PLANNING COMMISSION AGENDA



Watch live, or at your convenience. <u>https://www.youtube.com/c/southwebercityut</u>

PUBLIC NOTICE is hereby given that the Planning Commission of SOUTH WEBER CITY, Utah, will meet in a regular public meeting commencing at 6:00 p.m. on Thursday, February 13, 2024, in the Council Chambers at 1600 E. South Weber Dr.

OPEN (Agenda items may be moved to meet the needs of the Commission.)

- 1. Pledge of Allegiance: Chad Skola
- 2. Public Comment: Please respectfully follow these guidelines.
 - a. Individuals may speak once for 3 minutes or less: Do not remark from the audience.
 - b. State your name & city and direct comments to the entire Commission (They will not respond).

ACTION ITEMS

- 3. Consent Agenda
 - a. December 12, 2024, Minutes
- 4. Acknowledgement of re-appointed PC members Gary Boatright, and Marty McFadden
- 5. Elect Chair and Vice Chair
- 6. Public Hearing for Rezone
- 7. Rezone for South Weber Gateway Development Agreement at approximately, 2557 South Weber Drive, applicant South Weber City
- 8. Preliminary Subdivision Plat for Gateway Subdivision, 2557 South Weber Drive, applicant Justin Nielson, Stillwater Construction
- 9. Ethics, Conflict of Interest, and Open Meeting Act Training

REPORTS

- 10. Commission
- 11. Adjourn

In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify the City Recorder, 1600 East South Weber Drive, South Weber, Utah 84405 (801-479-3177) at least two days prior to the meeting.

The undersigned Deputy Recorder for the municipality of South Weber City hereby certifies that a copy of the foregoing notice was mailed/emailed/posted to: City Office building; Mayor, Council, and others on the agenda; City Website <u>southwebercity.com/</u>; and Utah Public Notice website <u>www.utah.gov/pmn/index.html</u>.

DATE: 02/10/2025

DEPUTY RECORDER: Raelyn Boman

Raelyn Boman

SOUTH WEBER CITY PLANNING COMMISSION MEETING

DATE OF MEETING: 12 December 2024

TIME COMMENCED: 6:00 p.m.

LOCATION: South Weber City Office @ 1600 East South Weber Drive, So. Weber, UT

PRESENT:

COMMISSIONERS:Gary Boatright
Julie Losee
Marty McFadden
Chris Roberts (excused)
Chad SkolaDEPUTY RECORDER:Raelyn BomanFINANCE DIRECTOR:Brett BaltazarCOMMUNITY DEVELOPMENT
MANAGER:Lance Evans

Minutes: Michelle Clark

ATTENDEES: Craig Hancock, Rod Westbroek, Paul Sturm, Korey Kap, Kamry Dyer, Thomas Hunt, Gordon Smith, Barbara Shupe, Mike Poll, and Michael Grant.

Commissioner Losee called the meeting to order, welcomed those in attendance, and excused Commissioner Roberts from tonight's meeting.

1. Pledge of Allegiance: Commissioner Skola

2. Public Comment: Please respectfully follow these guidelines.

• Individuals may speak once for 3 minutes or less: Do not remark from the audience. State your name & city and direct comments to the entire Commission (Commission will not respond).

ACTION ITEMS:

- 3. Approval of Consent Agenda
 - 14 November 2024 Minutes

Commissioner Boatright moved to approve the consent agenda. Commissioner Skola seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried. Commissioner Boatright moved to open the public hearing for the General Plan Amendment. Commissioner McFadden seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

----- PUBLIC HEARING ------

4. Public Hearing for General Plan Amendment

Community Development Manager Lance Evans reported this is a request to amend the Projected Land Use Map from the 2020 South Weber City General Plan from Residential Low Moderate Density (R-LM) to Residential Moderate Density (R-M) on approximately 10.7 acres located at approximately 972 E. South Weber Drive.

Commissioner Losee asked if there was any public comment.

Gordon Smith of South Weber City expressed that it is his understanding this area is a wetland area. He is also concerned about increased traffic.

Craig Hancock of South Weber City is concerned about the egress and ingress to this property and queried on the traffic plan for this area.

Commissioner Boatright moved to close the public hearing for the General Plan Amendment. Commissioner McFadden seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

----- PUBLIC HEARING CLOSED ------

Mr. Evans explained there are no designated wetlands in this area. He then reviewed the traffic plan on the City's General Plan traffic map and identified Old Fort Road as a collector road with a collector road on the south side of the property.

Commissioner Losee is concerned about the difference in the number of homes for R-LM and R-M with R-LM having less impact on traffic. Commissioner McFadden does not think this request changes the character of the land. Commissioner Boatright does not favor amending the general plan every time a developer comes in. Mr. Evans understands what Commissioner Boatright is stating, but the direction given has been to amend the general plan prior to approval. Commissioner Skola does not favor going against the general plan. Commissioner Losee is concerned about going to a higher density. Mr. Evans announced the City Attorney gave the direction to amend the general plan amendment before a rezone request. Commissioner McFadden stated the general plan amendment would give a clearer direction on how the land will be used. He does not think there is considerable difference between the R-LM Zone and the R-M Zone and would be in favor of the general plan amendment.

5. General Plan Amendment for Kapp Legacy from Residential Low Moderate Density (R-LM) to Residential Moderate Density (R-M) at approximately 972 E South Weber Drive, applicants Thomas Hunt, Korey Kap

This application is part of the potential development of 32.86 acres for single-family homes on moderate density lots. Twenty-two acres of the proposed development area is already designated as Residential Moderate Density in the General Plan. This request is to amend the R-LM density designation on the southern 10.7 acres of this project to R-M. (In a separate application the owners are requesting to rezone the entire project area of 32.86 acres from Agricultural to Residential Moderate Density.)

Commissioner McFadden moved to recommend approval to the City Council the General Plan Amendment for Kapp Legacy from Residential Low Moderate Density (R-LM) to Residential Moderate Density (R-M) for 10.7 acres at approximately 972 E South Weber Drive, applicants Thomas Hunt, Korey Kap. Commissioner Skola seconded the motion. Commissioner Losee called for the vote. Commissioners Losee, McFadden, and Skola voted aye. Commissioner Boatright vote nay. The motion carried 3 to 1.

Commissioner Skola moved to open the public hearing for zone change amendment. Commissioner Boatright seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

----- PUBLIC HEARING-----

6. Public Hearing for Zone Change Amendment

Community Development Manager Lance Evans explained this is a request to amend the South Weber City Zoning Map from A (Agricultural Zone) to R-M (Residential Moderate Zone) on approximately 27.6 acres located at approximately 972 E. South Weber Drive.

Gordon Smith of South Weber City asked if there is an environmental study on this property.

Commissioner Boatright moved to close the public hearing for Zone Change Amendment. Commissioner Losee seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

----- PUBLIC HEARING CLOSED------

Community Development Director Lance Evans conveyed that if the rezone is approved, extensive studies will be conducted on the property. Commissioner Losee requested that the developer provide a traffic study when the subdivision is presented to the Planning Commission. Commissioner Boatright expressed support for the zone change request.

7. Rezone Request for Kapp Legacy from (A) Agricultural Zone to (R-M) Residential Moderate Density Zone at approximately 972 E South Weber Drive, applicant Thomas Hunt, Korey Kap

Commissioner Skola moved to recommend approval to the City Council the Rezone Request for Kapp Legacy from (A) Agricultural Zone to (R-M) Residential Moderate Density Zone for 27.6 acres at approximately 972 E South Weber Drive, applicant Thomas Hunt, Korey Kap. Commissioner Boatright seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried. Commissioner Boatright moved to open the public hearing for Subdivision Code Amendment. Commissioner Losee seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

------ PUBLIC HEARING ------

8. Public Hearing for Subdivision Code Amendment

Community Development Manager Lance Evans explained South Weber City is required by the Utah State Code to allow more than one form of subdivision improvement guarantee. The code currently allows "Cash Escrow account or Letter of Credit guarantee with a federally insured financial institution." City Staff is concerned that the letter of credit will not provide enough assurance to the city for the completion of a subdivision should it be required. Staff recommended allowing three options for improvement completion assurance.

 cash escrow account guarantee with a federally insured financial institution, or 2) a cash bond with the city, or 3) a surety bond with a reputable bond provider who is licensed to issue surety bonds in the State of Utah. The code amendment to allow these three forms of assurance will better protect the city and assure completion of all subdivision improvements.

(No Public Comment)

Commissioner Skola moved to close the public hearing for Subdivision Code Amendment. Commissioner Losee seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

------ PUBLIC HEARING CLOSED------

9. Code Amendment 11-8-3: Improvements Completion Assurance and Guarantee of Performance

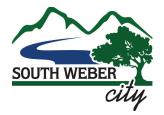
Commissioner Boatright moved to recommend approval to the City Council for the Code Amendment 11-8-3: Improvements Completion Assurance and Guarantee of Performance. Commissioner McFadden seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

REPORTS:

10. Commission: (None)

11. ADJOURN: Commissioner Boatright moved to adjourn the Planning Commission meeting at 6:39 p.m. Commissioner Losee seconded the motion. A roll call vote was taken. Commissioners Boatright, Losee, McFadden, Roberts, and Skola voted aye. The motion carried.

_ Date _____ **APPROVED:** Chairperson: Julie Losee Transcriber: Michelle Clark Deputy Recorder: Raelyn Boman Attest:



7 Rezone for South Weber Gateway Development Agreement

PLANNING COMMISSION STAFF REPORT

MEETING DATE

February 13, 2025

PREPARED BY

Lance Evans, AICP Community Development Manager

ITEM TYPE

Zone Change

ATTACHMENTS

Projected Land Use Map

Zoning Map

AGENDA ITEM

<u>Public Hearing</u> Resolution 2025-004: South Gateway Zone change Applicant: South Weber City Location: approximately 2557 E. South Weber Drive Acreage: approximately 27.6 acres

<u>REQUEST</u>

A zone change request to change the zoning on 0.2 acres from R-5 (SG) Residential Multi-Family to Highway Commercial (C-H) on a 10.731-acre parcel.

Property Information			
Site Location	Approximately 2557 E. South Weber Drive		
Tax ID Number	130340068		
Applicant	South Weber City		
Owner	Stillwater Construction		
Proposed Actions	Recommend approval or denial to City Council		
Current Zoning	C-H (Highway Commercial) and R-5 (Residential Multi-Family)		
Proposed Zone District	C-H (Highway Commercial)		
Acreage	0.2		

PROCESS

This is a request to amend the South Weber City Zoning Map. South Weber City Code Section 10-3-5 allows for the Zoning Map to be amended. The Planning Commission is required to hold a public hearing to receive public comments on the proposed amendment, then make a recommendation to the City Council for the approval or denial of the proposed amendment. The City Council will then hold a meeting to review the Planning Commission's recommendation and the application for a final determination.



BACKGROUND

This application is correcting the zoning to match the South Weber Gateway Development Agreement (DA). The third amendment of the DA modified the areas of Highway Commercial and Residential Multi-Family R-5) increasing the commercial area by approximately 0.2 acres. This rezone will correct the zoning districts to match the concept plan in the approved DA.

<u>ANALYSIS</u>

Consistence with General Plan

The proposed zone change matches the land use designation for the property and is consistent with approved development plans and uses.

Compatibility with Surrounding Uses

The approved development will have 57 town homes and 2.62 acres of commercial. The site design will reduce the impact to the adjacent residences and is consistent with the surrounding building height, density, traffic impacts, and visual aesthetics though compliance with city development codes.

Environmental and Infrastructure Considerations

Much of the area around the site is developed. The zone change will have minimal impacts on infrastructure (such as roads, utilities, and public services) and the natural environment (including water resources, wildlife habitats, and air quality).

Traffic Impacts

The development is along South Weber Drive and is a location that is anticipated to have additional traffic and road use.

Conclusion

The proposed zone change is consistent with the goals and objectives of the General. Staff recommends approval of the zone change for the 0.2 acres from R-5 (SG) Residential Multi-Family to Highway Commercial (C-H) on a 10.731-acre parcel.

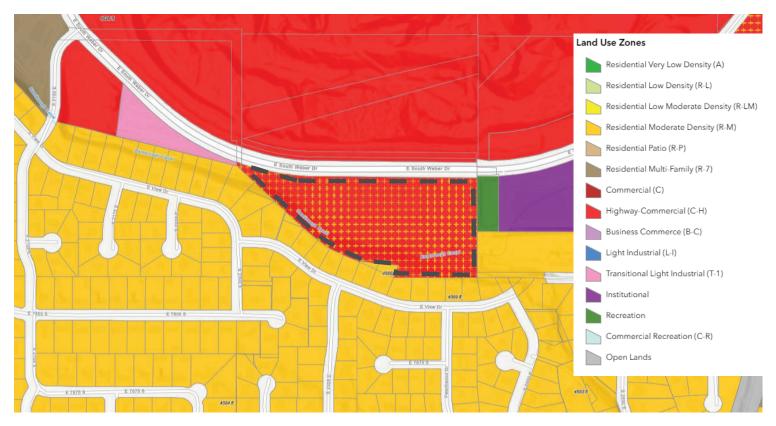




Vicinity Map

7 Rezone for South Weber Gateway Development Agreement

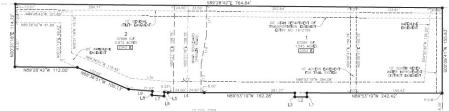




Projected Land Use Map

Commercial Zone Change approx. 0.2 acres from R-5 to C-H

Commercial Area in South Weber Gateway DA 2nd Amendment

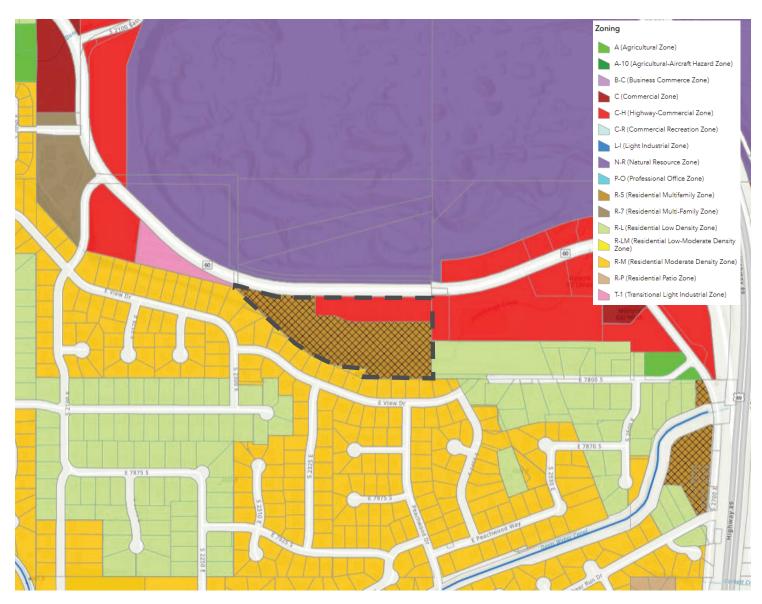


Commercial Area in South Weber Gateway DA 3rd and 4th amendment



7 Rezone for South Weber Gateway Development Agreement





Zoning Map



APPLICABLE CITY CODE

10-3-5: POWERS AND DUTIES:

A. Entrance Upon Land: The Planning Commission, its members and employees, in the performance of its functions, may enter upon any land at reasonable times to make examinations and surveys, and place and maintain necessary monuments and marks thereon. The Planning Commission shall have such powers as may be necessary to enable it to perform its functions and promote Municipal planning.

B. Administrative Duties: The Planning Commission shall:

2. Recommend Land Use Ordinances and maps, and amendments to Land Use Ordinances and maps, to the City Council;

C. Public Hearings; Reports and Recommendations: For purposes of holding public hearings, the Planning Commission is recognized as the Land Use Authority for South Weber City, as defined by Utah Code Annotated 10-9a-103; 10-9a-404, 10-9a-502, 10-9a-503, 10-9a-602, and 10-9a-608, or as otherwise required. The Planning Commission may hold public hearings and shall do so as required by law. It may make reports and recommendations relating to the plan and development of the City to public officials and agencies, other organizations and citizens. It may recommend to executive or legislative officials, programs for public improvements. The City Council shall not hold any public hearing for any Land Use Ordinances, applications, or amendments unless specifically required by State law or a procedural motion approved by the City Council. (Ord. 19-08, 3-12-2019; amd. Ord. 2021-01, 2-23-2021)

MEETING DATE

February 13, 2025

PREPARED BY

Lance Evans Community Development Manager

Brandon Jones, P.E. City Engineer

ITEM TYPE

Administrative

ATTACHMENTS

Preliminary Plat

AGENDA ITEM

Gateway Preliminary Plat

PURPOSE

Administrative Action: Preliminary Subdivision Plat Approval. Final Subdivision Plat and Improvement Plans will be reviewed and approved by the Administrative Land Use Authority (ALUA) Board (See CC 11-5-1).

RECOMMENDATION

Staff has reviewed the proposed preliminary plat and phasing plan and recommends approval.

BACKGROUND

Project Information				
Project Name	Gateway Preliminary Subdivision			
Site Location	2557 E South Weber Drive			
Tax ID Number	130340068			
Applicant	Justin Nielson, Stillwater Construction			
Owner	Stillwater Construction			
Proposed Actions	Preliminary Plat Approval			
Current Zoning	C-H and R-5(SG)			
General Plan Land Use Classification	Highway Commercial with Development Plan and Agreement Required			
Gross Site	11.643 Acres			
Number of Townhome Lots	57 lots			
Commercial Lots	13 commercial pads, proposed for 16,292 SF of commercial area			
Gross Density Calculation	6.3 dwelling units per acre			

OVERVIEW SOUTH WEBER GATEWAY DEVELOPMENT PROCESS

The South Weber Gateway Development was approved as a Development Agreement (DA) and has had several revisions to the DA. The current owner has submitted the preliminary plat application as the next step in the development process for this project. This is the second of five major steps in the development process for the South Weber Gateway project.

1. **Zoning entitlement:** The South Weber Gateway Development received the original rezone from Agricultural (A) to Highway Commercial (C-H) and Residential Multi-Family Seven (R-7) on July 20, 2021 (ORD 2021-10). The R-7 zone was later changed by the City to R-5 with a Strategic Growth Overlay (SG) option and was applied accordingly to this development. A Development Agreement was originally approved in May of 2022. It has since been amended four times to make minor modifications to the site requirements and for changes in ownership. The 4th amendment was approved on the 12th of November 2024.

2. **Subdivision Plat:** the preliminary subdivision plat is being reviewed tonight by the Planning Commission. The preliminary subdivision contains a significant level of detail, and the improvement plans for the development of the utility and road infrastructure. The final plat will complete the subdivision process when it is reviewed, approved, and recorded. Construction of the proposed utilities and site improvements may begin after the preliminary plat approval by the Planning Commission and final approval of the plat and improvement plans by the ALUA Board, but lot sales may not begin until the final plat is recorded.

3. **Site Plan and Architectural Plan:** the development of the vertical buildings and some of the above ground site improvements require the approval of an Architectural Site Plan approval as outlined in Title 10 Chapter 12 of the South Weber City Code. Some of these elements and requirements have been addressed in the subdivision plat and improvement plans but the architectural, parking, and landscape improvements will need to be approved by the Planning Commission and City Council before the submittal of building permit applications.

4. **Conditional Use Permit:** The commercial areas of the plat are over one acre in size and are also required to have a conditional use permit if they are over one acre in size or if a use is proposed that required a CUP in the Land Use Matrix for Highway -Commercial Zone. This may coincide with the Site and Architectural Plan reviews.

5. **Building Permits as per the South Weber Gateway Development Agreement:** The building permits will be reviewed as per the phasing in the South Weber Gateway Development Agreement and the dwelling units and commercial buildings will be the final development stage.

STAFF REVIEW

GATEWAY PRELIMINARY SUB	COMMENTS
<u>11-4-1</u> : Preliminary Plat And Improvement Plans	
11-4-1: PRELIMINARY PLAT AND IMPROVEMENT PLANS:	
A. Purpose: For the Administrative Land Use Authority	Completed
to complete an initial Subdivision Ordinance Review and	
an initial Subdivision Plan Review.	
B. Application Required: The Applicant shall submit	Submitted/complies
the required Preliminary Subdivision Plat Application for	

review and approval by the Administrative Land Use	
Authority.	
1. Exception: When a proposed Subdivision does not	NA
involve the development of new public infrastructure, an	
exception may be granted by the City Engineer to waive,	
in writing, the need for the review of the Preliminary	
Improvement Plans.	
C. Complete Application: An application shall be	Completed
considered complete and begin the first review cycle	
when the following items are Submitted/complies:	
1. A completed Preliminary Subdivision Plat	
Application as provided by the City.	
2. Additional studies and information as listed on the	Studies Submitted: Traffic Impact Analysis,
application form and as necessary to show feasible	Geotechnical Report,
compliance with applicable codes and regulations (see	
subsection 11-7-1D).	
3. A signed Owner-Agent Affidavit (if the Owner is	Submitted/complies
being represented by another party).	
4. Current Davis County ownership plat depicting	Submitted/complies
property proposed for subdivision and all contiguous	
property around land proposed to be subdivided.	
5. A recent Title Report covering the proposed	An updated report will be required prior
subdivided property identifying ownership, easements of	to final plat submittal.
record, liens or other encumbrances and verifies	Title and tax information confirmed.
payment of taxes and assessments.	
6. Will serve letters from all applicable service	Submitted/complies, Enbridge Gas, Rocky
providers.	Mountain Power, South Weber Water
	Improvement District
7. A digital copy of the preliminary plat as outlined	Submitted/complies
in the Public Works Standards.	
8. A digital copy of the preliminary improvement	Submitted/complies
plans to include at a minimum the following:	
a. Grading and drainage plan.	Submitted/complies
(1) Storm Drain calculations.	Submitted/complies
(2) Low Impact Design (LID) analysis and Water	Submitted/complies
Quality Report.	· ·
b. Utility plan.	Submitted/complies
(1) Payment of fees as stated in the City's current	Submitted/complies
adopted Fee Schedule.	
	1

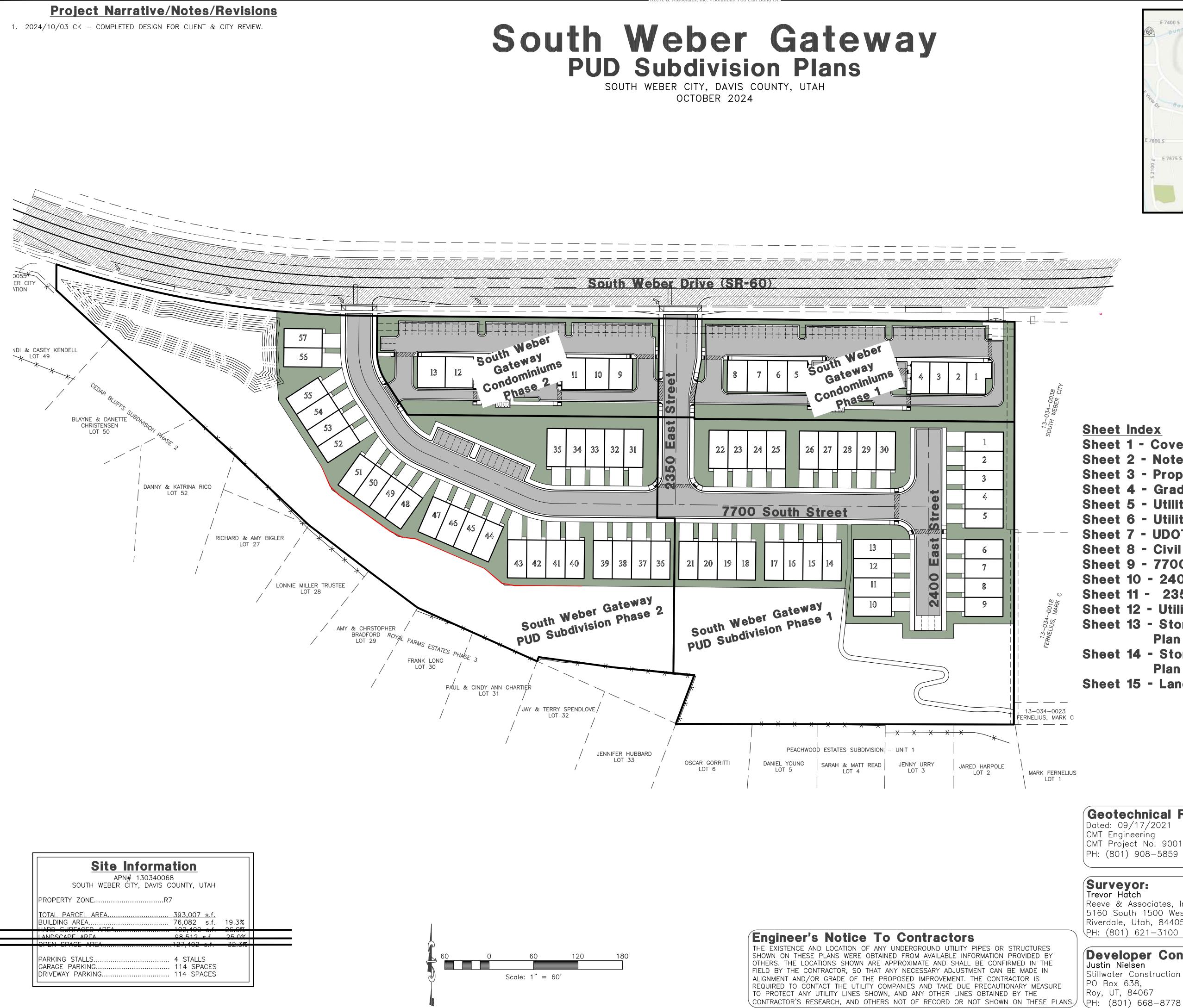
SITE PLAN

Final site plan approval will be required prior to the submittal of any building permits. Some site plan and SG overlay requirements have been addressed but the architectural and building requirements need to be addressed prior to submitting building permits.

Engineering Review:

- 1. Geotechnical Report.
 - a. The original geotechnical report was provided by CMT Engineering and is dated September 17, 2021. Updates to this report have been provided based on the various proposed development configurations by various developers over the past 3 years. Prior to final approval, an updated letter / addendum must be provided specifically addressing the current proposed layout.
 - b. A Slope / Non-Disturbance Easement is needed to protect the hillside from being compromised due to unauthorized excavation. Prior to final approval, the geotechnical engineer or geologist should determine where the line should be drawn and the easement needs to be added to the final plat.
- 2. Parking. The following shows the current proposed parking stall counts. The final proposed commercial uses may change this requirement, but we are comfortable that sufficient space has been allocated for the most intense uses.
 - a. Commercial Retail (1 stall per 200 gross sf)
 - i. Phase 1 9,096 sf = 46 req. \rightarrow 58 provided (complies)
 - ii. Phase 2 7,196 sf = 36 req. \rightarrow 52 provided (complies)
 - b. Residential Dwelling Unit (2 per unit)
 - i. Phase 1 30 units = 60 req. \rightarrow 120 provided (complies)
 - ii. Phase 2 27 units = 56 req. \rightarrow 108 provided (complies)
 - c. Multi-Family Dwelling Visitor (1 per 3 units)
 - i. Phase 1 30 units = 10 req. \rightarrow 10 provided (complies)
 - ii. Phase 2 27 units = 9 req. \rightarrow 9 provided (complies)
- 3. Phasing and unknown Commercial Uses. Since the final uses of the commercial buildings are not yet known, a complete site plan cannot be reviewed or approved yet. However, the utility lines to support the townhomes traverses commercial property. If the final requested use of these commercial buildings causes a change to what is already proposed or installed, the developer will need to make whatever revisions are necessary to accommodate and support the change (including utility lines, parking, landscaping, etc.).
- 4. Grading and Drainage Plan. The improvement plans provided demonstrate acceptable grading and drainage for preliminary approval.
 - a. The storm drain calculations provided indicate that the proposed detention basin and other drainage facilities will work.
 - b. A Water Quality Report was provided but will need to be stamped up and signed by the preparer to receive final approval.
- 5. Utility Plan. The improvement plans provided demonstrate acceptable utilities for preliminary approval.
- 6. Final Plat and Improvement Plans. The ALUA Board is responsible for reviewing the final plat and improvement plans. Approval must be received before the developer may begin construction.

Staff Recommends approval of the Gateway Preliminary Plat.



THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR CONSENT.

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 Sheet Index Sheet 1 - Cover/Index Sheet Sheet 2 - Notes/Legend/Street Cross-Section Sheet 3 - Proposed Site Plan Sheet 4 - Grading & Drainage Plan Sheet 5 - Utility Plan Sheet 6 - Utility Outfall & Detention Basin Sheet 7 - UDOT Striping Plan Sheet 9 - 7700 South Street - 1+00.00-11+00.00 Sheet 10 - 2400 East Street - 0+50.00-4+00.00 Sheet 11 - 2350 East Street - 1+00.00-4+45.00 Sheet 12 - Utility Outfall - 0+00.00 - 9+50.00 Sheet 13 - Storm Water Pollution Prevention Plan Exhibit Sheet 14 - Storm Water Pollution Prevention Plan Details Sheet 15 - Landscape Plan 	Reve & Associates, Inc Solutions You Can Build On South Weber Gateway PUD Subdivision Plans SOUTH WEBER CITY, DAVIS COUNTY, UTAH SOUTH WEBER CITY, DAVIS COUNTY, UTAH
LUS Geotechnical Report: Dated: 09/17/2021 CMT Engineering CMT Project No. 900166 PH: (801) 908-5859 Know what's below. Call before you dig.	PROFESSIONAL BY5328 J. NATE REEVE ON O3 / 2024
Surveyor: Trevor Hatch Reeve & Associates, Inc. 5160 South 1500 West Riverdale, Utah, 84405 PH: (801) 621-3100Landscape Architect: Nathan Peterson Reeve & Associates, Inc. 5160 South 1500 West Riverdale, Utah, 84405 PH: (801) 621-3100Developer Contact: Justin Nielsen Stillwater Construction PO Box 638, Roy, UT, 84067Project Contact: Nate Reeve Reeve & Associates, Inc. 5160 South 1500 West Riverdale, Utah, 84405 PH: (801) 621-3100	Project Info. Engineer: J. NATE REEVE, P.E. Drafter: C. KINGSLEY Begin Date: OCTOBER 2024 Name: SOUTH WEBER GATEWAY PUD SUBDIVISION PLANS Number: 7037-12
ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.	15 Total Sheets

17 of 31

General Notes:

- 1. ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: GOVERNING UTILITY MUNICIPALITY, GOVERNING CITY OR COUNTY (IF UN-INCORPORATED), INDIVIDUAL PRODUCT MANUFACTURERS, AMERICAN PUBLIC WORKS ASSOCIATION (APWA), AND THE DESIGN ENGINEER. THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- 2. CONTRACTOR TO STRICTLY FOLLOW GEOTECHNICAL RECOMMENDATIONS FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT. FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, RETAINING WALLS AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH THE PROJECT GEOTECHNICAL ENGINEER.
- 3. TRAFFIC CONTROL, STRIPING & SIGNAGE TO CONFORM TO CURRENT GOVERNING AGENCIES TRANSPORTATION ENGINEER'S MANUAL AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. 4. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO
- OWNER
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION. 6. AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN. SMOOTH EDGE.
- 7. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- 8. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- 9. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION. 10. ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY
- CONTROLLING THE ROAD, INCLUDING OBTAINING REQUIRED INSPECTIONS. 11. ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
- 12. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND 13. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH BY THE GEOTECHNICAL ENGINEER.
- 14. CATCH SLOPES SHALL BE GRADED AS SPECIFIED ON GRADING PLANS.
- 15. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FLAGGING, CAUTION SIGNS, LIGHTS, BARRICADES, FLAGMEN, AND ALL OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
- 16. CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT. BE LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY
- ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS. 17. CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY HIMSELF BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS HE MAY PREFER OF THE LOCATIONS OF THE PROPOSED WORK AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK. IF, DURING THE COURSE OF HIS EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO HIM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, HE SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING HIS BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, HE HAS RELIED AND IS RELYING ON HIS OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON HIS OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT HE HAS NOT RELIED SOLELY UPON OWNER- OR ENGINEER-FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING HIS BID.
- 18. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION. 19. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE
- OWNER, ENGINEER, AND/OR GOVERNING AGENCIES. 20. CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR
- UNNECESSARY LOSS OR DISTURBANCE. 21. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE
- OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY. REAL OR ALLEGED. IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER. 22. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- 23. IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS
- 24. WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY. 25. CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION
- AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED, WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE
- 26. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL. IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE HIGHEST QUALITY ARE TO BE USED
- 27. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THE TRUE INTENT AND PURPOSE OF THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS IN THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT, CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
- 28. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO TIE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING. 29. CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4 FEET OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH. THE
- CONTRACTOR SHALL COMPLY WITH LOCAL, STATE AND NATIONAL SAFETY CODES, ORDINANCES. OR REQUIREMENTS FOR EXCAVATION AND TRENCHES 30. ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM

Utility Notes:

DAMAGE

- 1. CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE SERVICE, GAS SERVICE, CABLE, POWER, INTERNET.
- 2. EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS USING A COMBINATION OF ON-SITE SURVEYS (BY OTHERS). PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD, THEIR MAIN AND SERVICE LINES 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT. 3. CONTRACTOR SHALL POT HOLE ALL UTILITIES TO DETERMINE IF CONFLICTS EXIST PRIOR TO BEGINNING ANY EXCAVATION. NOTIFY
- ENGINEER OF ANY CONFLICTS. CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING UTILITIES TO WHICH NEW UTILITIES WILL BE CONNECTED. PRIOR TO COMMENCING ANY EXCAVATION WORK THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE REQUIRED PROCEDURES. 4. CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED
- WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT HIS EXPENSE. ALL VALVES AND MANHOLE COVERS SHALL BE RAISED OR LOWERED TO MEET FINISHED GRADE.
- CONTRACTOR SHALL CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE. CONTRACTOR SHALL GROUT AT CONNECTION OF PIPE TO BOX WITH NON-SHRINKING GROUT, INCLUDING PIPE VOIDS LEFT BY
- CUTTING PROCESS, TO A SMOOTH FINISH. 8. CONTRACTOR SHALL GROUT WITH NON-SHRINK GROUT BETWEEN GRADE RINGS AND BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX
- 9. SILT AND DEBRIS IS TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION. 10. CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS
- 11. EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DE-WATERED CONDITIONS.
- 12. CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION. 13. MAINTAIN A MINIMUM 18" VERTICAL SEPARATION DISTANCE BETWEEN ALL UTILITY CROSSINGS.
- 14. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES. 15. ALL BOLTED FITTINGS MUST BE GREASED AND WRAPPED.
- 16. UNLESS SPECIFICALLY NOTED OTHERWISE, MAINTAIN AT LEAST 2 FEET OF COVER OVER ALL STORM DRAIN LINES AT ALL TIMES (INCLUDING DURING CONSTRUCTION). 17. ALL WATER LINES SHALL BE INSTALLED A MINIMUM OF 60" BELOW FINISHED GRADE.
- 18. ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, PIPE EDGE TO PIPE EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, THE SEWER LINE AND WATER LINE SHALL BE LAID IN SEPARATE TRENCHES AND THE BOTTOM OF THE WATER LINE SHALL BE AT LEAST 18" ABOVE THE TOP OF THE SEWER LINE. 19. CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- 20. ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB. GUTTER, SIDEWALK AND STREET PAVING. 21. CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.
- 22. THRUST BLOCKS & RESTRAINED JOINTS WITH MEGA-LUG ADAPTERS REQUIRED ON ALL BENDS AND FITTINGS USING BLUE BOLTS.

PROTECT ALL BOLTS FROM BEING ENCASED IN CONCRETE. INSTALL PER MANUFACTURER RECOMMENDATIONS.

Notice to Contractor:

THE CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS: AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

SAWCUT EXISTING ASPHALT INSIDE FROM OUTER EDGE FOR TACK SEAL OF NEW ASPHALT CONTRACTOR TO VERIFY 2% MIN. AND 5% MAX SLOPE FROM EDGE OF ASPHALT TO LIP OF GUTTER

Survey Control Note:

THE CONTRACTOR OR SURVEYOR SHALL BE RESPONSIBLE FOR FOLLOWING THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS (NSPS) MODEL STANDARDS FOR ANY SURVEYING OR CONSTRUCTION LAYOUT TO BE COMPLETED USING REEVE & ASSOCIATES, INC. SURVEY DATA OR CONSTRUCTION IMPROVEMENT PLANS. PRIOR TO PROCEEDING WITH CONSTRUCTION STAKING, THE SURVEYOR SHALL BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON AN ALTA SURVEY, IMPROVEMENT PLAN, OR ANY ELECTRONIC DATA PROVIDED. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN FIVE (5) EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED. IF ANY DISCREPANCIES ARE ENCOUNTERED. THE SURVEYOR SHALL IMMEDIATELY NOTIFY REEVE & ASSOCIATES, INC. AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION STAKING.

Erosion Control General Notes:

THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.

TO THE CONTOURS.

ACCOMMODATE PROJECT PLANNING.

ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A "NOTICE OF INTENT" WITH THE GOVERNING AGENCIES.

Maintenance:

THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.

EXPOSED SLOPES:

ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS: A) SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED B) TRACKING STRAW PERPENDICULAR TO SLOPES C) INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

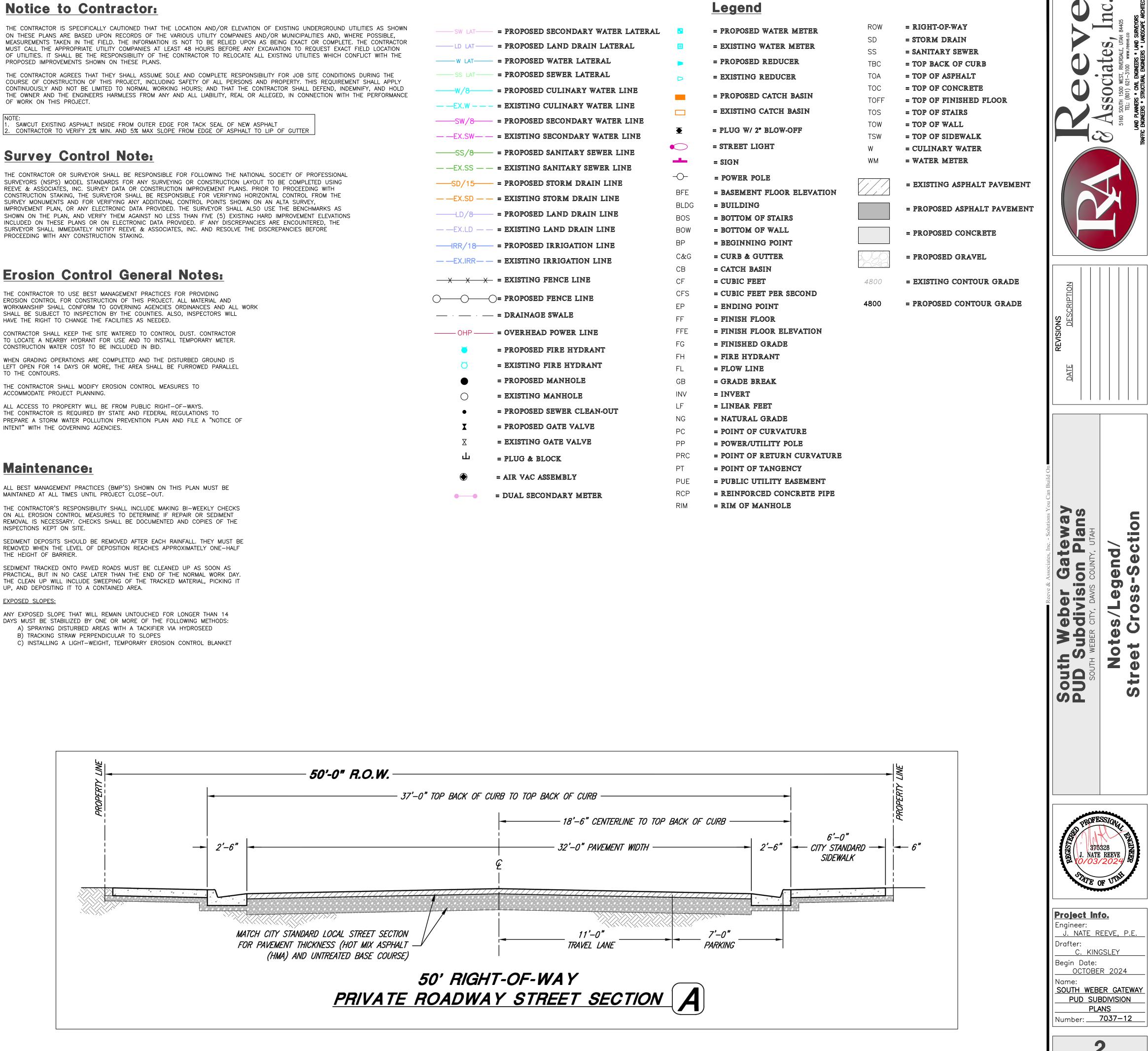
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WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO

UP, AND DEPOSITING IT TO A CONTAINED AREA.

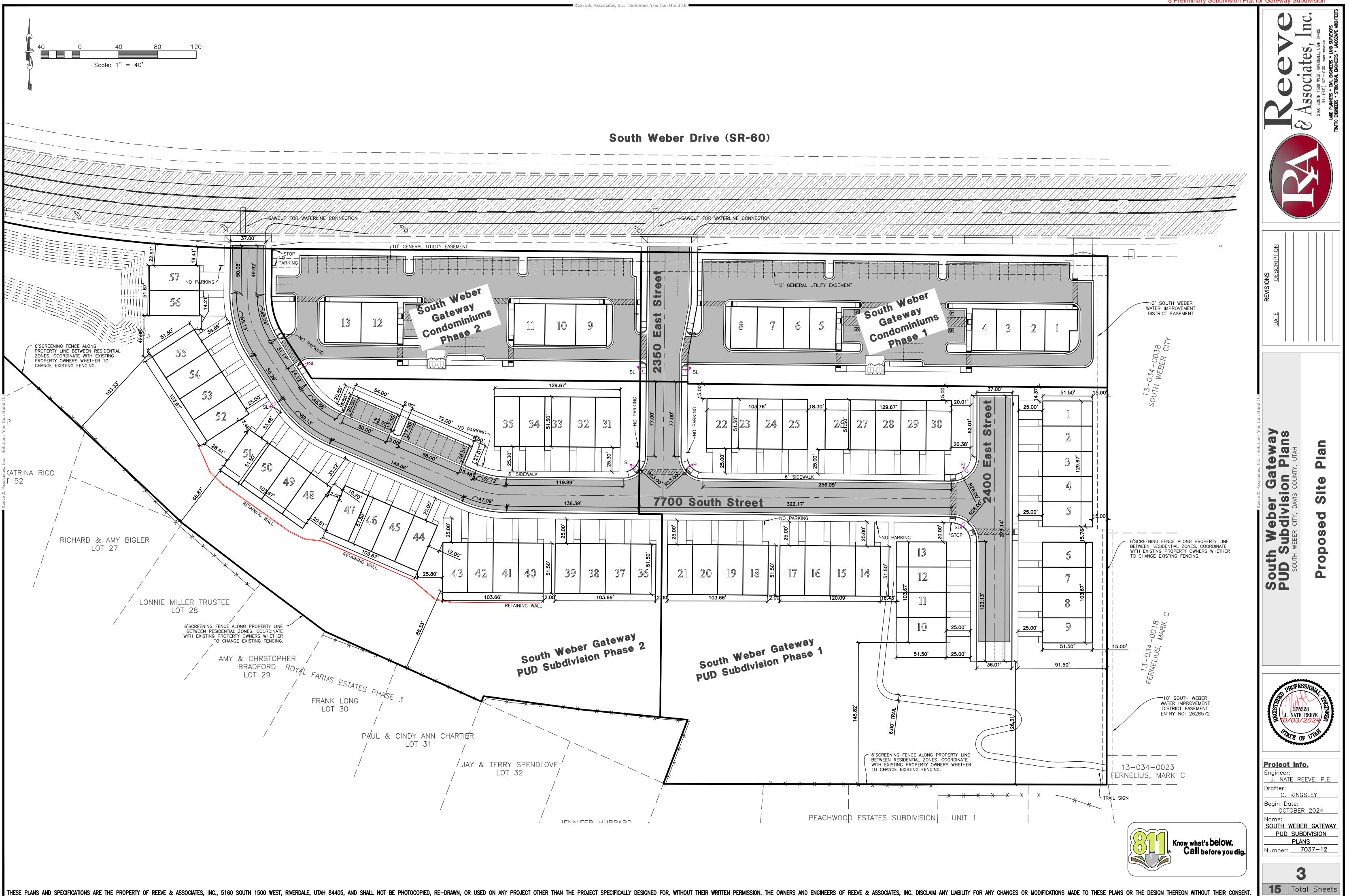
	PROPOSED SECONDARY WATER LATER
LD LAT =	PROPOSED LAND DRAIN LATERAL
	PROPOSED WATER LATERAL
SS_LAT =	PROPOSED SEWER LATERAL
W/8 =	PROPOSED CULINARY WATER LINE
— — EX.W — — — =	EXISTING CULINARY WATER LINE
SW/8 =	PROPOSED SECONDARY WATER LINE
— —EX.SW— — =	EXISTING SECONDARY WATER LINE
SS/8 =	PROPOSED SANITARY SEWER LINE
— —EX.SS — — =	EXISTING SANITARY SEWER LINE
SD/15 =	PROPOSED STORM DRAIN LINE
— —EX.SD — — =	EXISTING STORM DRAIN LINE
LD/8 =	PROPOSED LAND DRAIN LINE
— —EX.LD — — =	EXISTING LAND DRAIN LINE
	PROPOSED IRRIGATION LINE
— —EX.IRR— — =	EXISTING IRRIGATION LINE
— <u>X X X</u> =	EXISTING FENCE LINE
	PROPOSED FENCE LINE
· • =	DRAINAGE SWALE
OHP =	OVERHEAD POWER LINE
i =	PROPOSED FIRE HYDRANT
σ =	EXISTING FIRE HYDRANT
• =	PROPOSED MANHOLE
O =	EXISTING MANHOLE
• =	PROPOSED SEWER CLEAN-OUT
X =	PROPOSED GATE VALVE
Χ =	EXISTING GATE VALVE
ப் <u>-</u>	PLUG & BLOCK
• =	AIR VAC ASSEMBLY
	DUAL SECONDARY METER



8 Preliminary Subdivision Plat for Gateway Subdivision

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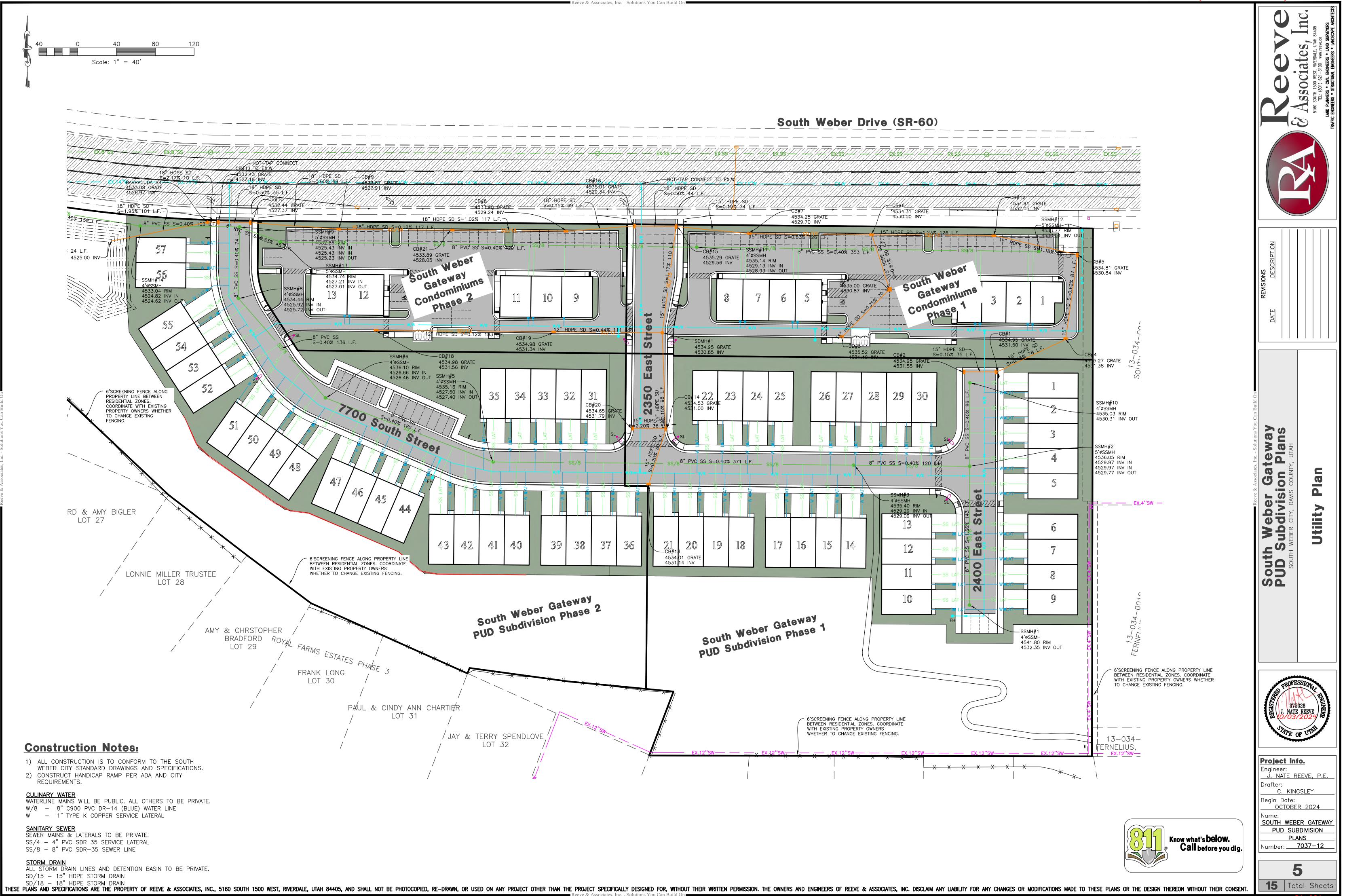
15 Total Sheets

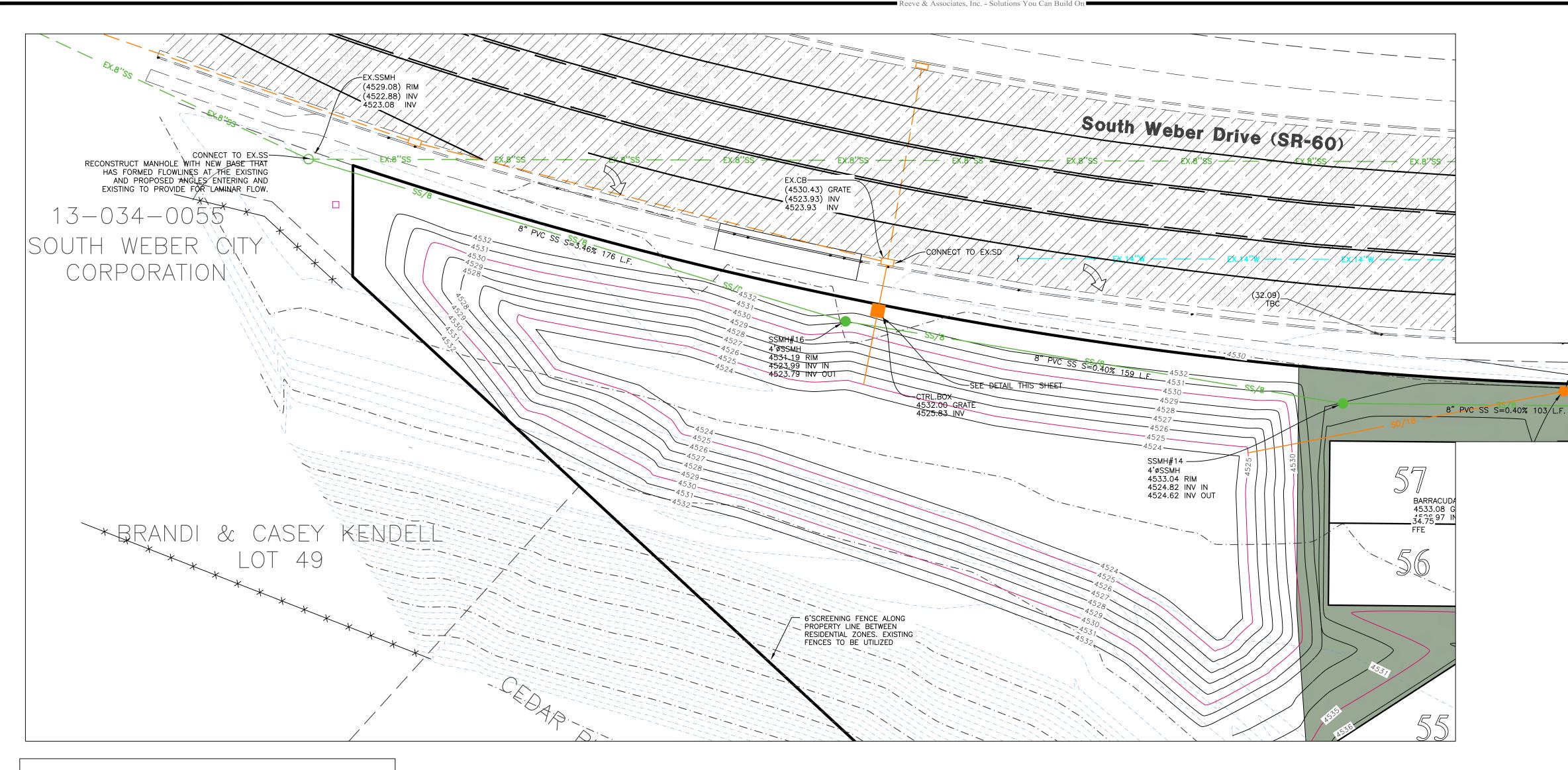




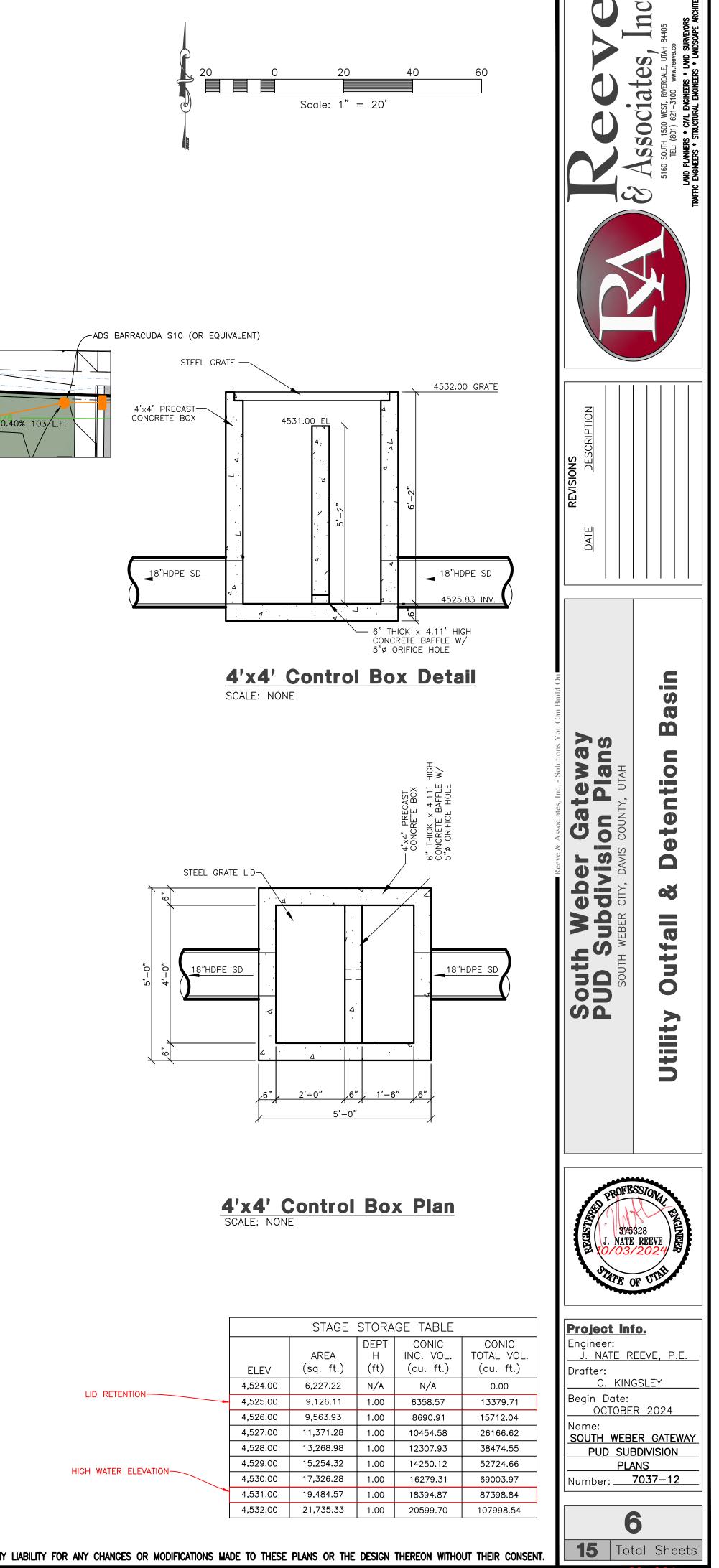


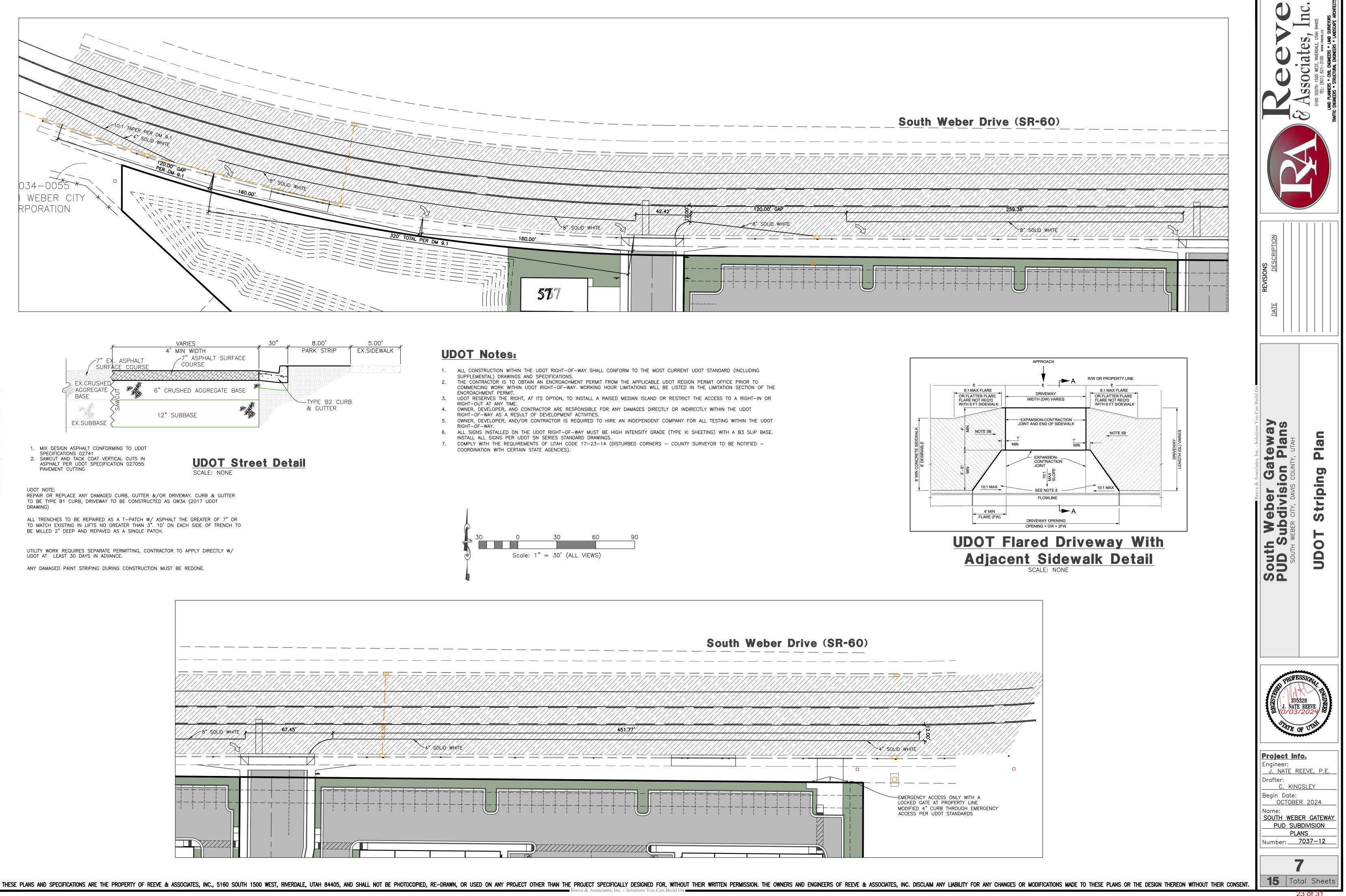
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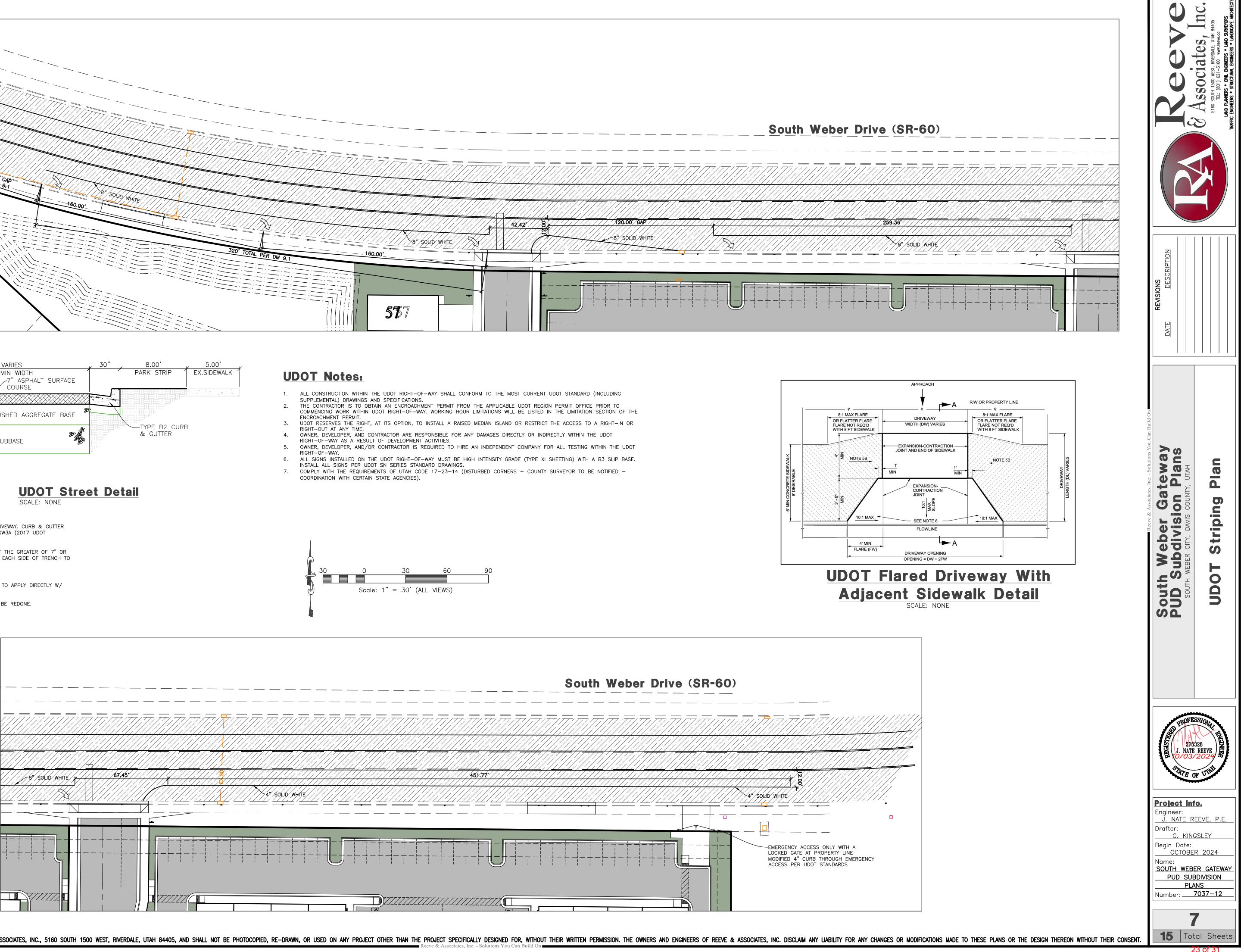




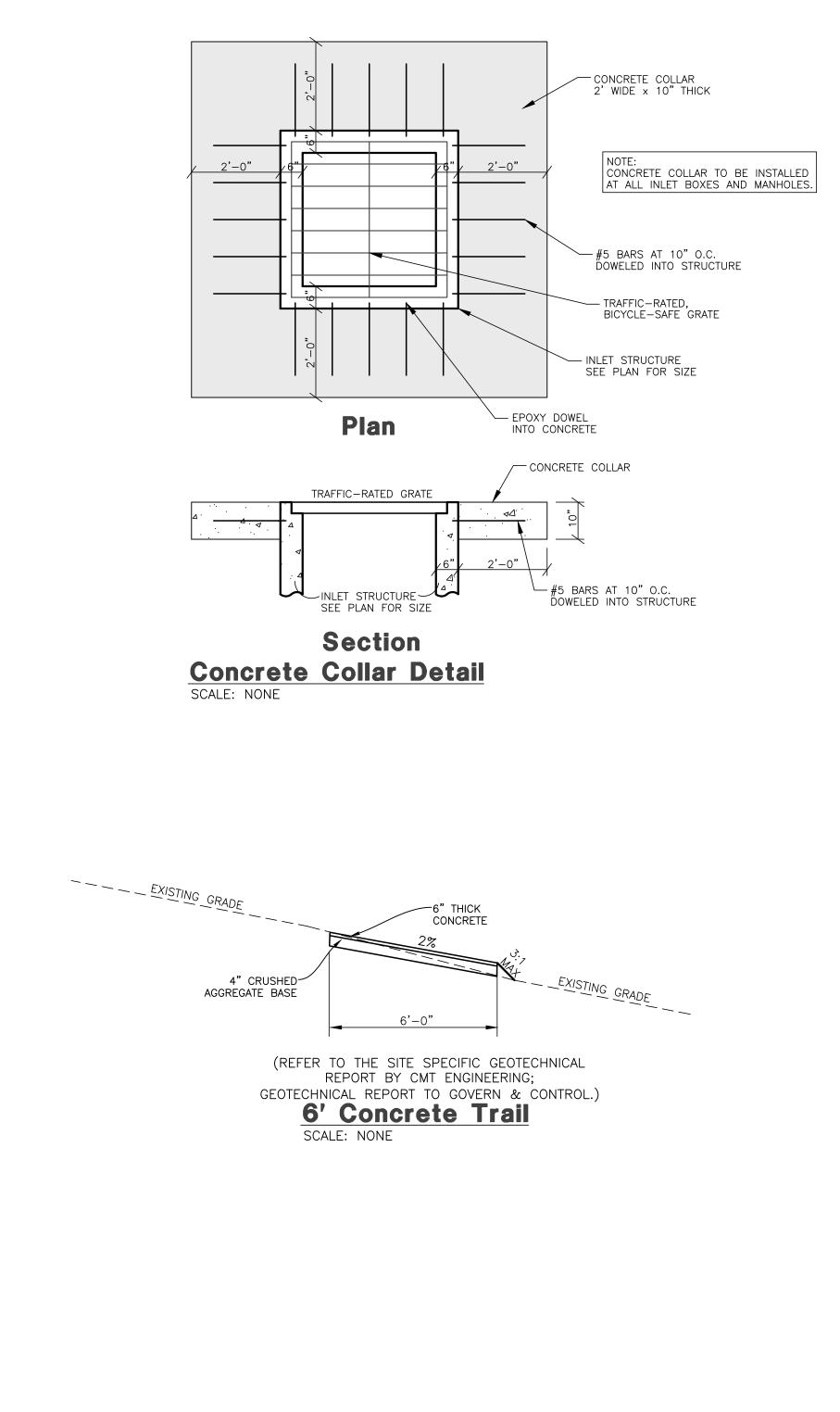
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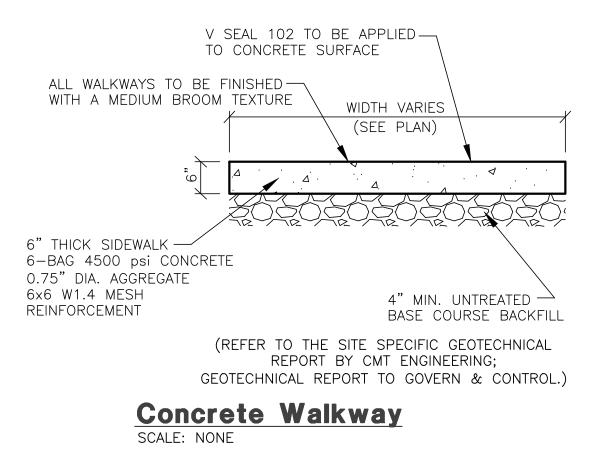




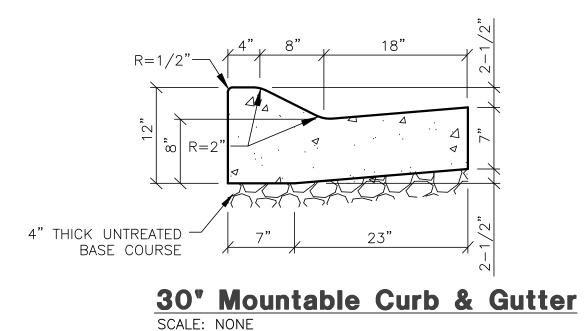


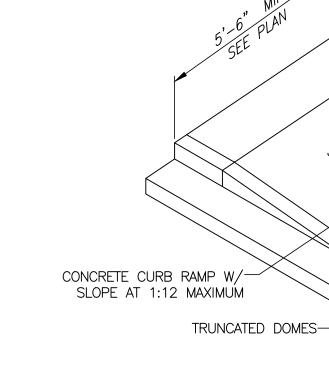
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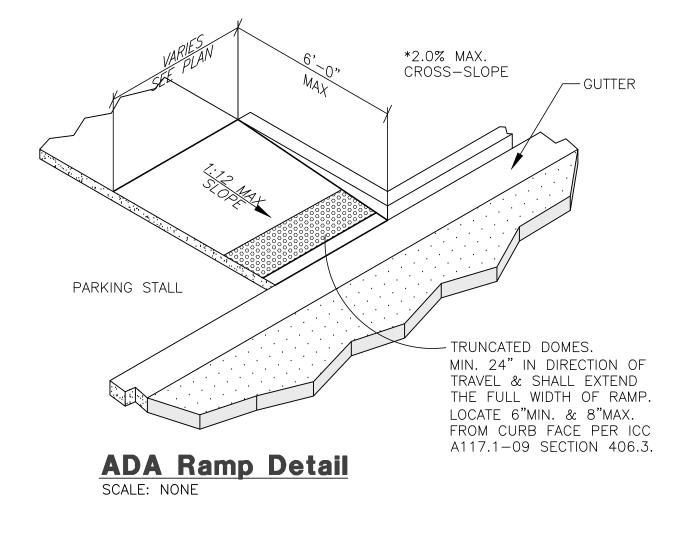


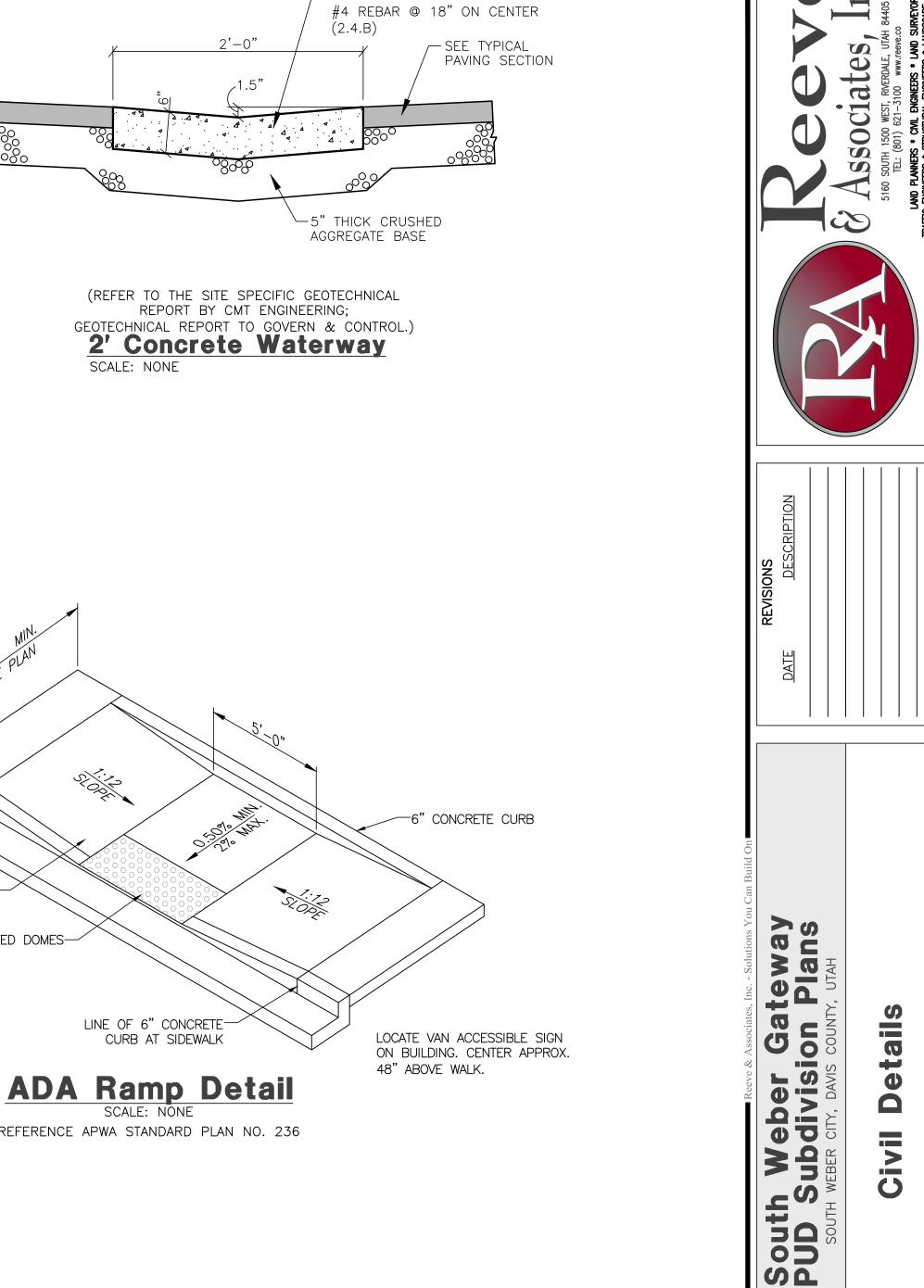


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6-BAG 4500 psi CONCRETE

- 0.75" DIA. AGGREGATE

8 Preliminary Subdivision Plat for Gateway Subdivision

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REFERENCE APWA STANDARD PLAN NO. 236

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375328 NATE REEVE

<u>J. NATE REEVE, P.E.</u>

C. KINGSLEY

OCTOBER 2024

SOUTH WEBER GATEWAY PUD SUBDIVISION PLANS Number: 7037-12

8

15 Total Sheets

Project Info.

Engineer:

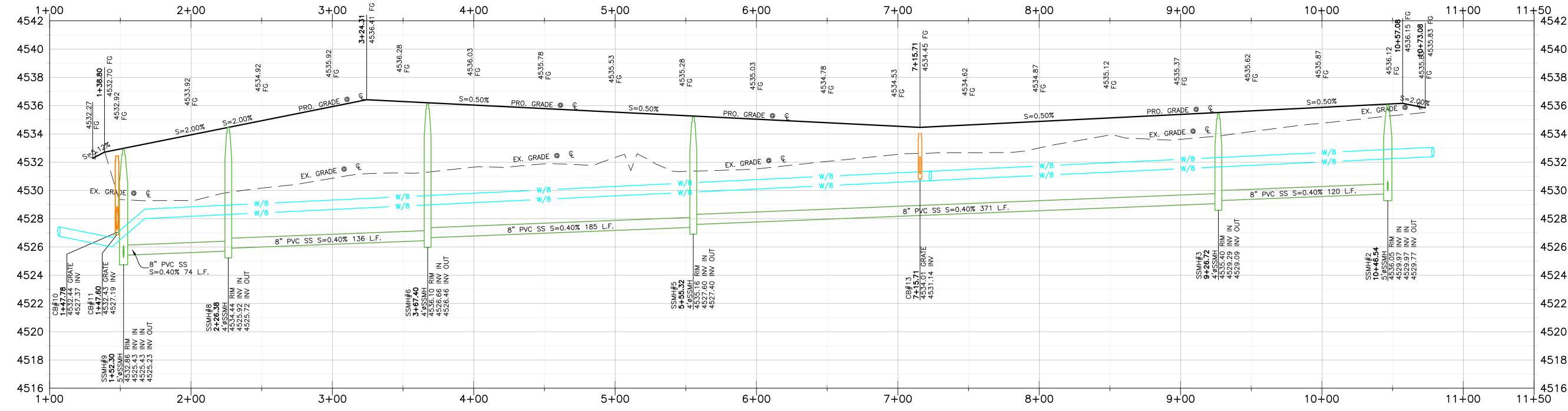
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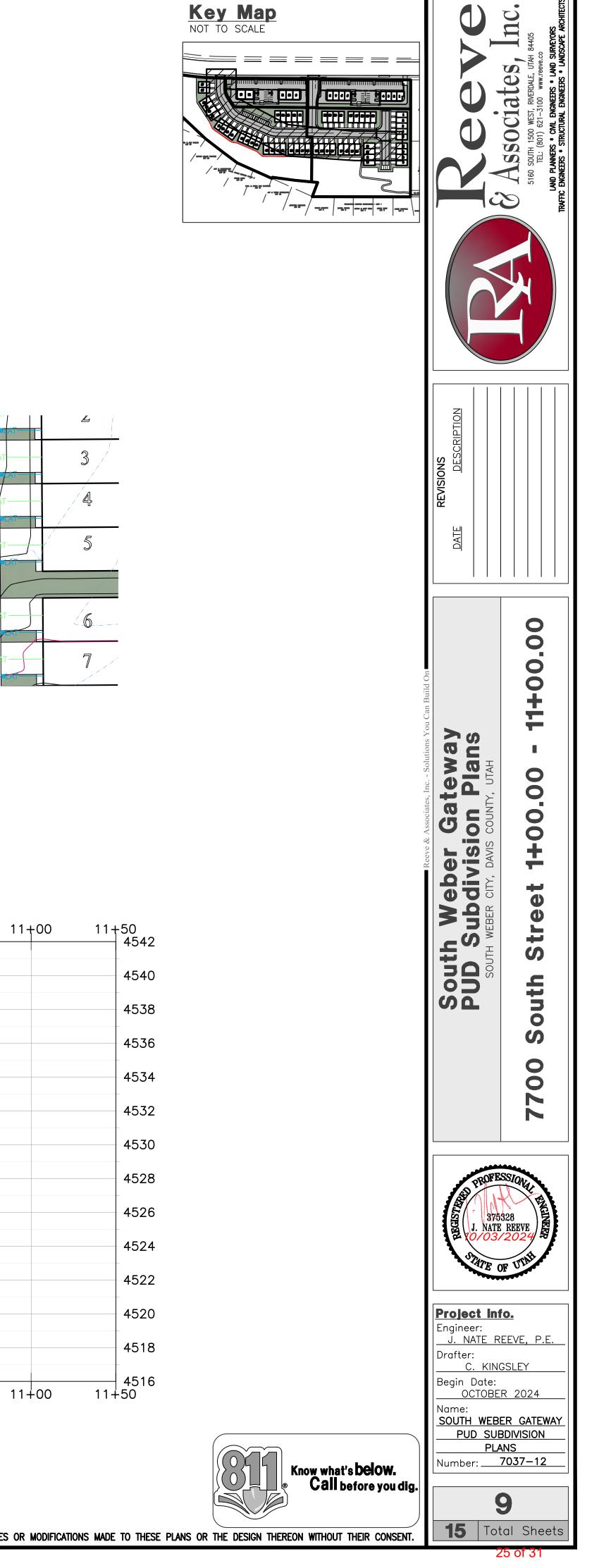


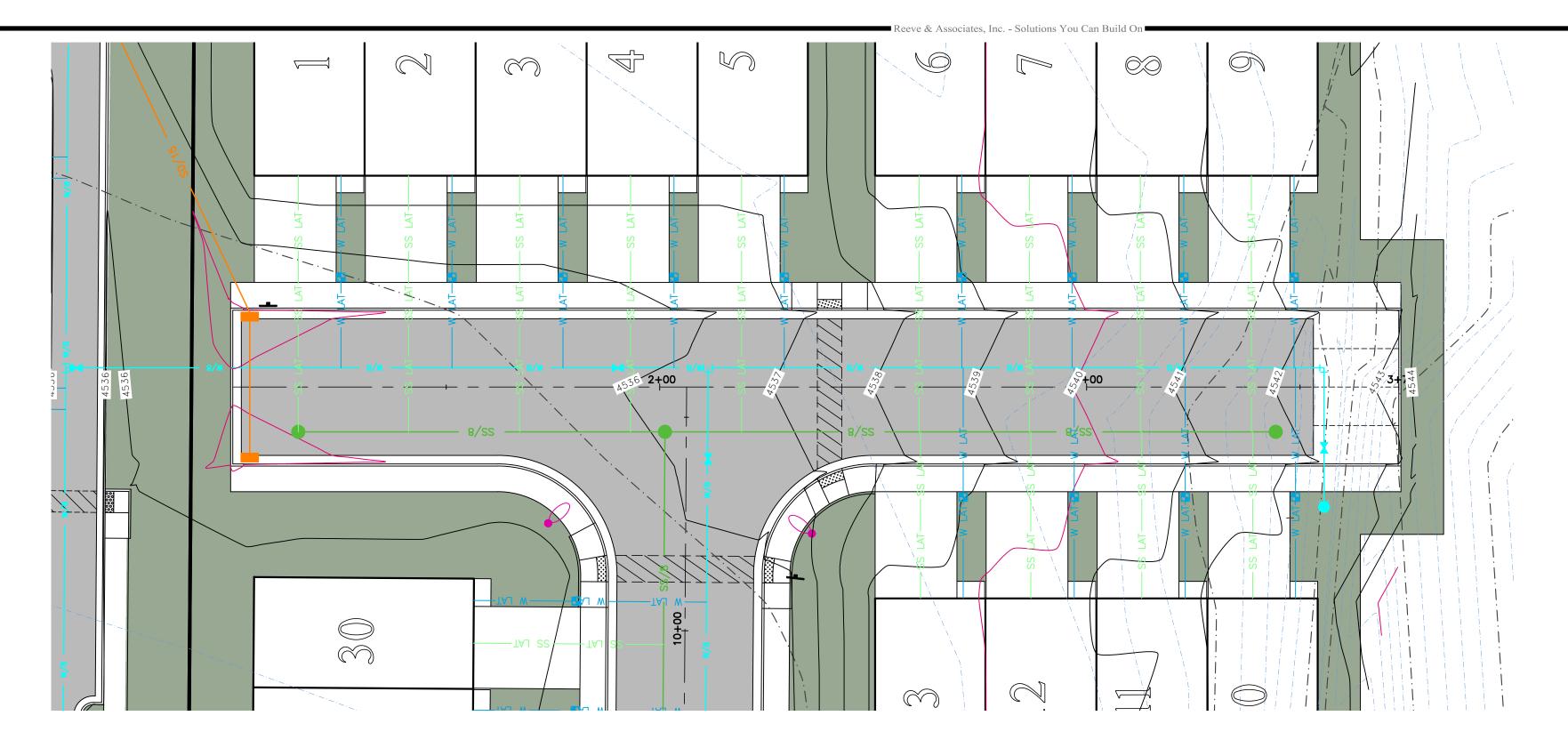


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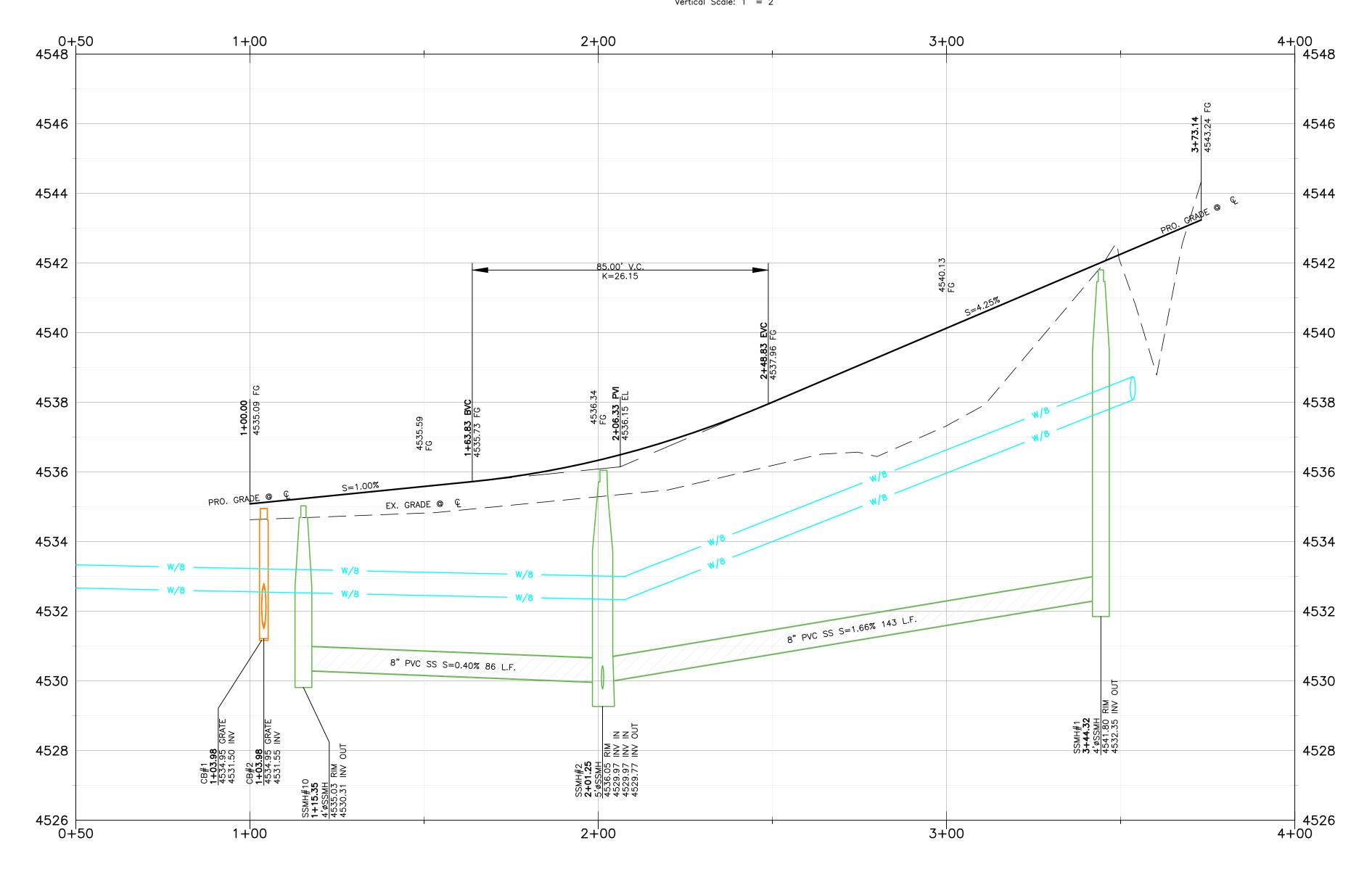
Horizontal Scale: 1" = 40' Vertical Scale: 1" = 4'







20



2400 East Street 0+50.00 - 4+00.00

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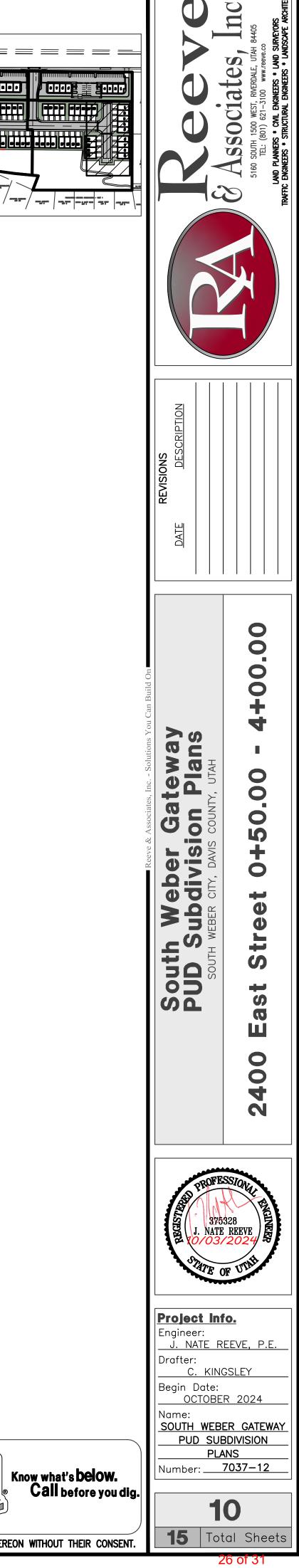
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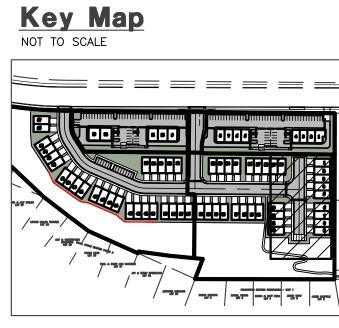
Horizontal Scale: 1" = 20' Vertical Scale: 1" = 2'

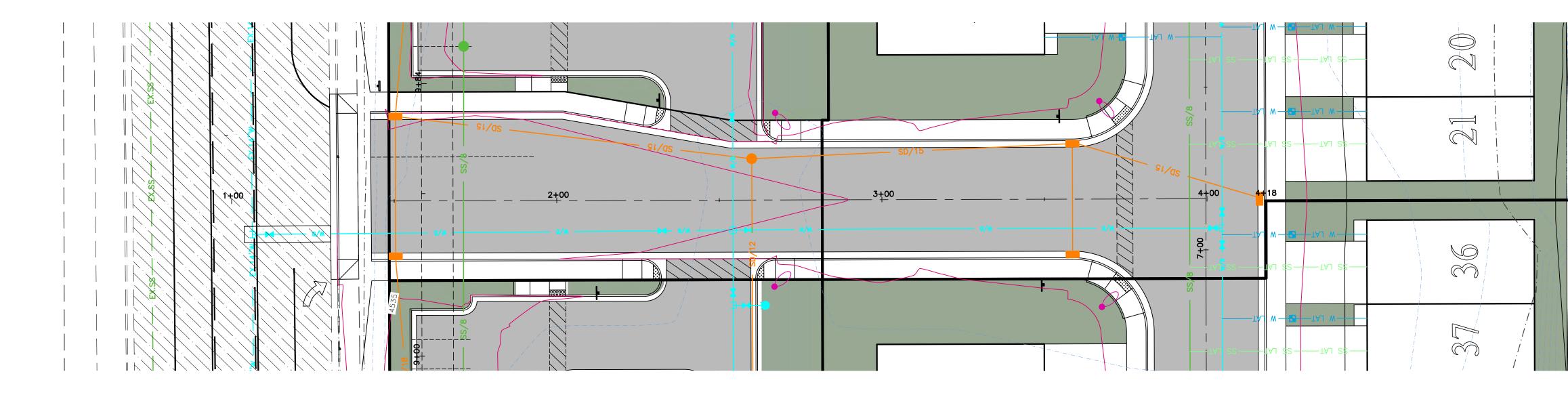
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8 Preliminary Subdivision Plat for Gateway Subdivision

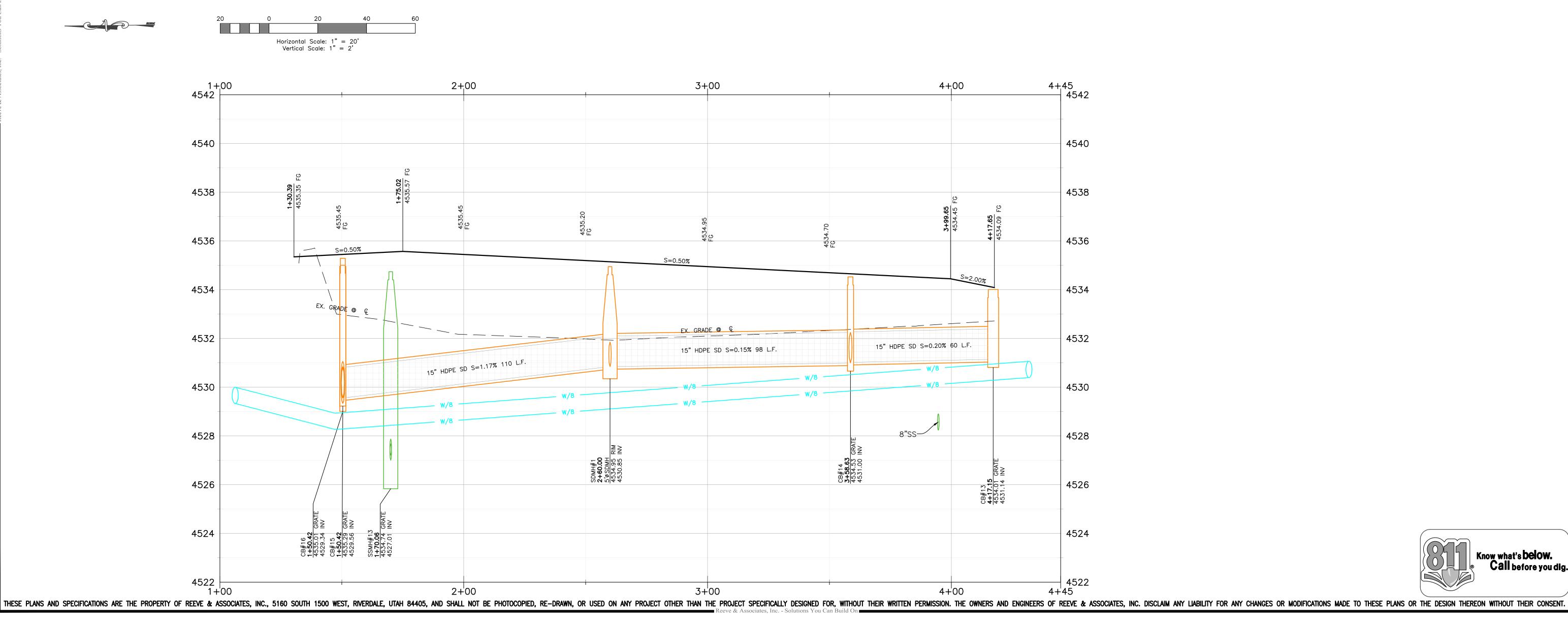


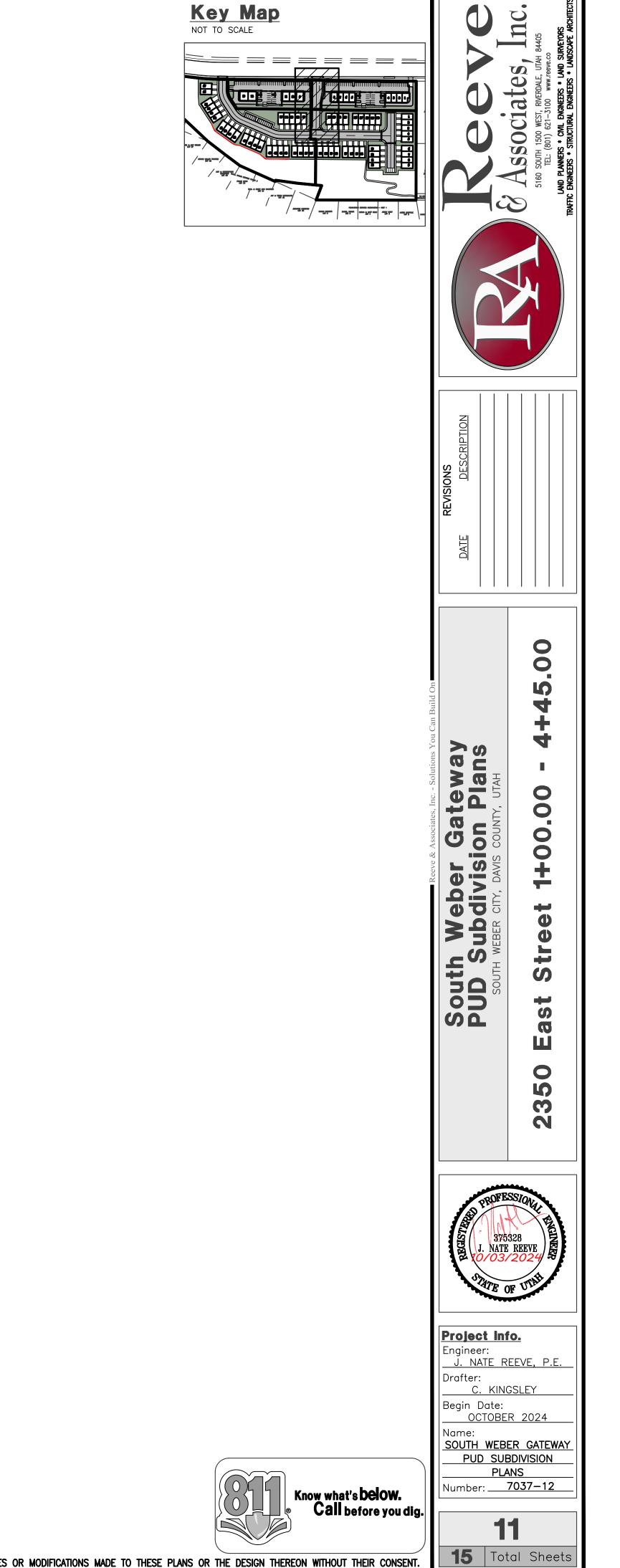




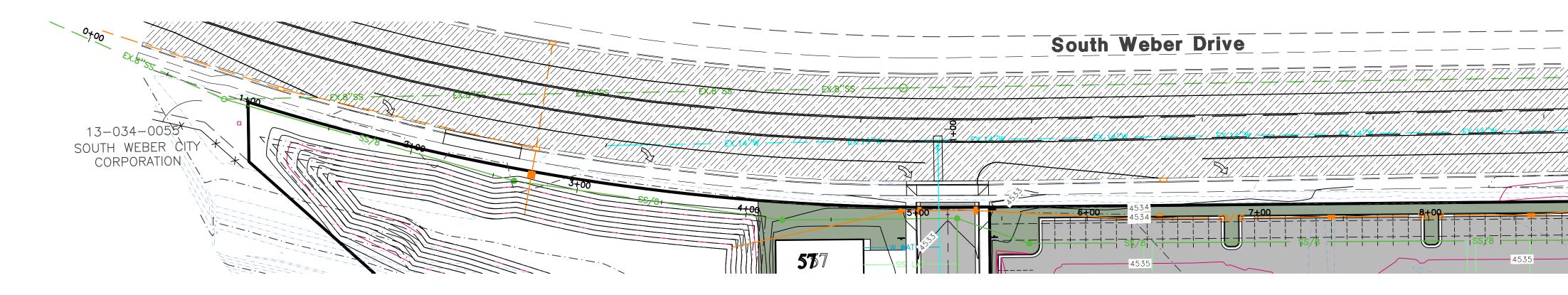
eeve & Associates, Inc. - Solutions You Can Build O

2350 East Street 1+00.00 - 4+45.00

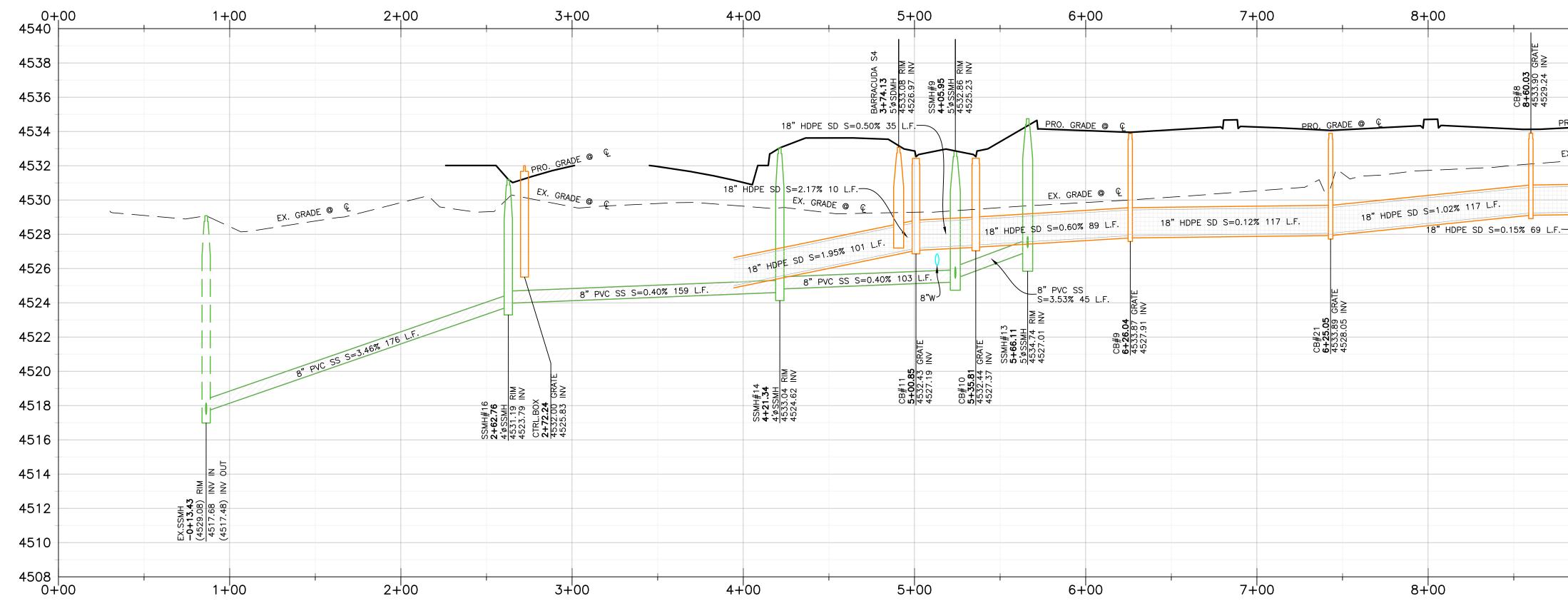




8 Preliminary Subdivision Plat for Gateway Subdivision

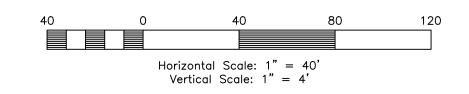


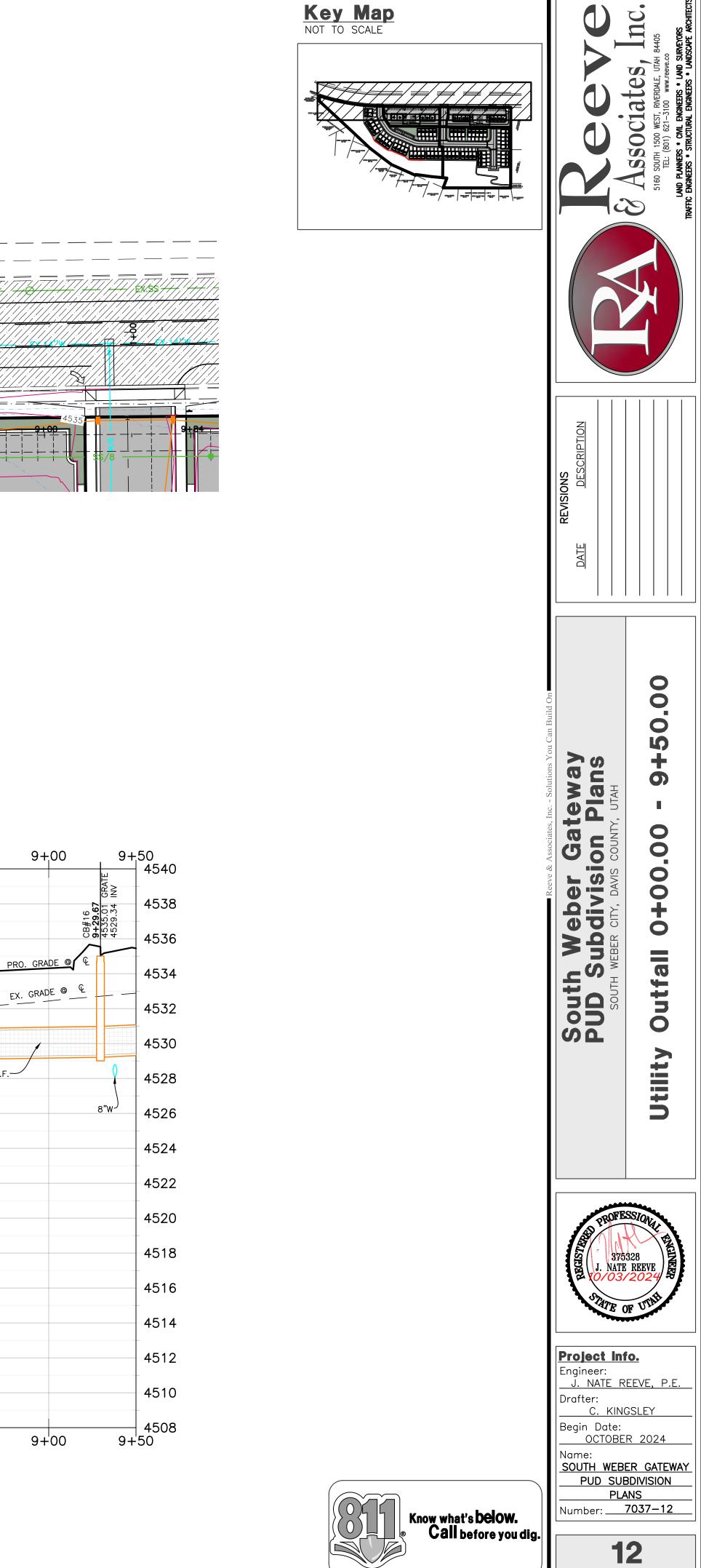




Utility Outfall 0+00.00 - 9+50.00

ve & Associates, Inc. - Solutions You Can Buil

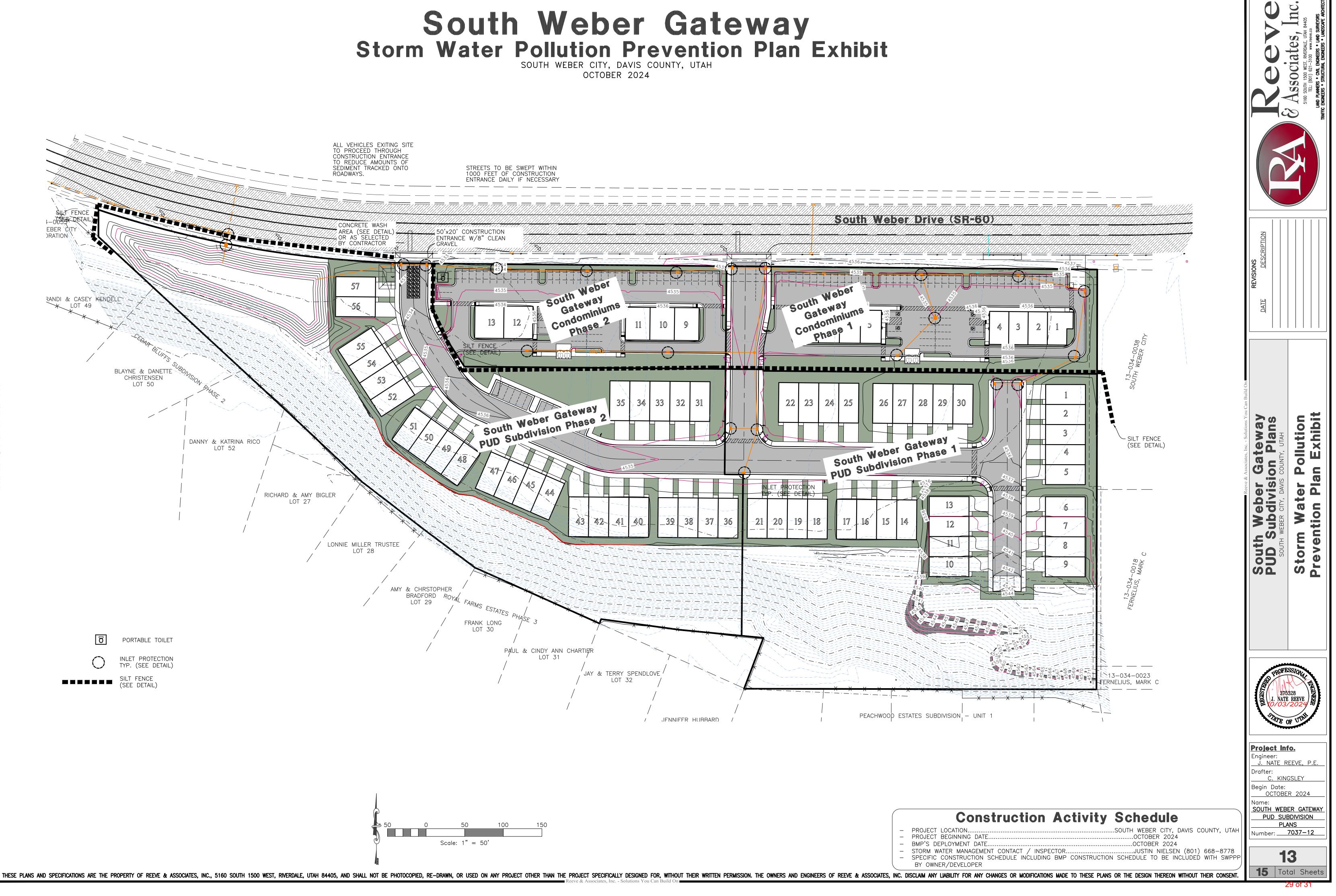




8 Preliminary Subdivision Plat for Gateway Subdivision

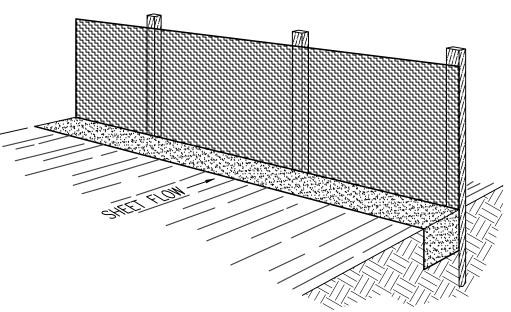
15 Total Sheets

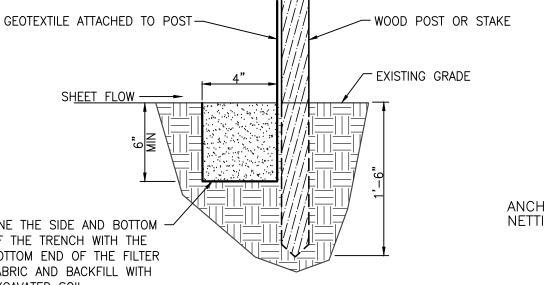




Notes:

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 Locate 6 She fuel storage tonis within a permed neel cegined to fait the tank volume. Cover volume and with or importuois material and in the import to ensure that any spills will be the use of places for any of or fuld change. Warning. Los of places for any of or fuld change. Warning. Los as little water as possible to devid installing ension and settimed cathrels for the water three. If example installing ensits of the volume is applied by the provided set prevent water water water three. He could be the volume is a possible to devid installing ension and settimed cathrels for the water three. He phasentical converts the volume isoty of the prevent water water water three. He phasentical converts the volume isoty of the part of the volume. Warning. De to be partiel them elleving on-site. Spill Prevention and Control Whore spills are those which are likely to be controlled by on-site personnel. After controlling local emergency response generics. Its following actions build occur upon tickcevery of a minor spill. Control the spinot of the spill. Control the spinot of the spill. Control the spinot of the spill. If the spill accurs in did areas, immediatey control the spill by constructing an earth dike. Dig up and proper discover to control-table spills. Meight Spills.<td>b.</td><td>Fueling</td>	b.	Fueling
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 storm water, creak, ivers, and other water bodies. Use prophote-free, bioecgradobia segue. Do not servit steem cleaning on-site. Winor Spills: Minor Spills: and footnote. Winor Spills: and these which are likely to be centrolled by on-site personnel. After contacting local emergency response operates, the following octions should occur upon discovery of a minor spill. Control the stand of the spinl. If the sind occurs of the sind of the spinl. If the spinl occurs of of the oreal, impermeable surfaces, clean up using "dry" methods (i.e. obsorbent methods of the spinl. If the spinl occurs of oft oreas, immediately control the spinl by constructing on earth dike. Dig up and proper dispose of contominated soil. If the spinl occurs during rain, cover the impected area to avoid runolf. Record all status token to report and control motion spinls. On sole occurs often and the spinle. For spinle of federal reportable conflices, clean notified emergency response otor flow arrived of the spinle. For spinle of rederal reportable conflices, often on the spinle occurs often and the spinle occurs of the spin	с.	- Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
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50'x20' CONSTRUCTION ENTRANCE	b.	Part II.D.4.C identifies the minimum inspection report requirements. Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR
KOKOKUXXXQOKAU	_	50'x20' CONSTRUCTION ENTRANCE
W/8" CLEAN 2"-4" Ø GRAVEL BASE		W/8" CLEAN 2"-4" Ø GRAVEL BASE





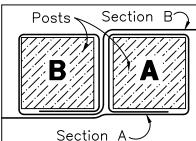
Reeve & Associates, Inc. - Solutions You Can Build On

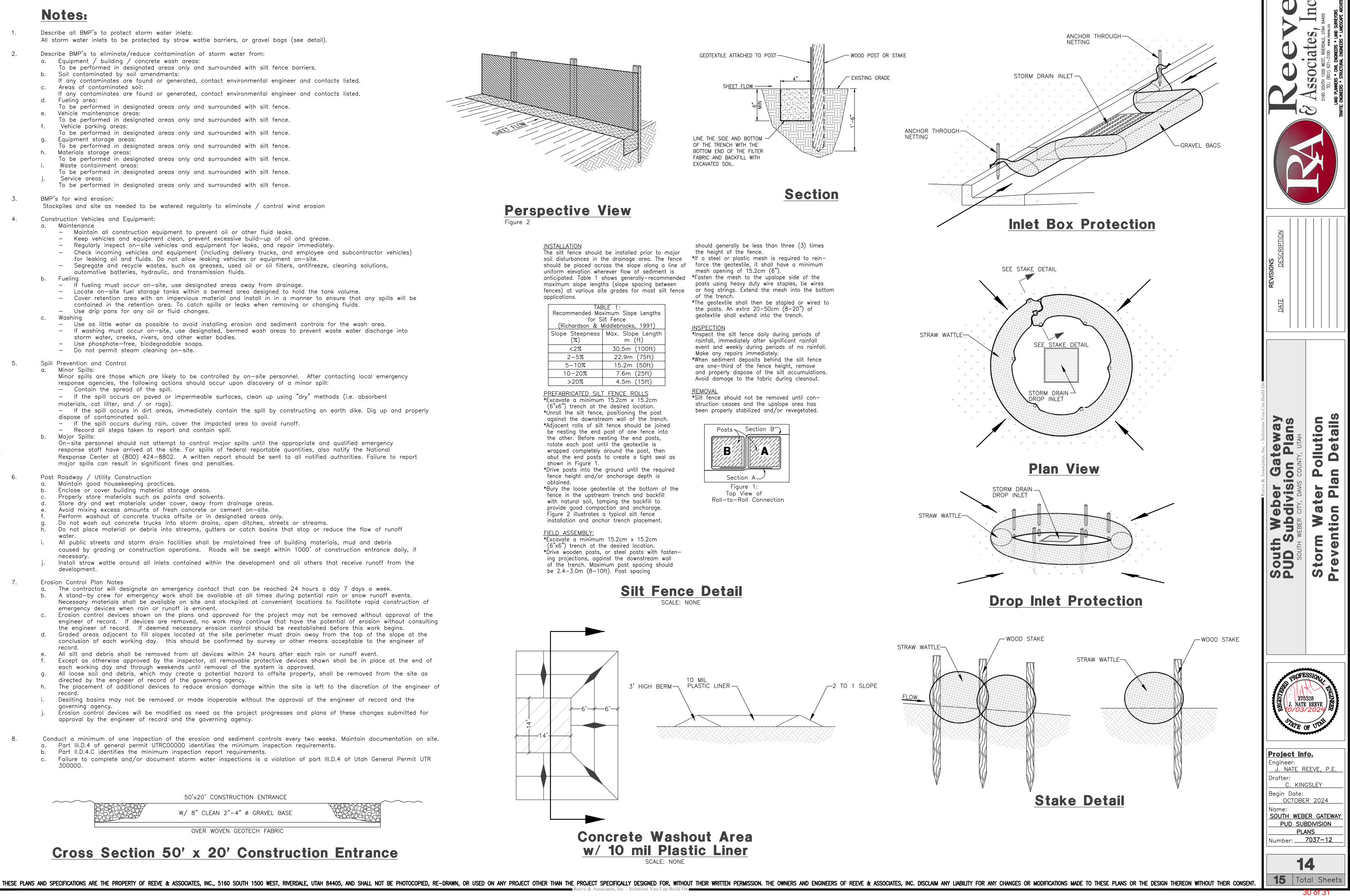
Recommended Mai	BLE 1: ximum Slope Lengths ilt Fence
(Richardson & M	/liddlebrooks, 1991)
Slope Steepness (%)	Max. Slope Length m (ft)
<2%	30.5m (100ft)
2-5%	22.9m (75ft)
5-10%	15.2m (50ft)
10-20%	7.6m (25ft)
>20%	4.5m (15ft)

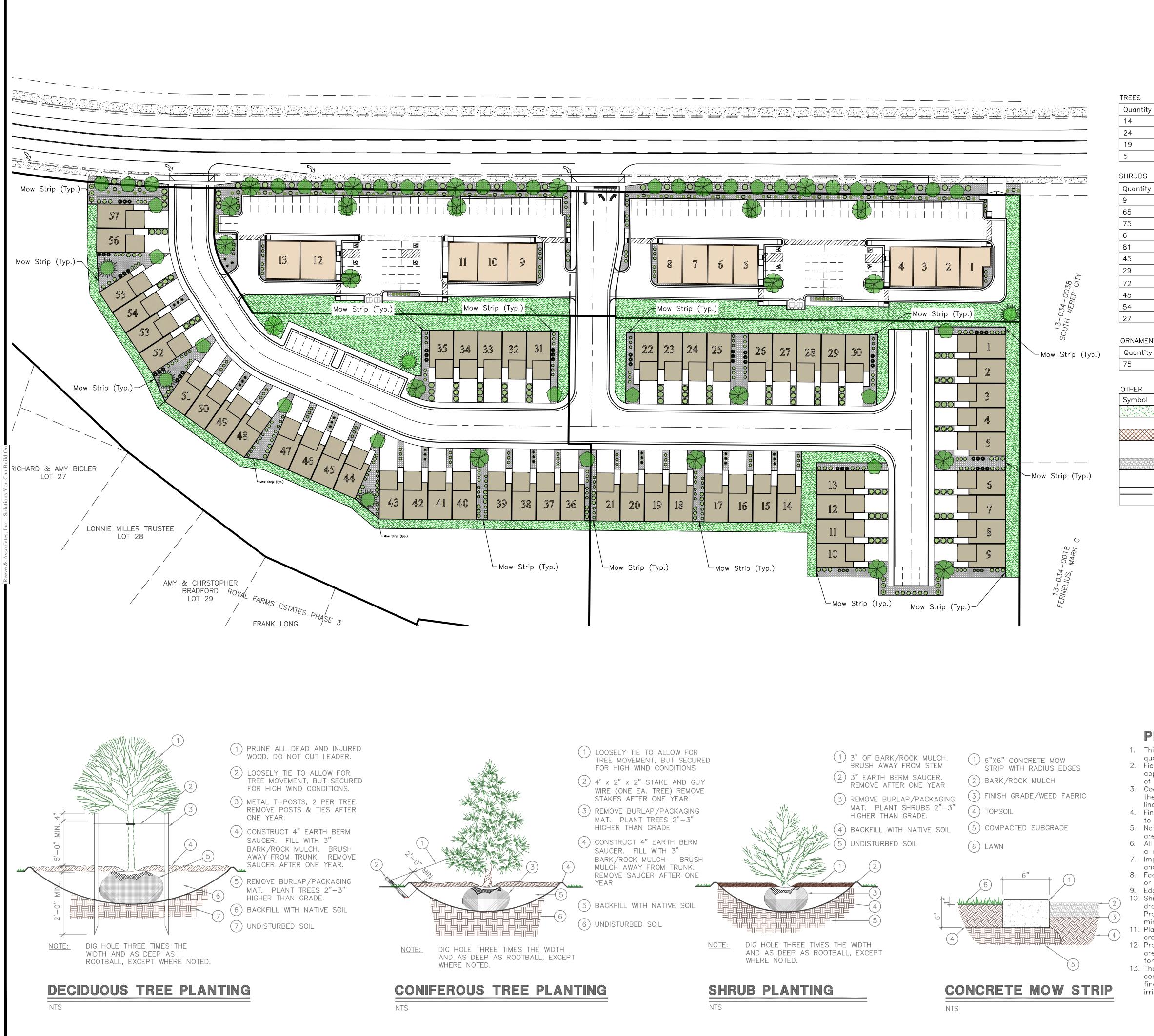
- rotate each post until the geotextile is wrapped completely around the post, then
- fence in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

(6"x6") trench at the desired location. ing projections, against the downstream wall

rainfall, immediately after significant rainfall event and weekly during periods of no rainfall. Make any repairs immediately.







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Size

1 2" cal.

2" cal.

2" cal. 6' Ht

Size

| 5 gal.

5 gal. 5 gal. 5 gal.

5 gal.

5 gal.

5 gal.

5 gal.

5 gal.

5 gal.

5 gal.

		DI ANT TADIE	
		PLANT TABLE	
/	Symbol	Scientific Name	Common Name
	$\left\{ \cdot \right\}$	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo
		Gleditsia triacanthos 'Imperial'	Imperial Honey Locust
		Malus 'Radiant'	Radiant Crabapple
	Martin Martin	Pinus nigra	Austrian Pine
,	Symbol	Scientific Name	Common Name
	$(\mathbf{*})$	Buddleia x weyeriana 'Sungold'	Sungold Butterfly Bush
		Juniperus 'Buffalo'	Buffalo Juniper
		Mahonia aquifolium 'Compactum'	Compact Oregon Grape
		Pinus mugo 'Slowmound'	Slowmound Mugo Pine
		Potentilla fruiticosa 'Gold Drop'	Gold Drop Cinquefoil
	Constraints of the second	Rhus aromatica 'Gro-Low'	Gro-Low Sumac
	Par and a start	Rosa sp. 'Fuchsia Meidiland'	Fuchsia Meidiland Rose
		Symphoricarpos alba	Common Snowberry
		Taxus media 'Hicksii'	Hicks Yew
	E.3	Viburnum trilobum 'Bailey Compact'	Bailey Compact Cranberry

💥 🛛 Yucca filamentosa 'Color Guard'

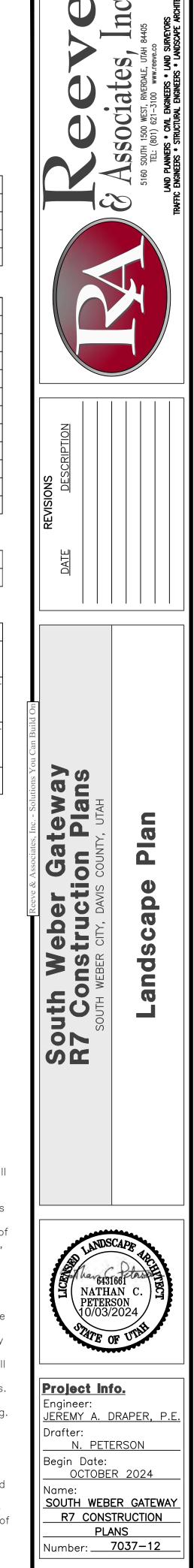
ORNAMENTAL	GRASS			
Quantity	Symbol	Scientific Name	Common Name	Size
75		Calamagrostis 'Karl Foerster'	Karl Foerster Grass	1 gal.

Color Guard Yucca

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iymbol	Description	Туре
	Turf Grass — Sod Kentucky Bluegrass Mix — 3 Species Minimum	Sod
	Wood Mulch — Medium Chunk Place mulch over 5 ounce Professional weed barrier cloth in all planting beds. Contractor to provide samples to owner for approval prior to delivery.	1" Diameter 3" Depth
	Rock Mulch — Round Cobble — Brown/Tan Place mulch over 5 ounce Professional weed barrier cloth in all planting beds. Contractor to provide samples to owner for approval prior to delivery.	1" Diameter 3" Depth
	Concrete Mow Strip	6"×6"

PLANTING NOTES

- 1. This planting plan is diagrammatic and plant locations are approximate. Contractor to verify all quantities and do their own takeoffs. 2. Field survey, stake, and string the layout and locations of site construction features for
- approval before actual construction. The layout shall conform to the exact location and grades of the intended work to be done. 3. Coordinate all aspects of the planting plans with the irrigation system and call the attention of the owners representative to any conflict in placement of plants in relation to sprinkler heads, lines and valves at the time the landscape installation phase takes place.
- 4. Finish grade of soil in lawn areas shall be 2" below pads, walks, paving, headers and curbs to accommodate sod. Grades in areas when seeded shall be 1" lower than adjacent edge. 5. Native topsoil shall be stockpiled and stored on site whenever possible for use in landscape areas.
- 6. All sod areas shall receive a minimum 4" depth of native topsoil and shrub beds shall receive a minimum of 8" of native topsoil. 7. Imported topsoil, when required, shall come from a reputable source, have a loam consistency
- and be free of weeds and debris. 8. Face each shrub to give the most pleasing look as seen from a line perpendicular to the wall or walk to/from which it is viewed.
- 9. Edging or Curbing shall be installed as shown on the plan to separate grass from shrub beds. 10. Shrub beds shall drain properly to prevent standing water from occurring. Call improperly draining planters or planting beds to the attention of the owners representative before planting. Provide positive drainage away from all structures and walls. Slope landscape areas 2% minimum.
- 11. Place mulch in all shrub beds and perennial areas. See schedule for depth and type. Do not crowd out small perennial plants with excessive mulch. 12. Provide a 3' minimum diameter circle "tree ring" around trees that are placed within lawn
- areas. Place a 3" min. depth of mulch. Use shredded bark mulch or match mulch being used for shrub beds. 13. The contractor shall maintain all work until work is complete and accepted by the Owner. The
- contractor shall maintain and guarantee all work for a period of THIRTY DAYS from the date of final acceptance by the Owner. Maintenance shall include mowing, weeding, fertilizing and irrigating.



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15 Total Sheets