderate Density). Applicant: Shane Turner
6. **Public Hearing for Rezone of Williams Property Located at Approximately 1161 E South Weber Drive**
7. Rezone of Williams property located at approximately 1161 E South Weber Drive. The purpose is to review an application to change the zoning on approximately 3.4 acres from A (Agricultural) to R-M (Residential Moderate Density). Applicant: Layne Kap

### **REPORTS**

8. **Commission**
9. **Adjourn**

*In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify the City Recorder, 1600 East South Weber Drive, South Weber, Utah 84405 (801-479-3177) at least two days prior to the meeting.*

The undersigned Deputy Recorder for the municipality of South Weber City hereby certifies that a copy of the foregoing notice was mailed/emailed/posted to: City Office building; Mayor, Council, and others on the agenda; City Website [southwebercity.com/](https://www.southwebercity.com/); and Utah Public Notice website [www.utah.gov/pmn/index.html](https://www.utah.gov/pmn/index.html).

**DATE: 05/01/2025**

**DEPUTY RECORDER:** Raelyn Boman

*Raelyn Boman*

# **SOUTH WEBER CITY PLANNING COMMISSION MEETING**

**DATE OF MEETING:** 10 April 2025

**TIME COMMENCED:** 6:00 p.m.

**LOCATION:** South Weber City Office @ 1600 East South Weber Drive, So. Weber, UT

**PRESENT:**

**COMMISSIONERS:**

Gary Boatright (excused)  
Julie Losee  
Marty McFadden  
Chris Roberts (excused)  
Chad Skola

**CITY RECORDER:**

Lisa Smith

**COMMUNITY DEV MGR:**

Lance Evans

**Minutes:** Michelle Clark

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**ATTENDEES:** Gayla Harris, Paul Sturm, Michaela Trusty, Bradley Ingstad, Stan & Maria Dunbar, LaVon and Cathy Turnbow, Dustin Turnbow, Kelly Fleming, Duce Namazi, Travis Jessett, Maggie Orzedicaski, Grandon Brimley, Kiana Magneese, Courtney Wilcox, Kimber Rockbank, Janae Magneese, Christy Olsen, and Aysa Foust.

**Commissioner Skola called the meeting to order, welcomed those in attendance, and excused Commissioners Boatright and Roberts.**

**1. Pledge of Allegiance:** Commissioner McFadden

**2. Public Comment:** Please respectfully follow these guidelines.

- Individuals may speak once for 3 minutes or less: Do not remark from the audience.
- State your name & city and direct comments to the entire Commission (Commission will not respond).

**Maggi Orzedicaski of South Weber City** stated her home is next to the Brimley property located at 7513 S 1900 E. She voiced concern about whether the developer is going to build multiple units in one home and how that will affect the value of her home.

**Michaela Trusty of South Weber City** understands Utah is becoming more a prime spot for real estate for the cash flow. Apartments are considered investments and businesses; however, owners are only interested in investment and profit. She attested there are negative impacts with high density housing.

**ACTION ITEMS:**

**3. Approval of Consent Agenda**

Michelle Clarke explained she needed to change the motions to reflect the current chair.

- **13 March 2025 Minutes**

**Commissioner Losee moved to approve the consent agenda with the described alteration. Commissioner McFadden seconded the motion. Commissioner Skola called for the vote. Commissioners Losee, McFadden, and Skola voted aye. The motion carried.**

**Commissioner Losee moved to open the public hearing for the rezone of Namazi Subdivision, property located at 1945 East South Weber Drive. Commissioner McFadden seconded the motion. Commissioner Skola called for the vote. Commissioners Losee, McFadden, and Skola voted aye. The motion carried.**

----- **PUBLIC HEARING** -----

**4. Rezone of Namazi Subdivision, property located at 1945 East South Weber Drive**

Community Development Manager Land Evans explained this rezone request will allow for the subdivision of the 2-acre development for single-family homes of up to 5 residential lots. The proposed zone change matches the land use designation for the property and is consistent with approved plans and uses.

Commissioner Skola called for public comment.

**Paul Sturm of South Weber City** noted the zone allows for 5 dwellings lots. However, the graphic in the packet shows 6 dwelling lots.

**Cathy Turnbow of South Weber City** voiced her concern with this development and how it will affect her house address and street address that are the exact same number (1950 East).

**Gayla Harris of South Weber City** noted there is an infestation of mice and rats on this property. The current house has asbestos. She is concerned about not being able to see the mountains.

**Commissioner McFadden moved to close the public hearing for the rezone of Namazi Subdivision, property located at 1945 East South Weber Drive. Commissioner Losee seconded the motion. Commissioner Skola called for the vote. Commissioners Losee, McFadden, and Skola voted aye. The motion carried.**

----- **PUBLIC HEARING CLOSED** -----

Property owner Beruhz Namazi explained the intention for this property is to construct five beautiful maintained single-family homes. Community Development Manager Lance Evans acknowledged he will research Turnbow's address. Commissioners Skola and McFadden agreed they did not have any further questions and believe this subdivision will enhance the area. Commissioner Losee asked about fencing and sidewalk along South Weber Drive. Lance expressed those are items that will be addressed during the subdivision phase of the project.

**5. Rezone request for Namazi subdivision, property located at approximately 1945 E South Weber Drive, parcel#132750011 and 132750004. The purpose is to review an application to**

**change the zoning on two (2) acres from R-L (Residential Low Density) to R-M (Residential Moderate Density) applicant: Beruhz Namazi**

Commissioner McFadden moved to recommend approval to the City Council the rezone request for the Namazi subdivision, property located at approximately 1945 E South Weber Drive, parcel #132750011 and #132750004 to change the zoning on two (2) acres from R-L (Residential Low Density) to R-M (Residential Moderate Density) with the direction to remove page 7 in the packet that shows six lots. Commissioner Skola seconded the motion. Commissioner Skola called for the vote. Commissioners Losee, McFadden, and Skola voted aye. The motion carried.

Commissioner McFadden moved to open the public hearing for the rezone of Brimley property located at 7513 S 1900 E. Commissioner Losee seconded the motion. Commissioner Skola called for the vote. Commissioners Losee, McFadden, and Skola voted aye. The motion carried.

----- PUBLIC HEARING -----

**6. Public Hearing for Rezone of Brimley property located at 7513 S 1900 E.**

Community Development Manager Lance Evans explained this rezone request from Agricultural (A) to Residential Moderate (R-M) will allow for the subdivision of the 1.8 acres for a single-family home development. The proposed development concept is for single-family lots allowing up to 5 residential lots. The proposed zone change matches the land use designation for the property and is consistent with approved plans and uses.

Commissioner Skola called for public comment.

**Christy Olsen of South Weber City** questioned if this request is for a cul-de-sac with five homes.

**Stan Dunbar of South Weber City** lives above this property and feared any digging on the hillside would affect his home. He asked if a traffic study has been completed because South Weber Drive is already congested.

**Kelly Fleming of South Weber City** stated concern for more people, pollution, and changing the rural area of South Weber City. She requested the applicant save a tree currently located on the property.

**Michaela Trusty of South Weber City** wondered how wildlife in the area would be affected and would like it to be preserved as much as possible.

Commissioner McFadden moved to close the public hearing for the rezone of Brimley property located at 7513 S 1900 E. Commissioner Losee seconded the motion. Commissioner Skola called for the vote. Commissioners Losee, McFadden, and Skola voted aye. The motion carried.

----- PUBLIC HEARING CLOSED -----

Applicant Grandon Brimley replied to citizen's concerns and affirmed the hillside will not be touched, and he loves the tree as well. Commissioner Skola added this item is just a rezone request. Commissioner Losse stated it is difficult to approve the rezone without a concept plan. She is also concerned as to why the applicant is not asking for R-LM instead of R-M zone. Commissioner McFadden understands this is a beautiful piece of property but acknowledged the owner has property rights to develop. He added this rezone request does follow the city's general plan. Mr. Brimley said he would like to keep the existing house and add three lots.

**7. Rezone request for Brimley property located at 7513 S 1900 E, parcel #132910001 The purpose is to review an application to change the zoning of 1.8 acres from A (Agricultural) to R-M (Residential Moderate Density). Applicant: Grandon Brimley**

**Commissioner Losee moved to recommend approval to the City Council the rezone request for Brimley property located at 7513 S 1900 E, parcel #13291000 1.8 acres from A (Agricultural) to R-M (Residential Moderate Density). Commissioner McFadden seconded the motion. Commissioner Skola called for the vote. Commissioners Losee, McFadden, and Skola voted aye. The motion carried.**

**8. Johnson Property Conditional Use Permit request for Short-Term Rental, at 8081 S. 2575 E., parcel# 131250030 applicant: Kimball Johnson**

Community Development Manager Lance Evans reported city staff reviewed the application for the Short-Term Rental Conditional Use Permit and has recommended approval with the following conditions:

1. Completion of a Business License with South Weber City.
2. Ongoing compliance with City Code sections:
  - a. 10-18-3 Applicant Requirements D 1-3
  - b. 10-18-4 Tax
  - c. 10-18-5 Noise and Occupancy
  - d. 10-18-7 Camping
  - e. 10-18-8 Pets
  - f. 10-18-9 Signage
  - g. 10-18-10 Maintenance and Standards

Commissioner Losee conveyed South Weber City code requires a short-term rental to be owner occupied and questioned if this short rental is owner occupied. **Kimber Rockbank of South Jordan City** explained this is her parents' home and they are not living in the home because of recent health issues. Currently, a family member is living in the home. Courtney Wilcox, a family member, stated this is her primary resident and when there is a short-term rental occupant, she will be leaving the home. She acknowledged there are a total of five bedrooms and room for 13 individuals to sleep.

Mr. Evans read the following from city code:

**10-18-12: PRIMARY RESIDENCE:**

Single-family homes that operate a short-term rental shall be the primary or principal place of residence of the property owner, as defined in Utah Code Annotated, Section 20-a-105.

Applications for a short-term rental shall not be accepted until which time the owner of the subject property has demonstrated ownership and use of the home as their primary residence for no less than twelve (12) consecutive months. (Ord. 2022-08, 5-24-2022)

Commissioner Losee suggested tabling until more questions can be answered concerning occupancy. Ms. Rockbank stated they are willing to work with the city and if they need to put Ms. Wilcox's name on the title, they will do that.

**Commissioner McFadden moved to approve the Johnson Property Conditional Use Permit request for Short-Term Rental, at 8081 S. 2575 E., parcel# 131250030 applicant: Kimball Johnson with the following conditions:**

- 1. Completion of a Business License with South Weber City.**
- 2. Ongoing compliance with City Code sections:**
  - a. 10-18-3 Applicant Requirements D 1-3**
  - b. 10-18-4 Tax**
  - c. 10-18-5 Noise and Occupancy**
  - d. 10-18-7 Camping**
  - e. 10-18-8 Pets**
  - f. 10-18-9 Signage**
  - g. 10-18-10 Maintenance and Standards**
- 3. The primary owner occupant is on the title for the property.**

**Commissioner Losee seconded the motion. Commissioner Skola called for the vote. Commissioners Losee, McFadden, and Skola voted aye. The motion carried.**

## **REPORTS:**

### **9. Commission**

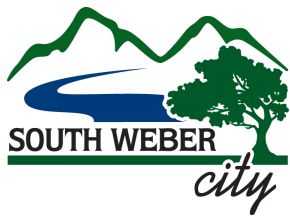
**Commissioner Losee:** questioned the timeline for the maple trees along 2700 East because they are currently not being watered and are dying. Attending Council Member Joel Dills stated the pipeline company will replace them following the completion of their project. She asked if there had been any conversation concerning highway access between 475 East and the Kap property. It was stated that would be a UDOT decision and no one has heard anything regarding that possibility.

**10. ADJOURN:** Commissioner Skola moved to adjourn the Planning Commission meeting at 7:13 p.m. Commissioner Losee seconded the motion. A roll call vote was taken. Commissioners Boatright, Losee, McFadden, Roberts, and Skola voted aye. The motion carried.

**APPROVED:** \_\_\_\_\_ **Date** May 8, 2025  
**Chairperson:** Chad Skola

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**Transcriber:** Michelle Clark

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**Attest:** Deputy Recorder: Raelyn Boman



## PLANNING COMMISSION STAFF REPORT

### MEETING DATE

May 8, 2025

### PREPARED BY

Lance Evans, AICP  
Community Development  
Manager

### ITEM TYPE

Zone Change

### ENCLOSURES

Zoning Maps

### AGENDA ITEM

#### Public Hearing

Turner Property: Zone Change

Applicant: Shane Turner

Location: 6525 S. 475 East

Acreage: 2.2

### PURPOSE

Public hearing for a zone change from Agricultural (A) to Residential Moderate Density (R-M) for approximately 2.2 acres.

Rezone Information	
Site Location	Approximately 6526 S. 475 East
Tax ID Number	130060020, 133260112, 130060040, 130060004
Applicant	Shane Turner
Owner	Shane Turner
Proposed Actions	Recommend approval or denial to City Council
Current Zoning	A (Agricultural) and R-7 (Residential Multi-Family)
Proposed Zoning	R-M (Residential Moderate Density)
General Plan Land Use Classification	Residential Moderate Density (R-M)
Gross Site	2.2 Acres

### BACKGROUND

**Rezone Request.** The rezone to R-M would allow for the potential development of approximately 6 dwelling units on the 2.2-acre parcel if approved. The property configuration and access may limit the number of units.

The rezone request is separate from any site plan or other approvals. The consideration of the change to the R-M zone district needs to factor in all potential uses as outlined in the Land Use Matrix for the R-M zone.





## PLANNING CODE REVIEW

### **South Weber City Code 10-2-7: ADOPTION AND AMENDMENTS**

#### **10-2-7: ADOPTION AND AMENDMENTS:**

A. Adoption: The planning commission shall provide notice and hold a public hearing on a proposed land use ordinance or zoning map and prepare and recommend to the city council a proposed land use ordinance and zoning map that represents the planning commission's recommendation for regulating the use and development of land within all or any part or area of South Weber City. The city council may adopt or reject the proposed land use ordinance or zoning map either as proposed by the planning commission or after making any revision that the city council considers appropriate.

B. Amendments: The City Council may, from time to time, amend the number, shape, boundaries or areas of any zone, or any regulation of or within such zones or any other provisions of this title, but such amendments shall not be made or become effective unless the same shall have been proposed by or be first submitted to the Planning Commission for its recommendation. The City Council may adopt or reject the proposed land use ordinance or zoning map either as proposed by the Planning Commission or after making any revision that the City Council considers appropriate.

## ANALYSIS

The criteria and process for a zone change (also known as a rezoning) requires the analysis of several key factors that municipalities consider before approving or denying a request.

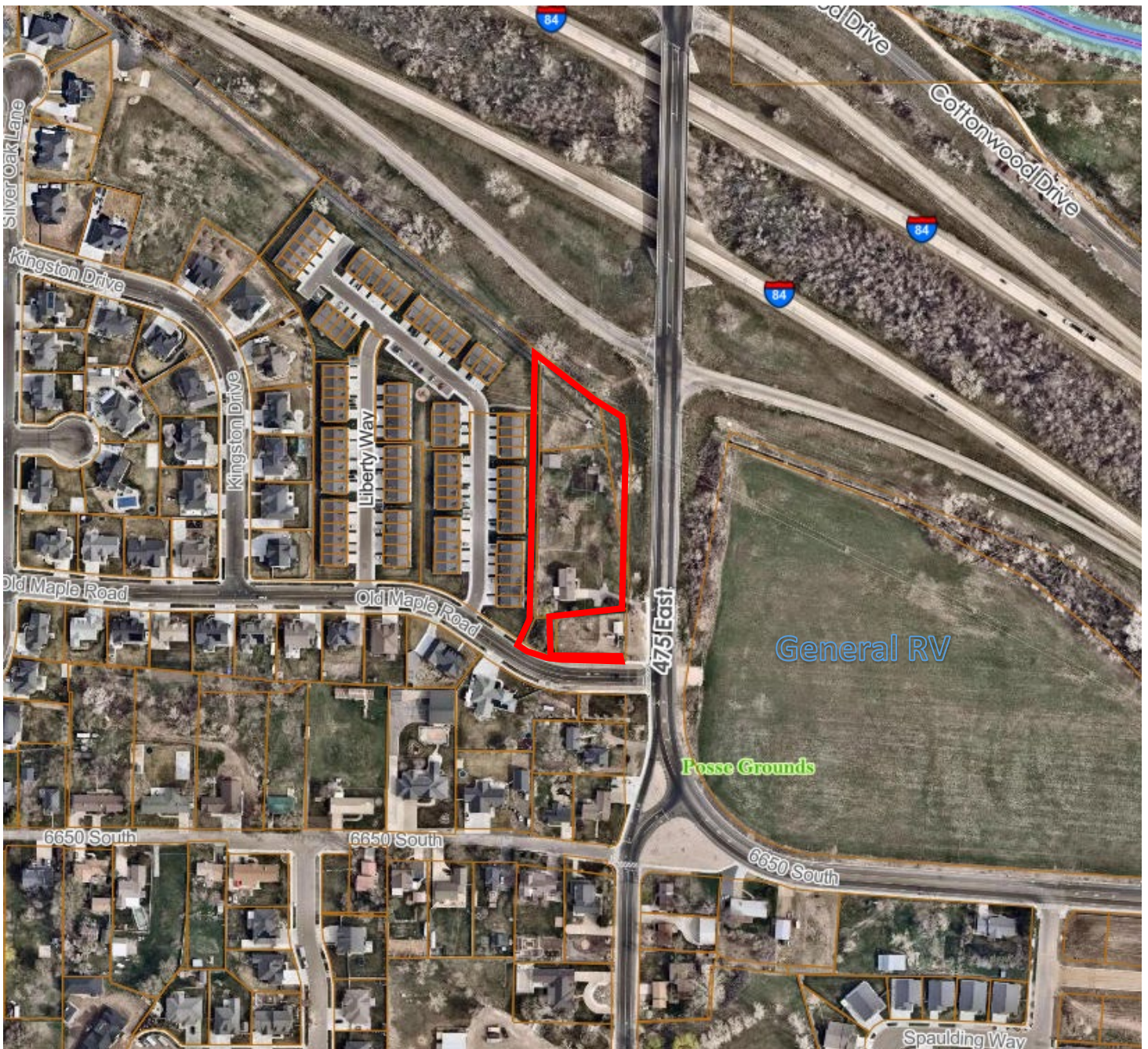
**Consistency with Comprehensive Plan:** The proposed zone change aligns with the goals and policies outlined in the general plan. City Staff finds that the proposed increase in the residential density at this location is consistent with the Residential Moderate Land Use Designation in the South Weber General Plan and Projected Land Use Map.

**Compatibility with Surrounding Uses:** The rezoning should not adversely impact adjacent properties or the surrounding neighborhood. Any use permitted in the R-M Zone would be consistent with the surrounding building height, density, traffic impacts, and visual aesthetics though compliance with city development codes.

**Environmental and Infrastructure Considerations:** The proposed zone change is surrounded by developed property and an interstate highway. The rezone will have minimal impacts on infrastructure (such as roads, utilities, and public services) and the natural environment (including water resources, wildlife habitats, and air quality).

**Traffic:** The property location and topography reduce access to the site. Limited access to 475 East is required to maintain the safety and flow of the arterial roadway.





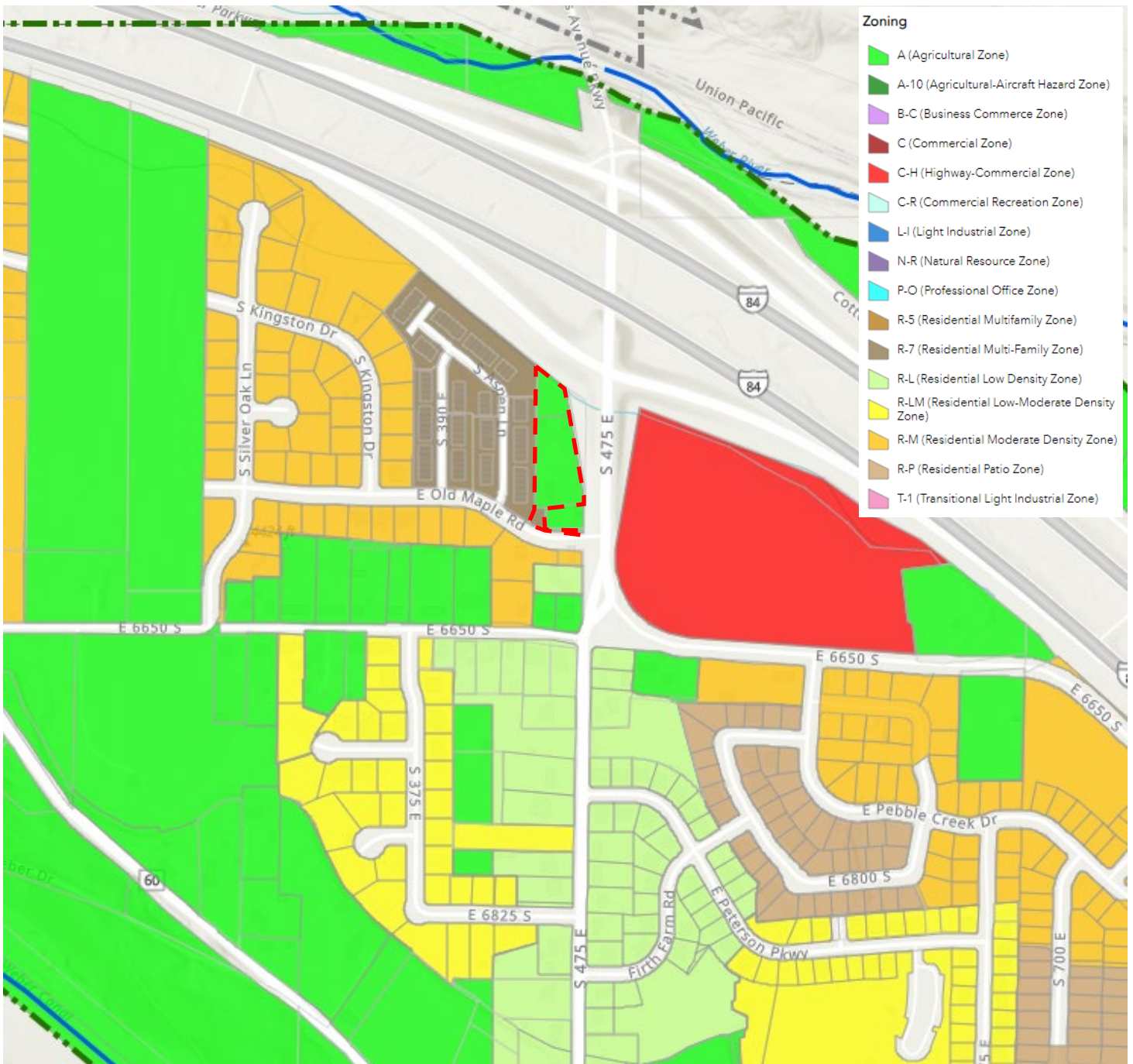
[Vicinity Map](#)





[Property Map](#)

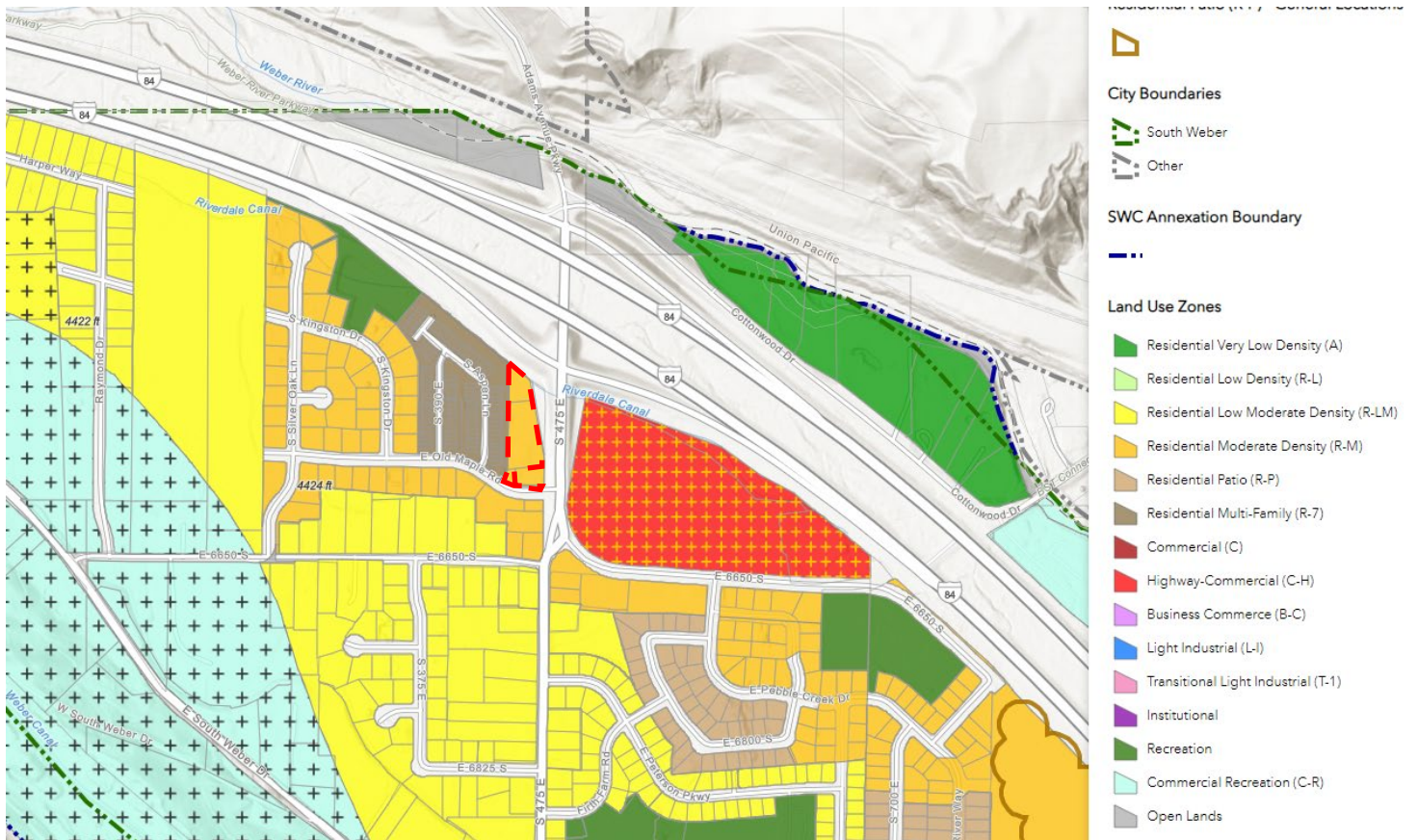
## 5. Turner/ Coopers Landing Property Zone Change



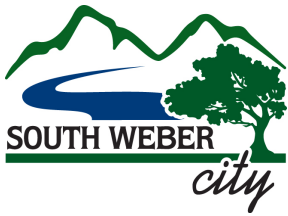
[Zoning Map](#)



## 5. Turner/ Coopers Landing Property Zone Change



Projected Land Use Map



# PLANNING COMMISSION STAFF REPORT

MEETING DATE

May 8, 2025

PREPARED BY

Lance Evans, AICP  
Community Development  
Manager

ITEM TYPE

Zone Change

ATTACHMENTS

Application Narrative

AGENDA ITEMPublic Hearing

Williams Property Zone change

Applicant: Grandon Williams

Location: 1161 E. South Weber Drive

Rezone Acreage: approximately 2.84 acres

REQUEST

A zone change from Agricultural (A) to Residential Moderate Density (R-M) for approximately 2.8 acres. NOTE: The area proposed for the rezone is only a portion of two parcels. Approximately 0.65 acres are already zoned R-M on the two parcels included in the project.

**Property Information**

<b>Site Location</b>	1161 E South Weber Drive
<b>Tax ID Number</b>	130210057 and 130210066
<b>Applicant</b>	Layne Kap
<b>Owner</b>	Larry Williams, Sherry Phelps
<b>Proposed Actions</b>	Recommend approval or denial to City Council
<b>Current Zoning</b>	Agricultural (A)
<b>Proposed Zone District</b>	Residential Moderate Density (R-M)
<b>Acreage</b>	2.8

PROCESS

This is a request to amend the South Weber City Zoning Map. South Weber City Code Section 10-3-5 allows for the Zoning Map to be amended. The Planning Commission is required to hold a public hearing to receive public comments on the proposed amendment, then make a recommendation to the City Council for the approval or denial of the proposed amendment. The City Council will then hold a meeting to review the Planning Commission's recommendation and the application for final determination of approval or denial.

### BACKGROUND

If approved, this rezone request will allow for the subdivision of the 3.13 acres for a single-family home development. The proposed development concept is for single-family lots, the maximum density is 2.8 dwelling units per acre.

### ANALYSIS

#### Consistence with General Plan

The property is designated Residential Moderate Density (R-M) on the General Plan Projected Land Use Map. The R-M designation allows for a density up to 2.8 dwelling units per gross acre. The 3.13 acres would allow for up to 8 single-family dwelling lots.

The proposed zone change matches the land use designation for the property and is consistent with approved plans and uses.

#### Compatibility with Surrounding Uses

The adjacent properties are a similar density and use.

North: Single-family homes, large lots, zoned Residential Moderate Density,

South: Single-family home subdivision, small lots, zoned Residential Moderate Density

West and East: mix of large undeveloped lots and a single-family home and a service garage, zoned Agricultural.

The proposed uses are similar to many of the developed lots with the surrounding building height, density, traffic impacts, and visual aesthetics.

#### Environmental and Infrastructure Considerations

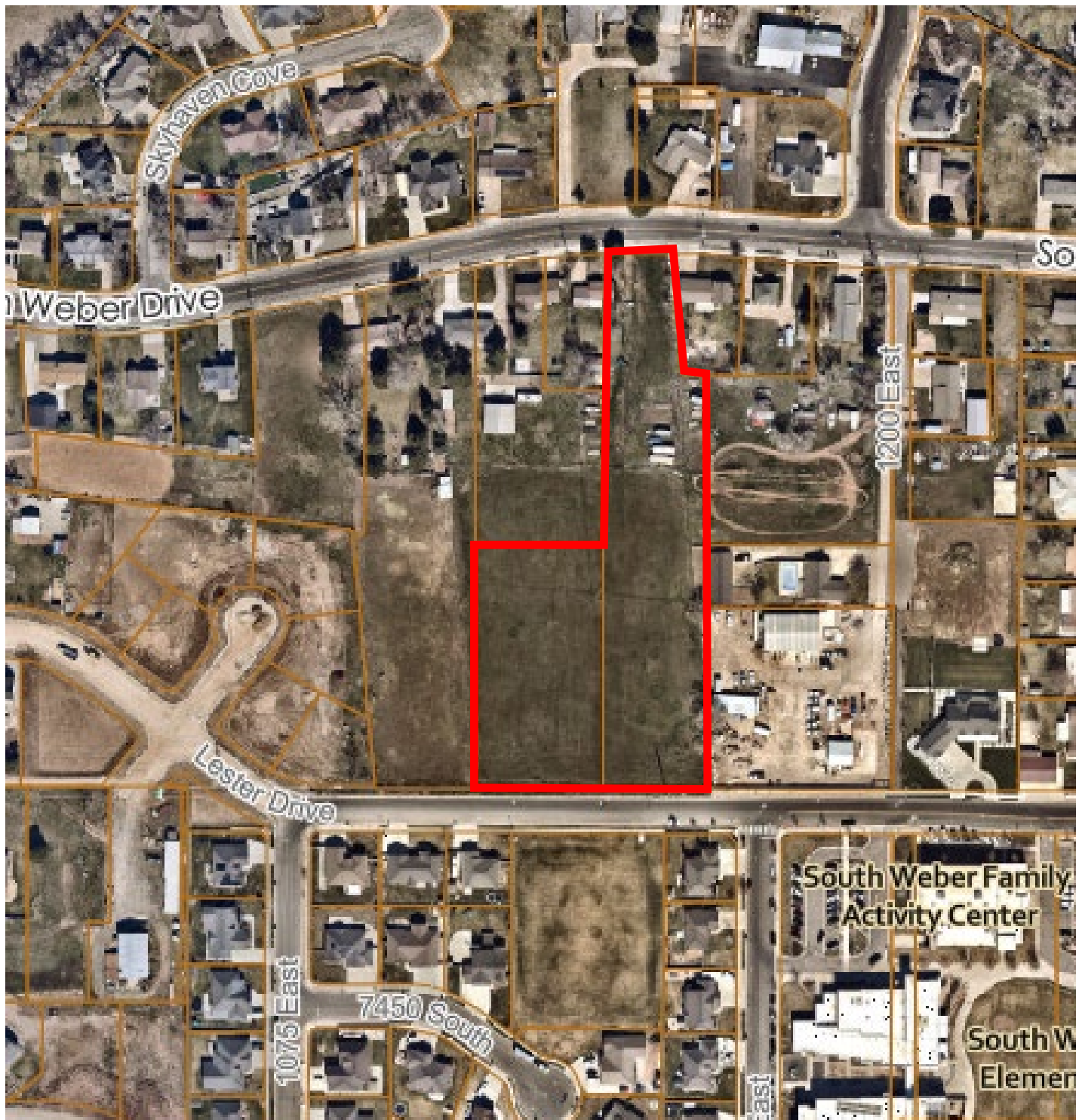
If approved, the zone change will have minimal impacts on infrastructure (such as roads, utilities, and public services) and the natural environment (including water resources, wildlife habitats, and air quality).

#### Traffic Impacts

If rezoned the parcel would access Lester Street and would have minimal impact to current traffic counts.

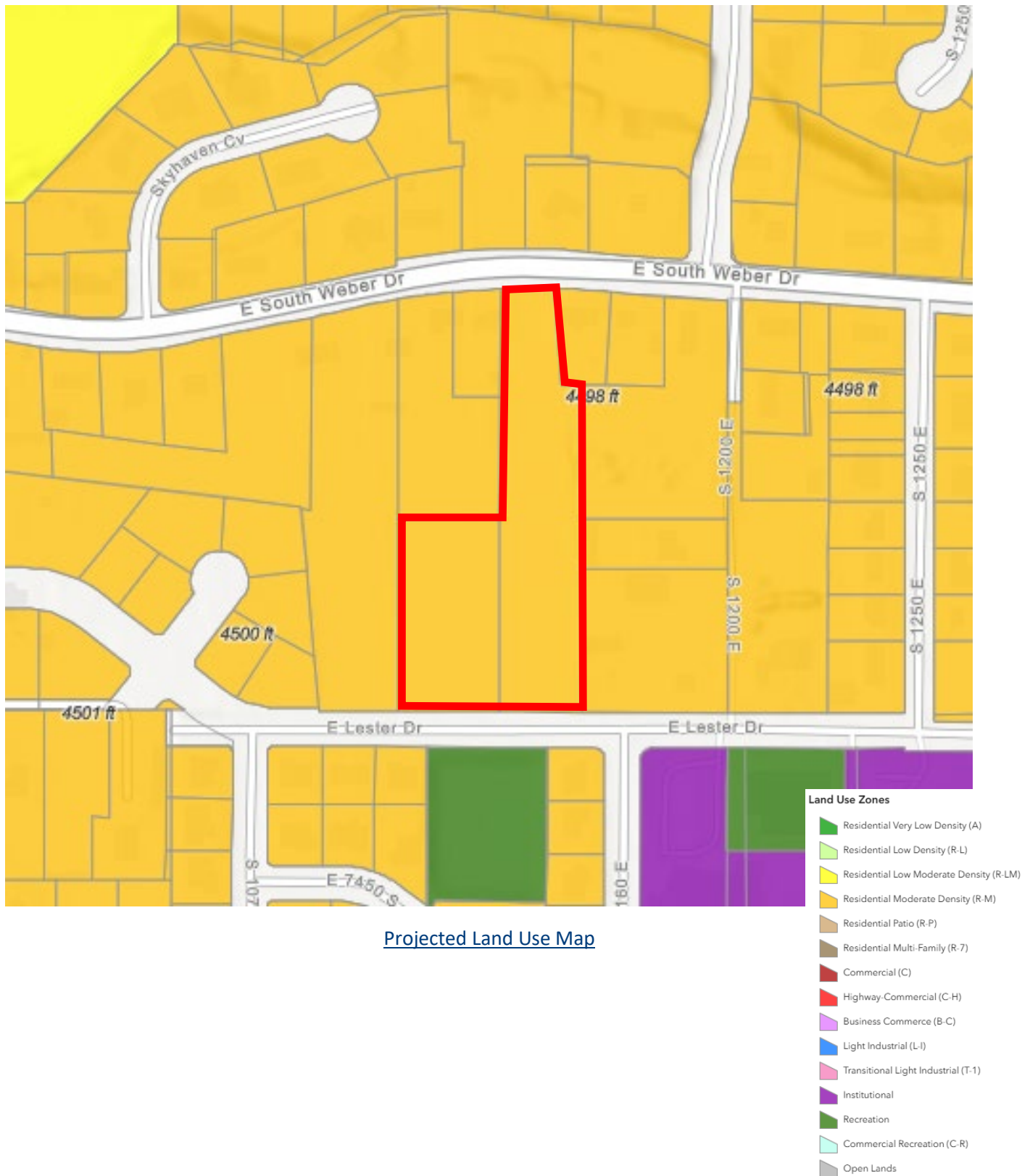
#### Conclusion

The proposed zone change is consistent with the goals and objectives of the General Plan. Staff recommends approval of the zone change from Agricultural (A) to Residential Moderate Density (R-M) for the 2.8 acres.

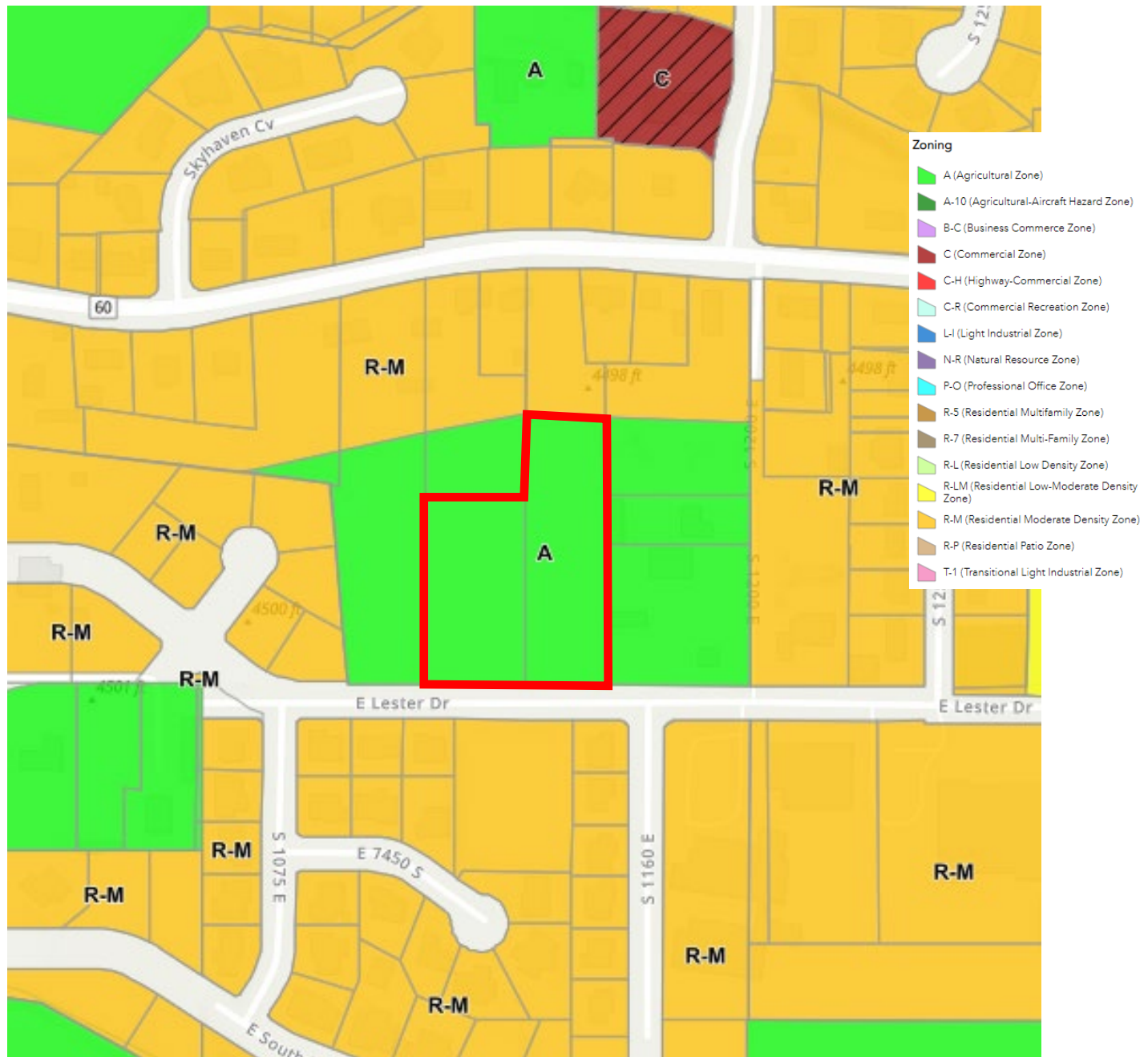


[Vicinity Map](#)





Projected Land Use Map



[Zoning Map](#)



## APPLICABLE CITY CODE

### **10-3-5: POWERS AND DUTIES:**

A. Entrance Upon Land: The Planning Commission, its members and employees, in the performance of its functions, may enter upon any land at reasonable times to make examinations and surveys, and place and maintain necessary monuments and marks thereon. The Planning Commission shall have such powers as may be necessary to enable it to perform its functions and promote Municipal planning.

#### **B. Administrative Duties: The Planning Commission shall:**

##### **2. Recommend Land Use Ordinances and maps, and amendments to Land Use Ordinances and maps, to the City Council;**

C. Public Hearings; Reports and Recommendations: For purposes of holding public hearings, the Planning Commission is recognized as the Land Use Authority for South Weber City, as defined by Utah Code Annotated 10-9a-103; 10-9a-404, 10-9a-502, 10-9a-503, 10-9a-602, and 10-9a-608, or as otherwise required. The Planning Commission may hold public hearings and shall do so as required by law. It may make reports and recommendations relating to the plan and development of the City to public officials and agencies, other organizations and citizens. It may recommend to executive or legislative officials, programs for public improvements. The City Council shall not hold any public hearing for any Land Use Ordinances, applications, or amendments unless specifically required by State law or a procedural motion approved by the City Council. (Ord. 19-08, 3-5-2019; amd. Ord. 2021-01, 2-23-2021)



### PROJECT NARRATIVE

Kastle Rock Excavation Layne Kap 8085 South Juniper Court South Weber, UT 84405

South Weber City Planning RE: William Subdivision Rezone Request – Project Narrative

We are requesting a zone change of the Phelps property located at 1161 E South Weber Drive, consisting of the following parcels: 13-021-0067, 13-021-0066, and a portion of 13- 021-0056. The parcels are currently zoned: R-M for the north portion and A on the south side. We are requesting the parcels be zoned to R-M, which is consistent with the General Plan.