

PLANNING COMMISSION AGENDA

Watch live, or at your convenience.

<https://www.youtube.com/c/southwebercityut>

PUBLIC NOTICE is hereby given that the Planning Commission of **SOUTH WEBER CITY, Utah**, will meet in a regular public meeting commencing at 6:00 p.m. on **Thursday, February 13, 2024**, in the Council Chambers at 1600 E. South Weber Dr.

OPEN (Agenda items may be moved to meet the needs of the Commission.)

1. Pledge of Allegiance: Chad Skola
2. Public Comment: Please respectfully follow these guidelines.
 - a. Individuals may speak once for 3 minutes or less: Do not remark from the audience.
 - b. State your name & city and direct comments to the entire Commission (They will not respond).

ACTION ITEMS

3. Consent Agenda
 - a. December 12, 2024, Minutes
4. Acknowledgement of re-appointed PC members Gary Boatright, and Marty McFadden
5. Elect Chair and Vice Chair
- 6. Public Hearing for Rezone**
7. Rezone for South Weber Gateway Development Agreement at approximately, 2557 South Weber Drive, applicant South Weber City
8. Preliminary Subdivision Plat for Gateway Subdivision, 2557 South Weber Drive, applicant Justin Nielson, Stillwater Construction
9. Ethics, Conflict of Interest, and Open Meeting Act Training

REPORTS

10. Commission
11. Adjourn

In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify the City Recorder, 1600 East South Weber Drive, South Weber, Utah 84405 (801-479-3177) at least two days prior to the meeting.

The undersigned Deputy Recorder for the municipality of South Weber City hereby certifies that a copy of the foregoing notice was mailed/emailed/posted to: City Office building; Mayor, Council, and others on the agenda; City Website southwebercity.com/; and Utah Public Notice website www.utah.gov/pmn/index.html.

DATE: 02/10/2025

DEPUTY RECORDER: Raelyn Boman

Raelyn Boman

SOUTH WEBER CITY PLANNING COMMISSION MEETING

DATE OF MEETING: 12 December 2024

TIME COMMENCED: 6:00 p.m.

LOCATION: South Weber City Office @ 1600 East South Weber Drive, So. Weber, UT

PRESENT:

COMMISSIONERS:

**Gary Boatright
Julie Losee
Marty McFadden
Chris Roberts (excused)
Chad Skola**

DEPUTY RECORDER:

Raelyn Boman

FINANCE DIRECTOR:

Brett Baltazar

**COMMUNITY DEVELOPMENT
MANAGER:**

Lance Evans

Minutes: Michelle Clark

ATTENDEES: Craig Hancock, Rod Westbroek, Paul Sturm, Korey Kap, Kamry Dyer, Thomas Hunt, Gordon Smith, Barbara Shupe, Mike Poll, and Michael Grant.

Commissioner Losee called the meeting to order, welcomed those in attendance, and excused Commissioner Roberts from tonight's meeting.

1. Pledge of Allegiance: Commissioner Skola

2. Public Comment: Please respectfully follow these guidelines.

- Individuals may speak once for 3 minutes or less: Do not remark from the audience. State your name & city and direct comments to the entire Commission (Commission will not respond).

ACTION ITEMS:

3. Approval of Consent Agenda

- **14 November 2024 Minutes**

Commissioner Boatright moved to approve the consent agenda. Commissioner Skola seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

Commissioner Boatright moved to open the public hearing for the General Plan Amendment. Commissioner McFadden seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

----- **PUBLIC HEARING** -----

4. Public Hearing for General Plan Amendment

Community Development Manager Lance Evans reported this is a request to amend the Projected Land Use Map from the 2020 South Weber City General Plan from Residential Low Moderate Density (R-LM) to Residential Moderate Density (R-M) on approximately 10.7 acres located at approximately 972 E. South Weber Drive.

Commissioner Losee asked if there was any public comment.

Gordon Smith of South Weber City expressed that it is his understanding this area is a wetland area. He is also concerned about increased traffic.

Craig Hancock of South Weber City is concerned about the egress and ingress to this property and queried on the traffic plan for this area.

Commissioner Boatright moved to close the public hearing for the General Plan Amendment. Commissioner McFadden seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

----- **PUBLIC HEARING CLOSED** -----

Mr. Evans explained there are no designated wetlands in this area. He then reviewed the traffic plan on the City's General Plan traffic map and identified Old Fort Road as a collector road with a collector road on the south side of the property.

Commissioner Losee is concerned about the difference in the number of homes for R-LM and R-M with R-LM having less impact on traffic. Commissioner McFadden does not think this request changes the character of the land. Commissioner Boatright does not favor amending the general plan every time a developer comes in. Mr. Evans understands what Commissioner Boatright is stating, but the direction given has been to amend the general plan prior to approval.

Commissioner Skola does not favor going against the general plan. Commissioner Losee is concerned about going to a higher density. Mr. Evans announced the City Attorney gave the direction to amend the general plan amendment before a rezone request. Commissioner McFadden stated the general plan amendment would give a clearer direction on how the land will be used. He does not think there is considerable difference between the R-LM Zone and the R-M Zone and would be in favor of the general plan amendment.

5. General Plan Amendment for Kapp Legacy from Residential Low Moderate Density (R-LM) to Residential Moderate Density (R-M) at approximately 972 E South Weber Drive, applicants Thomas Hunt, Korey Kap

This application is part of the potential development of 32.86 acres for single-family homes on moderate density lots. Twenty-two acres of the proposed development area is already designated as Residential Moderate Density in the General Plan. This request is to amend the R-LM density designation on the southern 10.7 acres of this project to R-M. (In a separate application the owners are requesting to rezone the entire project area of 32.86 acres from Agricultural to Residential Moderate Density.)

Commissioner McFadden moved to recommend approval to the City Council the General Plan Amendment for Kapp Legacy from Residential Low Moderate Density (R-LM) to Residential Moderate Density (R-M) for 10.7 acres at approximately 972 E South Weber Drive, applicants Thomas Hunt, Korey Kap. Commissioner Skola seconded the motion. Commissioner Losee called for the vote. Commissioners Losee, McFadden, and Skola voted aye. Commissioner Boatright vote nay. The motion carried 3 to 1.

Commissioner Skola moved to open the public hearing for zone change amendment. Commissioner Boatright seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

PUBLIC HEARING

6. Public Hearing for Zone Change Amendment

Community Development Manager Lance Evans explained this is a request to amend the South Weber City Zoning Map from A (Agricultural Zone) to R-M (Residential Moderate Zone) on approximately 27.6 acres located at approximately 972 E. South Weber Drive.

Gordon Smith of South Weber City asked if there is an environmental study on this property.

Commissioner Boatright moved to close the public hearing for Zone Change Amendment. Commissioner Losee seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

PUBLIC HEARING CLOSED

Community Development Director Lance Evans conveyed that if the rezone is approved, extensive studies will be conducted on the property. Commissioner Losee requested that the developer provide a traffic study when the subdivision is presented to the Planning Commission. Commissioner Boatright expressed support for the zone change request.

7. Rezone Request for Kapp Legacy from (A) Agricultural Zone to (R-M) Residential Moderate Density Zone at approximately 972 E South Weber Drive, applicant Thomas Hunt, Korey Kap

Commissioner Skola moved to recommend approval to the City Council the Rezone Request for Kapp Legacy from (A) Agricultural Zone to (R-M) Residential Moderate Density Zone for 27.6 acres at approximately 972 E South Weber Drive, applicant Thomas Hunt, Korey Kap. Commissioner Boatright seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

Commissioner Boatright moved to open the public hearing for Subdivision Code Amendment. Commissioner Losee seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

----- PUBLIC HEARING -----

8. Public Hearing for Subdivision Code Amendment

Community Development Manager Lance Evans explained South Weber City is required by the Utah State Code to allow more than one form of subdivision improvement guarantee. The code currently allows “Cash Escrow account or Letter of Credit guarantee with a federally insured financial institution.” City Staff is concerned that the letter of credit will not provide enough assurance to the city for the completion of a subdivision should it be required. Staff recommended allowing three options for improvement completion assurance.

- 1) cash escrow account guarantee with a federally insured financial institution, or 2) a cash bond with the city, or 3) a surety bond with a reputable bond provider who is licensed to issue surety bonds in the State of Utah. The code amendment to allow these three forms of assurance will better protect the city and assure completion of all subdivision improvements.

(No Public Comment)

Commissioner Skola moved to close the public hearing for Subdivision Code Amendment. Commissioner Losee seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

----- PUBLIC HEARING CLOSED -----

9. Code Amendment 11-8-3: Improvements Completion Assurance and Guarantee of Performance

Commissioner Boatright moved to recommend approval to the City Council for the Code Amendment 11-8-3: Improvements Completion Assurance and Guarantee of Performance. Commissioner McFadden seconded the motion. Commissioner Losee called for the vote. Commissioners Boatright, Losee, McFadden, and Skola voted aye. The motion carried.

REPORTS:

10. Commission: (None)

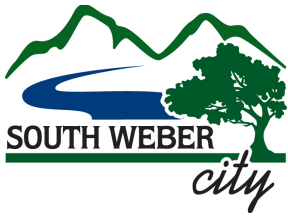
11. ADJOURN: Commissioner Boatright moved to adjourn the Planning Commission meeting at 6:39 p.m. Commissioner Losee seconded the motion. A roll call vote was taken. Commissioners Boatright, Losee, McFadden, Roberts, and Skola voted aye. The motion carried.

APPROVED: _____ **Date** _____
Chairperson: Julie Losee

Transcriber: Michelle Clark

Attest: _____
Deputy Recorder: Raelyn Boman

DRAFT



PLANNING COMMISSION STAFF REPORT

MEETING DATE

February 13, 2025

PREPARED BY

Lance Evans, AICP
Community Development
Manager

ITEM TYPE

Zone Change

ATTACHMENTS

Projected Land Use Map
Zoning Map

AGENDA ITEM

Public Hearing

Resolution 2025-004: South Gateway Zone change

Applicant: South Weber City

Location: approximately 2557 E. South Weber Drive

Acreage: approximately 27.6 acres

REQUEST

A zone change request to change the zoning on 0.2 acres from R-5 (SG) Residential Multi-Family to Highway Commercial (C-H) on a 10.731-acre parcel.

Property Information	
Site Location	Approximately 2557 E. South Weber Drive
Tax ID Number	130340068
Applicant	South Weber City
Owner	Stillwater Construction
Proposed Actions	Recommend approval or denial to City Council
Current Zoning	C-H (Highway Commercial) and R-5 (Residential Multi-Family)
Proposed Zone District	C-H (Highway Commercial)
Acreage	0.2

PROCESS

This is a request to amend the South Weber City Zoning Map. South Weber City Code Section 10-3-5 allows for the Zoning Map to be amended. The Planning Commission is required to hold a public hearing to receive public comments on the proposed amendment, then make a recommendation to the City Council for the approval or denial of the proposed amendment. The City Council will then hold a meeting to review the Planning Commission's recommendation and the application for a final determination.

BACKGROUND

This application is correcting the zoning to match the South Weber Gateway Development Agreement (DA). The third amendment of the DA modified the areas of Highway Commercial and Residential Multi-Family R-5) increasing the commercial area by approximately 0.2 acres. This rezone will correct the zoning districts to match the concept plan in the approved DA.

ANALYSIS

Consistence with General Plan

The proposed zone change matches the land use designation for the property and is consistent with approved development plans and uses.

Compatibility with Surrounding Uses

The approved development will have 57 town homes and 2.62 acres of commercial. The site design will reduce the impact to the adjacent residences and is consistent with the surrounding building height, density, traffic impacts, and visual aesthetics though compliance with city development codes.

Environmental and Infrastructure Considerations

Much of the area around the site is developed. The zone change will have minimal impacts on infrastructure (such as roads, utilities, and public services) and the natural environment (including water resources, wildlife habitats, and air quality).

Traffic Impacts

The development is along South Weber Drive and is a location that is anticipated to have additional traffic and road use.

Conclusion

The proposed zone change is consistent with the goals and objectives of the General. Staff recommends approval of the zone change for the 0.2 acres from R-5 (SG) Residential Multi-Family to Highway Commercial (C-H) on a 10.731-acre parcel.

Vicinity Map

Zoning Map

APPLICABLE CITY CODE

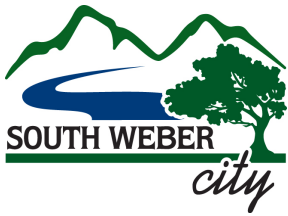
10-3-5: POWERS AND DUTIES:

A. Entrance Upon Land: The Planning Commission, its members and employees, in the performance of its functions, may enter upon any land at reasonable times to make examinations and surveys, and place and maintain necessary monuments and marks thereon. The Planning Commission shall have such powers as may be necessary to enable it to perform its functions and promote Municipal planning.

B. Administrative Duties: The Planning Commission shall:

2. Recommend Land Use Ordinances and maps, and amendments to Land Use Ordinances and maps, to the City Council;

C. Public Hearings; Reports and Recommendations: For purposes of holding public hearings, the Planning Commission is recognized as the Land Use Authority for South Weber City, as defined by Utah Code Annotated 10-9a-103; 10-9a-404, 10-9a-502, 10-9a-503, 10-9a-602, and 10-9a-608, or as otherwise required. The Planning Commission may hold public hearings and shall do so as required by law. It may make reports and recommendations relating to the plan and development of the City to public officials and agencies, other organizations and citizens. It may recommend to executive or legislative officials, programs for public improvements. The City Council shall not hold any public hearing for any Land Use Ordinances, applications, or amendments unless specifically required by State law or a procedural motion approved by the City Council. (Ord. 19-08, 3-12-2019; amd. Ord. 2021-01, 2-23-2021)



PLANNING COMMISSION MEETING STAFF REPORT

MEETING DATE

February 13, 2025

PREPARED BY

Lance Evans
Community Development
Manager

Brandon Jones, P.E.
City Engineer

ITEM TYPE

Administrative

ATTACHMENTS

Preliminary Plat

AGENDA ITEM

Gateway Preliminary Plat

PURPOSE

Administrative Action: Preliminary Subdivision Plat Approval. Final Subdivision Plat and Improvement Plans will be reviewed and approved by the Administrative Land Use Authority (ALUA) Board (See CC 11-5-1).

RECOMMENDATION

Staff has reviewed the proposed preliminary plat and phasing plan and recommends approval.

BACKGROUND

Project Information	
Project Name	Gateway Preliminary Subdivision
Site Location	2557 E South Weber Drive
Tax ID Number	130340068
Applicant	Justin Nielson, Stillwater Construction
Owner	Stillwater Construction
Proposed Actions	Preliminary Plat Approval
Current Zoning	C-H and R-5(SG)
General Plan Land Use Classification	Highway Commercial with Development Plan and Agreement Required
Gross Site	11.643 Acres
Number of Townhome Lots	57 lots
Commercial Lots	13 commercial pads, proposed for 16,292 SF of commercial area
Gross Density Calculation	6.3 dwelling units per acre

OVERVIEW SOUTH WEBER GATEWAY DEVELOPMENT PROCESS

The South Weber Gateway Development was approved as a Development Agreement (DA) and has had several revisions to the DA. The current owner has submitted the preliminary plat application as the next step in the development process for this project. This is the second of five major steps in the development process for the South Weber Gateway project.

1. **Zoning entitlement:** The South Weber Gateway Development received the original rezone from Agricultural (A) to Highway Commercial (C-H) and Residential Multi-Family Seven (R-7) on July 20, 2021 (ORD 2021-10). The R-7 zone was later changed by the City to R-5 with a Strategic Growth Overlay (SG) option and was applied accordingly to this development. A Development Agreement was originally approved in May of 2022. It has since been amended four times to make minor modifications to the site requirements and for changes in ownership. The 4th amendment was approved on the 12th of November 2024.
2. **Subdivision Plat:** the preliminary subdivision plat is being reviewed tonight by the Planning Commission. The preliminary subdivision contains a significant level of detail, and the improvement plans for the development of the utility and road infrastructure. The final plat will complete the subdivision process when it is reviewed, approved, and recorded. Construction of the proposed utilities and site improvements may begin after the preliminary plat approval by the Planning Commission and final approval of the plat and improvement plans by the ALUA Board, but lot sales may not begin until the final plat is recorded.
3. **Site Plan and Architectural Plan:** the development of the vertical buildings and some of the above ground site improvements require the approval of an Architectural Site Plan approval as outlined in Title 10 Chapter 12 of the South Weber City Code. Some of these elements and requirements have been addressed in the subdivision plat and improvement plans but the architectural, parking, and landscape improvements will need to be approved by the Planning Commission and City Council before the submittal of building permit applications.
4. **Conditional Use Permit:** The commercial areas of the plat are over one acre in size and are also required to have a conditional use permit if they are over one acre in size or if a use is proposed that required a CUP in the Land Use Matrix for Highway -Commercial Zone. This may coincide with the Site and Architectural Plan reviews.
5. **Building Permits as per the South Weber Gateway Development Agreement:** The building permits will be reviewed as per the phasing in the South Weber Gateway Development Agreement and the dwelling units and commercial buildings will be the final development stage.

STAFF REVIEW

GATEWAY PRELIMINARY SUB	COMMENTS
<u>11-4-1: Preliminary Plat And Improvement Plans</u>	
11-4-1: PRELIMINARY PLAT AND IMPROVEMENT PLANS:	
A. Purpose: For the Administrative Land Use Authority to complete an initial Subdivision Ordinance Review and an initial Subdivision Plan Review.	Completed
B. Application Required: The Applicant shall submit the required Preliminary Subdivision Plat Application for	Submitted/complies

review and approval by the Administrative Land Use Authority.	
1. Exception: When a proposed Subdivision does not involve the development of new public infrastructure, an exception may be granted by the City Engineer to waive, in writing, the need for the review of the Preliminary Improvement Plans.	NA
C. Complete Application: An application shall be considered complete and begin the first review cycle when the following items are Submitted/complies:	Completed
1. A completed Preliminary Subdivision Plat Application as provided by the City.	
2. Additional studies and information as listed on the application form and as necessary to show feasible compliance with applicable codes and regulations (see subsection 11-7-1D).	Studies Submitted: Traffic Impact Analysis, Geotechnical Report,
3. A signed Owner-Agent Affidavit (if the Owner is being represented by another party).	Submitted/complies
4. Current Davis County ownership plat depicting property proposed for subdivision and all contiguous property around land proposed to be subdivided.	Submitted/complies
5. A recent Title Report covering the proposed subdivided property identifying ownership, easements of record, liens or other encumbrances and verifies payment of taxes and assessments.	An updated report will be required prior to final plat submittal. Title and tax information confirmed.
6. Will serve letters from all applicable service providers.	Submitted/complies, Enbridge Gas, Rocky Mountain Power, South Weber Water Improvement District
7. A digital copy of the preliminary plat as outlined in the Public Works Standards.	Submitted/complies
8. A digital copy of the preliminary improvement plans to include at a minimum the following:	Submitted/complies
a. Grading and drainage plan.	Submitted/complies
(1) Storm Drain calculations.	Submitted/complies
(2) Low Impact Design (LID) analysis and Water Quality Report.	Submitted/complies
b. Utility plan.	Submitted/complies
(1) Payment of fees as stated in the City's current adopted Fee Schedule.	Submitted/complies

SITE PLAN

Final site plan approval will be required prior to the submittal of any building permits. Some site plan and SG overlay requirements have been addressed but the architectural and building requirements need to be addressed prior to submitting building permits.

Engineering Review:

1. Geotechnical Report.

- a. The original geotechnical report was provided by CMT Engineering and is dated September 17, 2021. Updates to this report have been provided based on the various proposed development configurations by various developers over the past 3 years. Prior to final approval, an updated letter / addendum must be provided specifically addressing the current proposed layout.
- b. A Slope / Non-Disturbance Easement is needed to protect the hillside from being compromised due to unauthorized excavation. Prior to final approval, the geotechnical engineer or geologist should determine where the line should be drawn and the easement needs to be added to the final plat.

2. Parking. The following shows the current proposed parking stall counts. The final proposed commercial uses may change this requirement, but we are comfortable that sufficient space has been allocated for the most intense uses.

- a. Commercial – Retail (1 stall per 200 gross sf)
 - i. Phase 1 – 9,096 sf = 46 req. → 58 provided (complies)
 - ii. Phase 2 – 7,196 sf = 36 req. → 52 provided (complies)
- b. Residential – Dwelling Unit (2 per unit)
 - i. Phase 1 – 30 units = 60 req. → 120 provided (complies)
 - ii. Phase 2 – 27 units = 56 req. → 108 provided (complies)
- c. Multi-Family Dwelling Visitor (1 per 3 units)
 - i. Phase 1 – 30 units = 10 req. → 10 provided (complies)
 - ii. Phase 2 – 27 units = 9 req. → 9 provided (complies)

3. Phasing and unknown Commercial Uses. Since the final uses of the commercial buildings are not yet known, a complete site plan cannot be reviewed or approved yet. However, the utility lines to support the townhomes traverses commercial property. If the final requested use of these commercial buildings causes a change to what is already proposed or installed, the developer will need to make whatever revisions are necessary to accommodate and support the change (including utility lines, parking, landscaping, etc.).

4. Grading and Drainage Plan. The improvement plans provided demonstrate acceptable grading and drainage for preliminary approval.

- a. The storm drain calculations provided indicate that the proposed detention basin and other drainage facilities will work.
- b. A Water Quality Report was provided but will need to be stamped up and signed by the preparer to receive final approval.

5. Utility Plan. The improvement plans provided demonstrate acceptable utilities for preliminary approval.

6. Final Plat and Improvement Plans. The ALUA Board is responsible for reviewing the final plat and improvement plans. Approval must be received before the developer may begin construction.

Staff Recommends approval of the Gateway Preliminary Plat.

Project Narrative/Notes/Revisions

1. 2024/10/03 CK - COMPLETED DESIGN FOR CLIENT & CITY REVIEW.

South Weber Gateway PUD Subdivision Plans

SOUTH WEBER CITY, DAVIS COUNTY, UTAH
OCTOBER 2024



Vicinity Map
NOT TO SCALE

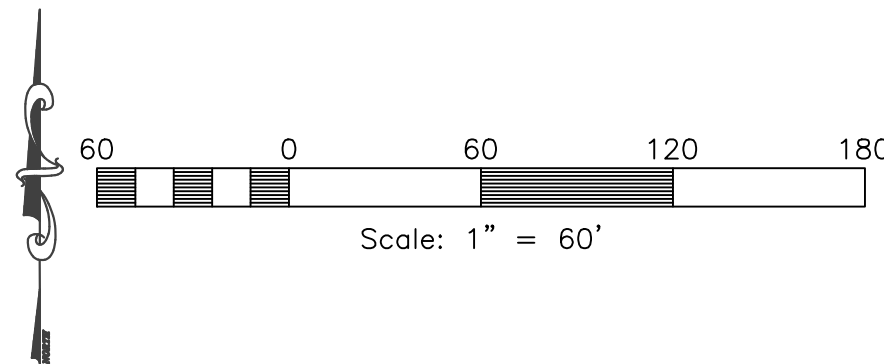


Sheet Index

- Sheet 1 - Cover/Index Sheet
- Sheet 2 - Notes/Legend/Street Cross-Section
- Sheet 3 - Proposed Site Plan
- Sheet 4 - Grading & Drainage Plan
- Sheet 5 - Utility Plan
- Sheet 6 - Utility Outfall & Detention Basin
- Sheet 7 - UDOT Striping Plan
- Sheet 8 - Civil Details
- Sheet 9 - 7700 South Street - 1+00.00-11+00.00
- Sheet 10 - 2400 East Street - 0+50.00-4+00.00
- Sheet 11 - 2350 East Street - 1+00.00-4+45.00
- Sheet 12 - Utility Outfall - 0+00.00 - 9+50.00
- Sheet 13 - Storm Water Pollution Prevention Plan Exhibit
- Sheet 14 - Storm Water Pollution Prevention Plan Details
- Sheet 15 - Landscape Plan

Site Information

APN#	130340068
SOUTH WEBER CITY, DAVIS COUNTY, UTAH	
PROPERTY ZONE.....	R7
TOTAL PARCEL AREA.....	393,007 s.f.
BUILDING AREA.....	76,082 s.f. 19.3%
HARD SURFACED AREA.....	182,489 s.f. 46.4%
LANDSCAPE AREA.....	98,512 s.f. 25.0%
OPEN SPACE AREA.....	127,498 s.f. 32.3%
PARKING STALLS.....	4 STALLS
GARAGE PARKING.....	114 SPACES
DRIVEWAY PARKING.....	114 SPACES



Engineer's Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

Geotechnical Report:

Dated: 09/17/2021
CMT Engineering
CMT Project No. 900166
PH: (801) 908-5859



Surveyor:

Trevor Hatch
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

Landscape Architect:

Nathan Peterson
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

Developer Contact:

Justin Nielsen
Stillwater Construction
PO Box 638,
Roy, UT, 84067
PH: (801) 668-8778

Project Contact:

Nate Reeve
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100



REVISIONS
DATE
DESCRIPTION

South Weber Gateway
PUD Subdivision Plans

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Cover/Index Sheet



Project Info.

Engineer:
J. NATE REEVE, P.E.
Drafter:
C. KINGSLEY
Begin Date:
OCTOBER 2024
Name:
SOUTH WEBER GATEWAY
PUD SUBDIVISION
PLANS
Number: 7037-12

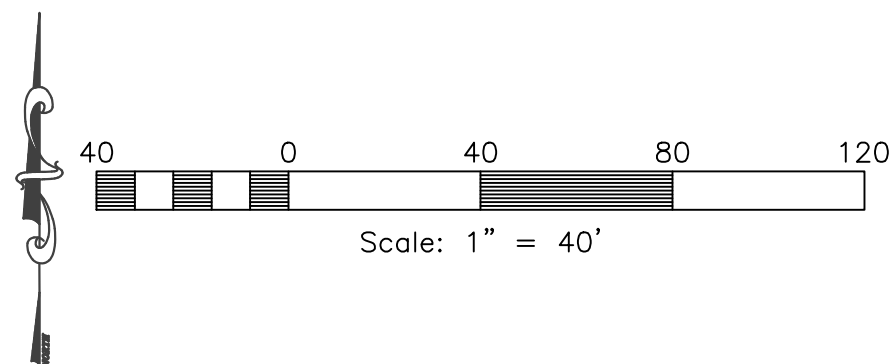
1
15 Total Sheets

1. ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: GOVERNING UTILITY MUNICIPALITY,
GOVERNING CITY OR COUNTY (IF UN-INCORPORATED), INDIVIDUAL PRODUCT MANUFACTURERS, AMERICAN PUBLIC WORKS
ASSOCIATION (APWA), AND THE DESIGN ENGINEER. THE OWNER LISTS ABOVE IS ARRANGED BY SENIORITY. IF A CONSTRUCTION
2. CONTRACTOR IS NOT COVERED BY ANY OF THE LISTED CONTRACTORS, THE CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
CONTRACTOR TO STRICTLY FOLLOW GEOTECHNICAL RECOMMENDATIONS FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT
LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, RETAINING WALLS
AND FOOTINGS MUST BE COORDINATED FIRST WITH THE PROJECT GEOTECHNICAL ENGINEER.
3. THE CONTRACTOR SHALL CONFORM TO CURRENT GOVERNING AGENCIES TRANSPORTATION ENGINEER'S MANUAL
AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
4. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO
OWNER.
5. CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
6. AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE
SAW CUT TO A CLEAN, SMOOTH EDGE.
7. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY
GUIDELINES.
8. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS
AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED
9. THE REQUIRED REVIEW AND APPROVAL OF THE CITY ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND NOTIFYING ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF
COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
10. ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY
CONSIDERING THE ROAD INCLUDING REQUIRED INSPECTIONS.
11. ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO
CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR
NECESSARY PLAN OR GRADE CHANGES.
12. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND.
13. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET
FORTH BY THE GEOTECHNICAL ENGINEER.
14. CATCH SLOPES SHALL BE GRADED AS SPECIFIED ON GRADING PLANS.
15. ALL EXISTING UTILITIES SHALL BE PROTECTED. ALL CAUTION SIGNS, LIGHTS, BARRICADES, FLAGMEN, AND ALL OTHER
DEVICES NECESSARY FOR PUBLIC SAFETY.
16. CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE
WHERE THE PROJECT IS LOCATED AND SHALL BE ELIGIBLE FOR AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL APPLY
17. FOR THE TYPE OF WORK CONTAINED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND ADEQUATELY
ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.
18. CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY HIMSELF BY PERSONAL EXAMINATION OR BY
ANOTHER AUTHORITY OF THE TRUE NATURE AND EXTENT OF THE WORK TO BE DONE. THE CONTRACTOR SHALL OBTAIN ACCESS ON HIS
OWN TO THE SITE OF WORK. IF, DURING THE COURSE OF HIS EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO
HIM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, HE SHALL CONTACT THE
ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING HIS BID. SUBMISSION OF A BID BY THE
CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED
ON HIS OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUIRED
TO THE FULFILLMENT OF THE WORK AND ON HIS OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE
OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE ENGINEER IS NOT INTENDED TO
CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AN
INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL
ACKNOWLEDGE THAT HE HAS NOT RELIED SOLELY UPON OWNER- OR ENGINEER-FURNISHED INFORMATION REGARDING SITE
CONDITIONS IN PREPARING AND SUBMITTING HIS BID.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED
AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
20. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE
OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR THE CAUTION AND CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE
POINTS AND ALL SURVEY STAKES, AND SHALL REPAIR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR
UNNECESSARY LOSS OR DISTURBANCE.
22. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF
CONSTRUCTION OF THIS PROJECT, INCLUDING SCHEDULING OF ALL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE
OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF
WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
23. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED
UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND
INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE
CONTRACTOR.
24. IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE
CONSTRUCTED BY THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM
DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS
REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR
REPAIRING EXISTING IMPROVEMENTS.
25. WHEN EXISTING IMPROVEMENTS ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY
THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL
TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO
THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
26. WHEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED
UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND
INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE
CONTRACTOR.
27. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE
PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE
CONTRACTOR. PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND
PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THE TRUE INTENT AND
PURPOSE OF THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL
SKILLS IN THE TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO
ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE
PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR UNSAFE CONDITIONS HAZARDOUS
TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED
UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND
INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE
CONTRACTOR.
28. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE
EXISTING STRIPING, INTERSECTION STRIPING, METHOD OF REMOVAL SHALL BE BY GRINDING OR REBLASTING.
29. CONTRACTOR SHALL PROVIDE ALL STRIPING, GRADING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR
ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4 FEET OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE
CONTRACTOR SHALL COMPLY WITH LOCAL, STATE AND NATIONAL SAFETY CODES, ORDINANCES, OR REQUIREMENTS FOR EXCAVATION
AND TRENCHES.
30. ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM
DAMAGE.

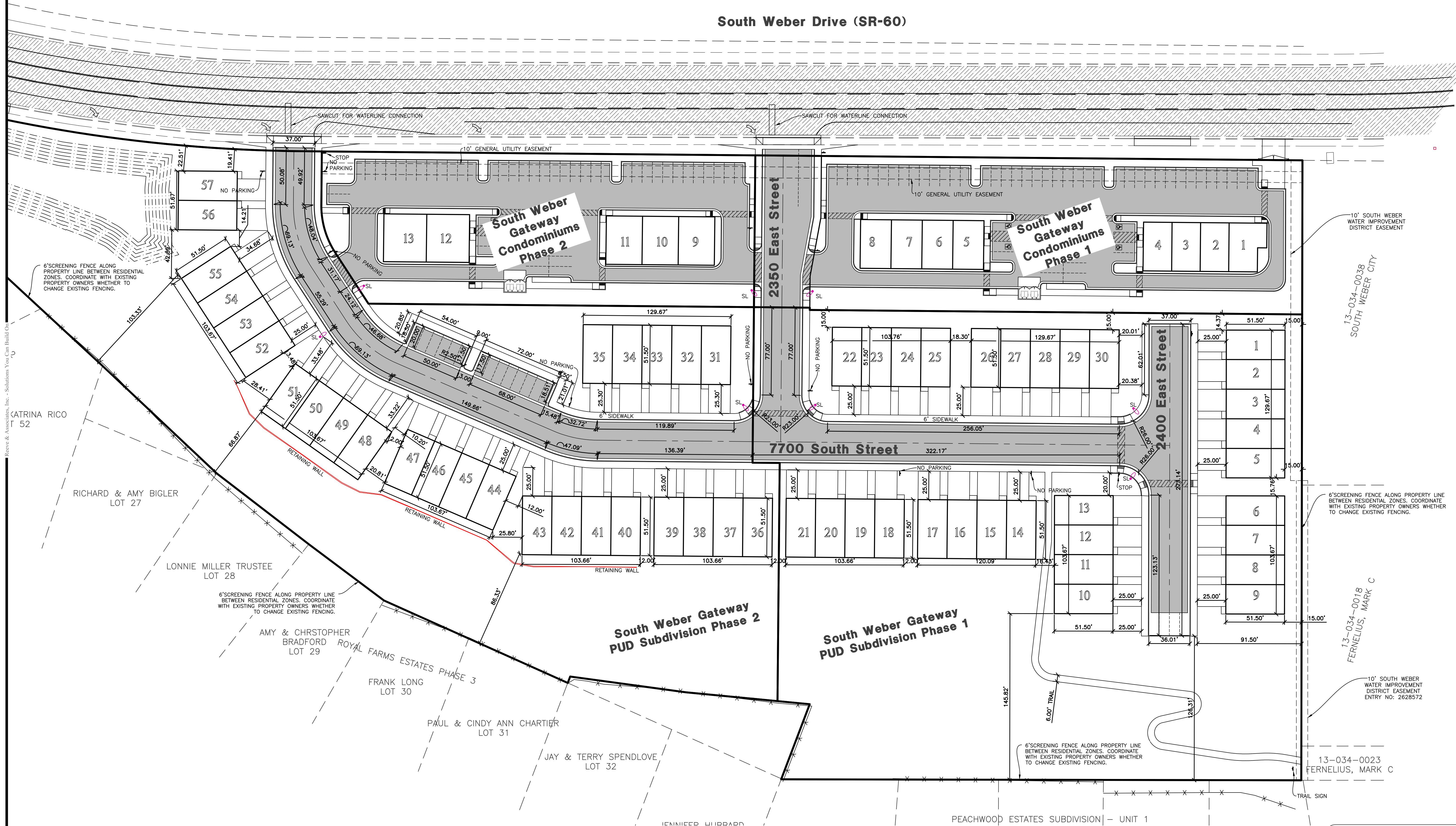
1. CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE SERVICE, GAS SERVICE, CABLE, POWER, INTERNET.
2. EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS USING A COMBINATION OF ON-SITE SURVEYS (BY OTHERS), PRIOR TO EXCAVATION. CONTRACTOR SHALL BE RESPONSIBLE TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD, PRIOR TO EXCAVATION. THEIR MAIN AND SERVICE LINES 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF THE BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS FROM THEM DURING THE PERFORMANCE OF ANY WORK. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
3. CONTRACTOR SHALL HIRE ALL UTILITIES TO DETERMINE IF COLLISIONS EXIST PRIOR TO BEGINNING ANY EXCAVATION. NOTIFY ENGINEER OF ANY COLLISIONS. CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING UTILITIES TO WHICH NEW UTILITIES WILL BE CONNECTED. PRIOR TO COMMENCING ANY EXCAVATION WORK THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE REQUIRED PROCEDURES.
4. THERE SHOULD BE NO EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT HIS EXPENSE.
5. ALL VALVES AND MANHOLE COVERS SHALL BE RAISED OR LOWERED TO MEET FINISHED GRADE.
6. CONTRACTOR SHALL CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BUILT MANHOLE.
7. CONTRACTOR SHALL GROUT AT CONNECTION OF PIPE TO BOLT WITH NON-SHRINKING GROUT, INCLUDING PIPE VOIDS LEFT BY CUTTING PROCESS, TO A SMOOTH FINISH.
8. CONTRACTOR SHALL GROUT WITH NON-SHRINK GROUT BETWEEN GRADE RINGS AND BETWEEN BOTTOM OF INLET LID FRAME AND BOTTOM OF CONCRETE BENCH.
9. SILT AND DEBRIS IS TO BE CLEANED OUT OF ALL STORM DRAIN BOWS, CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
10. CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW PROPER DRAINAGE.
11. EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DE-WATERED CONDITIONS.
12. CONTRACTOR SHALL PROVIDE PROTECTION AND WARNING TO ALL WORKMEN BY USING PROPER MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND PROPERLY DISPOSED OF ALL WATER ENTERING THE TRENCH EXCAVATION.
13. MAINTAIN A MINIMUM 18" VERTICAL SEPARATION DISTANCE BETWEEN ALL UTILITY CROSSINGS.
14. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
15. ALL BOLTED FITTINGS MUST BE GREASED AND WRAPPED.
16. UNLESS SPECIFICALLY NOTED OTHERWISE, MAINTAIN AT LEAST 2 FEET OF COVER OVER ALL STORM DRAIN LINES AT ALL TIMES (INCLUDING DURING CONSTRUCTION).
17. ALL WATER LINES SHALL BE INSTALLED A MINIMUM OF 60" BELOW FINISHED GRADE.
18. ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, PIPE EDGE TO PIPE EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CANNOT BE MAINTAINED, THE SEWER AND WATER LINE SHALL BE LAID IN SEPARATE TRENCHES AND THE BOTTOM OF THE WATER LINE SHALL BE AT LEAST 18" ABOVE THE TOP OF THE SEWER LINE.
19. CONTRACTOR SHALL INSTALL THURST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
20. ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
21. CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.
22. ALL JOINTS, SPLICED AND RESTRAINED JOINTS ON ALL WATER LINES SHALL BE MADE AND FITTINGS USING BLUE BOLTS. PROTECT ALL BOLTS FROM BEING ENCASED IN CONCRETE. INSTALL PER MANUFACTURER RECOMMENDATIONS.



2	
15	Total Sheets



South Weber Drive (SR-60)



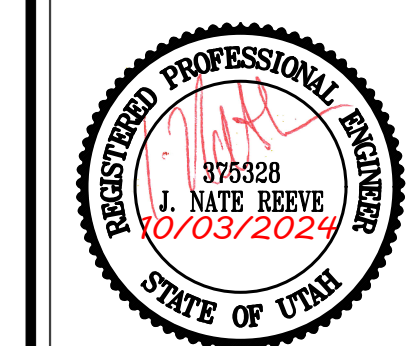
Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DESCRIPTION
DATE	

South Weber Gateway PUD Subdivision Plans
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Proposed Site Plan

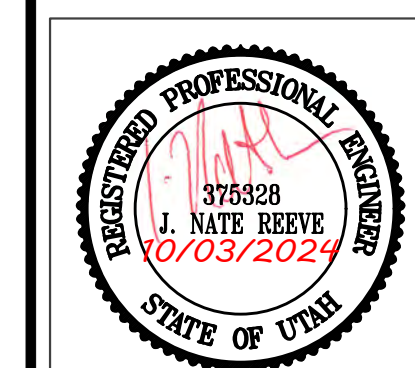


Project Info.
Engineer: J. NATE REEVE, P.E.
Drafter: C. KINGSLEY
Begin Date: OCTOBER 2024
Name: SOUTH WEBER GATEWAY PUD SUBDIVISION PLANS
Number: 7037-12

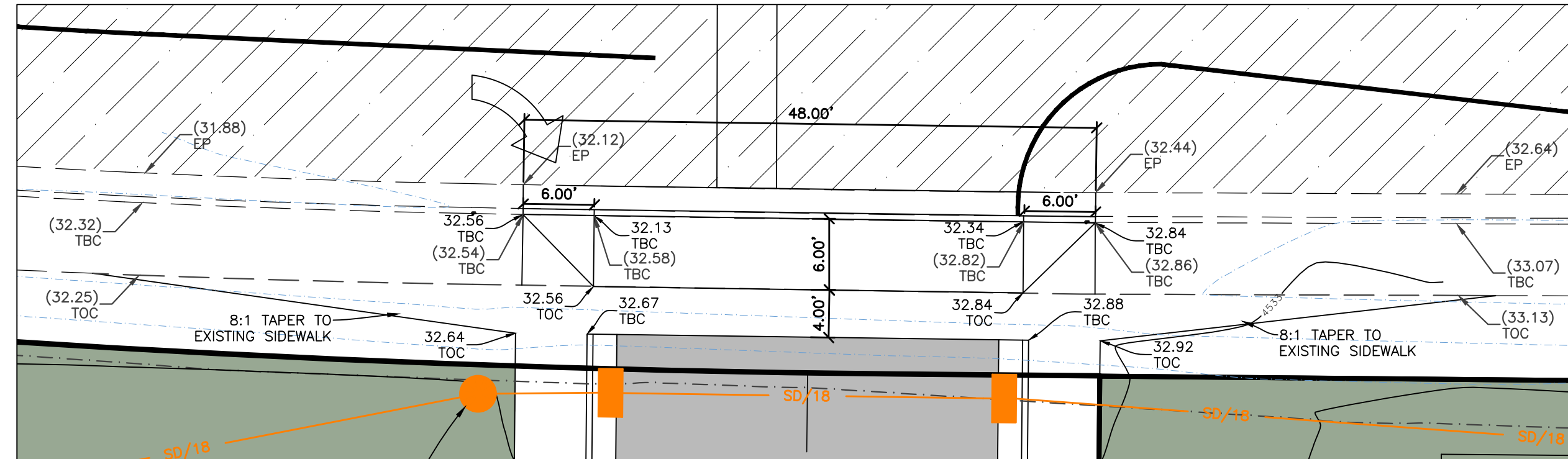
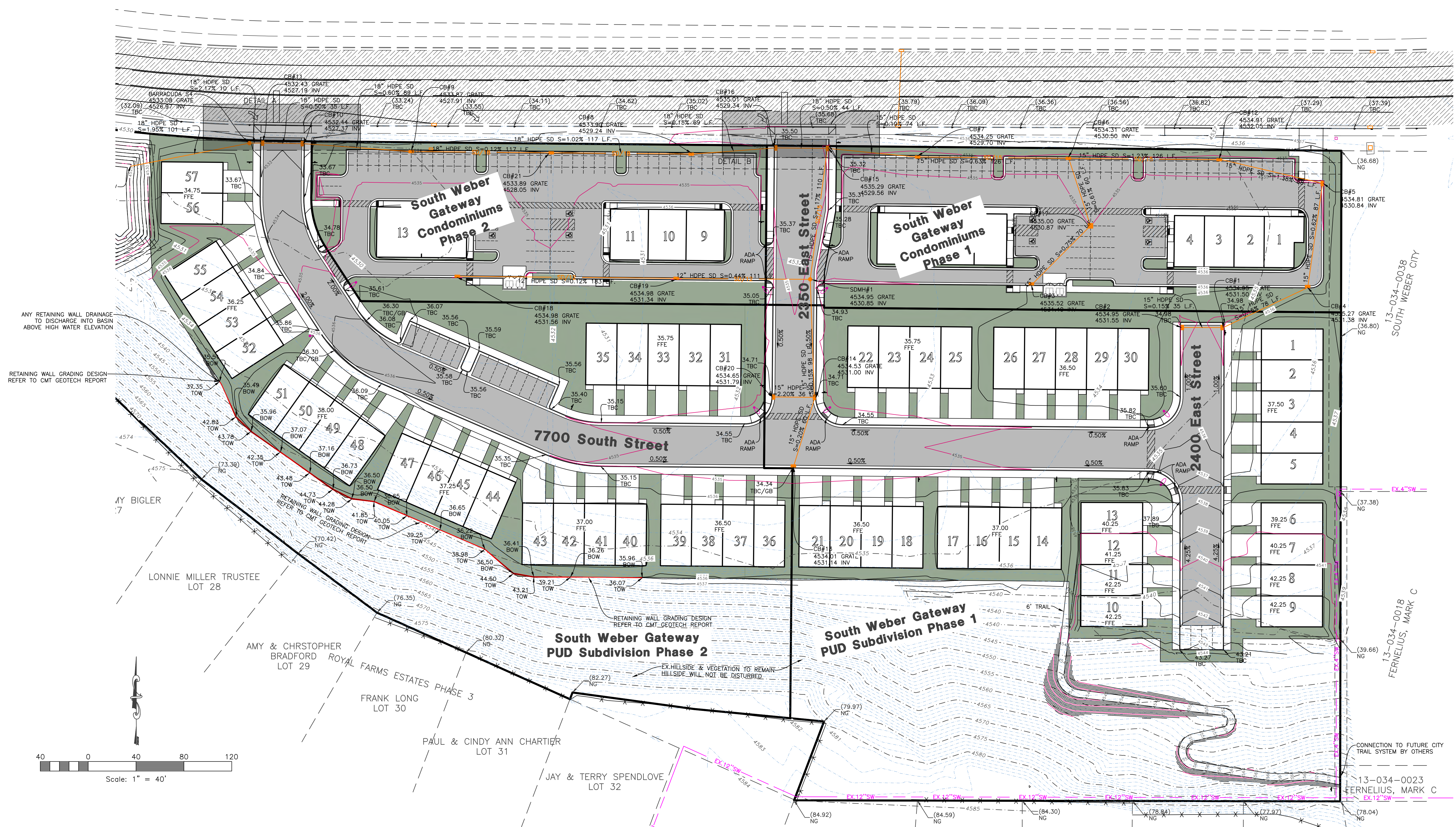
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DATE	

**South Weber Gateway
 PUD Subdivision Plans**
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH

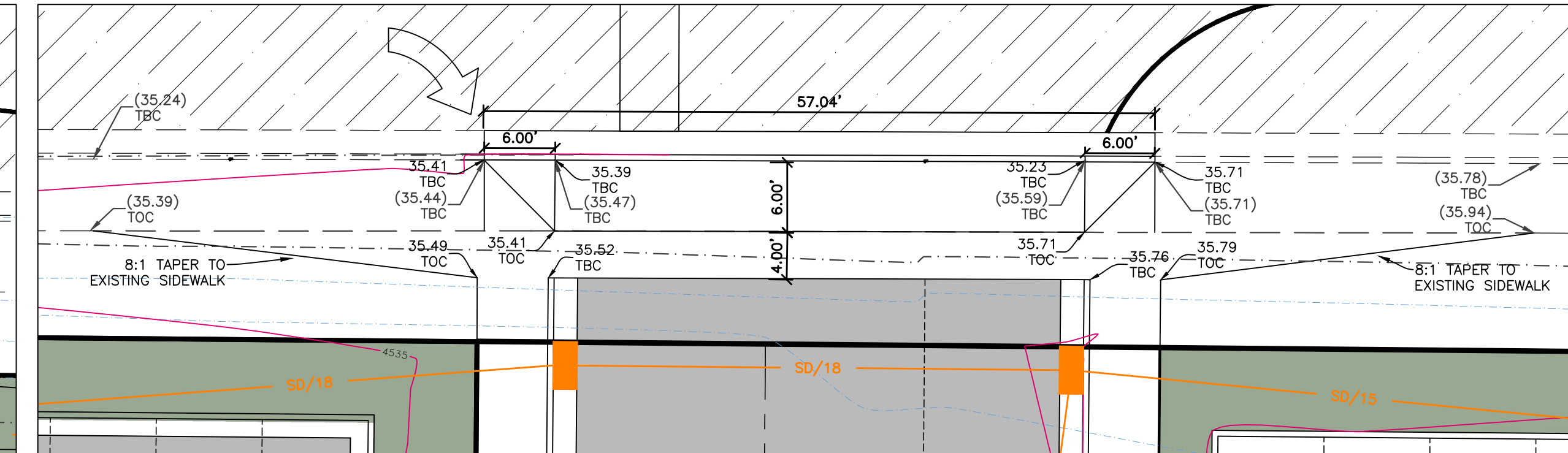
Grading & Drainage Plan



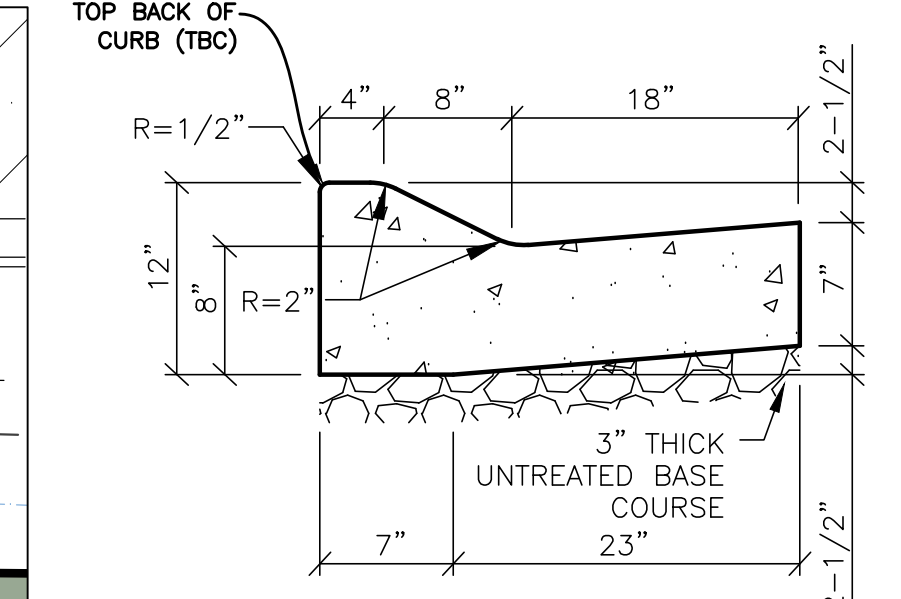
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Detail A
 SCALE: 1:10

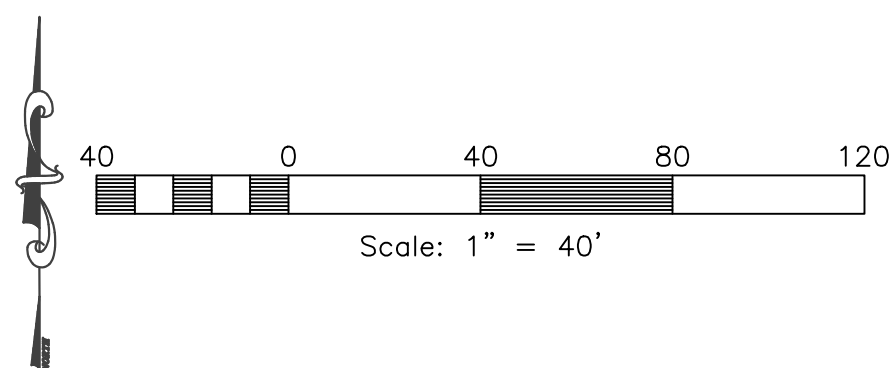


Detail B
 SCALE: 1:10

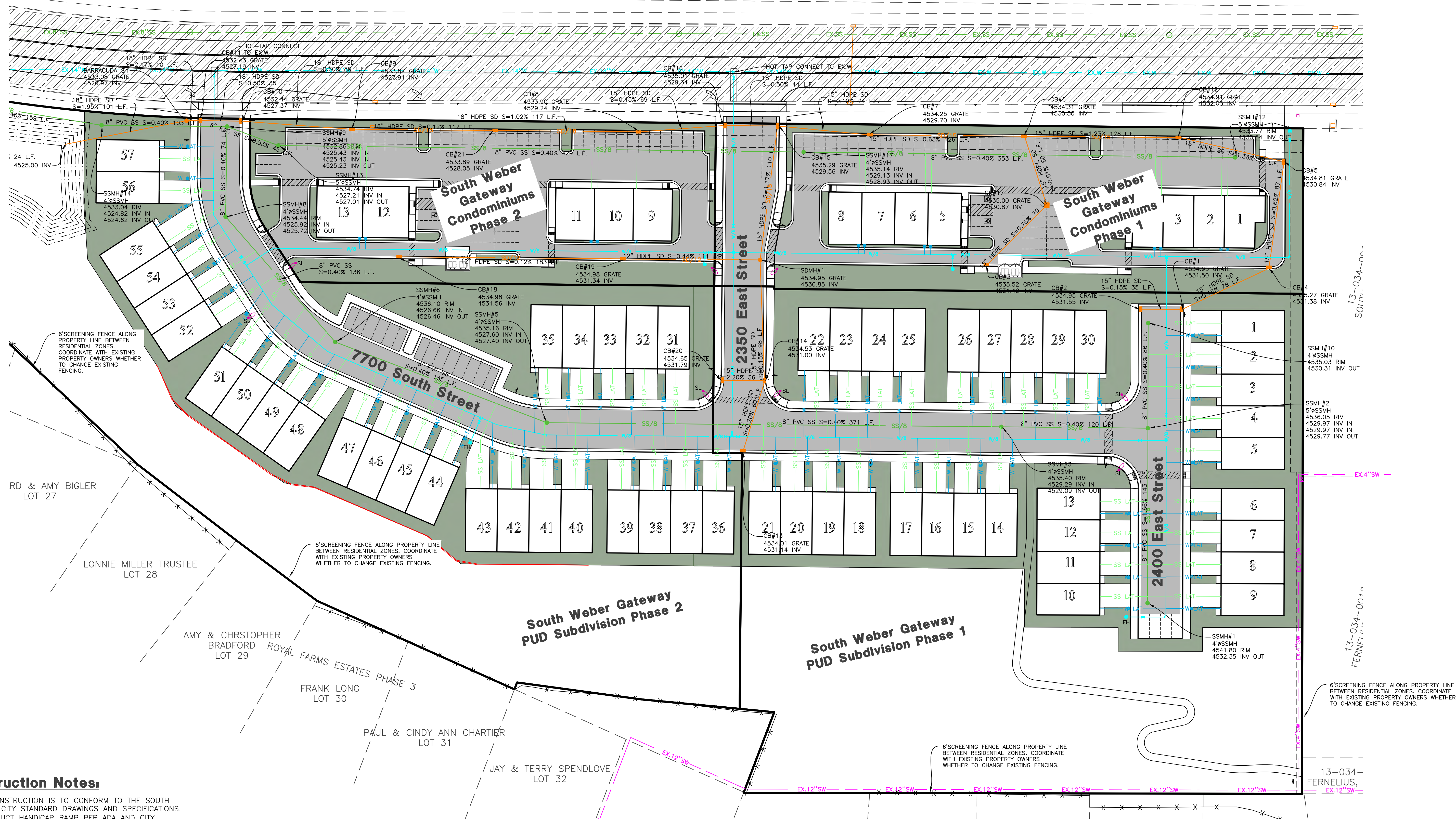


30' Mountable Curb & Gutter
 SCALE: NONE

CURBING WITHIN THE R7 CONSTRUCTION PLANS TO BE 30" MOUNTABLE CURB & GUTTER



South Weber Drive (SR-60)



Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE SOUTH WEBER CITY STANDARD DRAWINGS AND SPECIFICATIONS.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

CULINARY WATER

WATERLINE MAINS WILL BE PUBLIC. ALL OTHERS TO BE PRIVATE.
 W/8 - 8" C900 PVC DR-14 (BLUE) WATER LINE
 W - 1" TYPE K COPPER SERVICE LATERAL

SANITARY SEWER

SEWER MAINS & LATERALS TO BE PRIVATE.
 SS/4 - 4" PVC SDR 35 SERVICE LATERAL
 SS/8 - 8" PVC SDR-35 SEWER LINE

STORM DRAIN

ALL STORM DRAIN LINES AND DETENTION BASIN TO BE PRIVATE.
 SD/15 - 15" HDPE STORM DRAIN
 SD/18 - 18" HDPE STORM DRAIN

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.



REVISIONS	DESCRIPTION
DATE	

South Weber Gateway PUD Subdivision Plans

SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Utility Plan



Project Info.

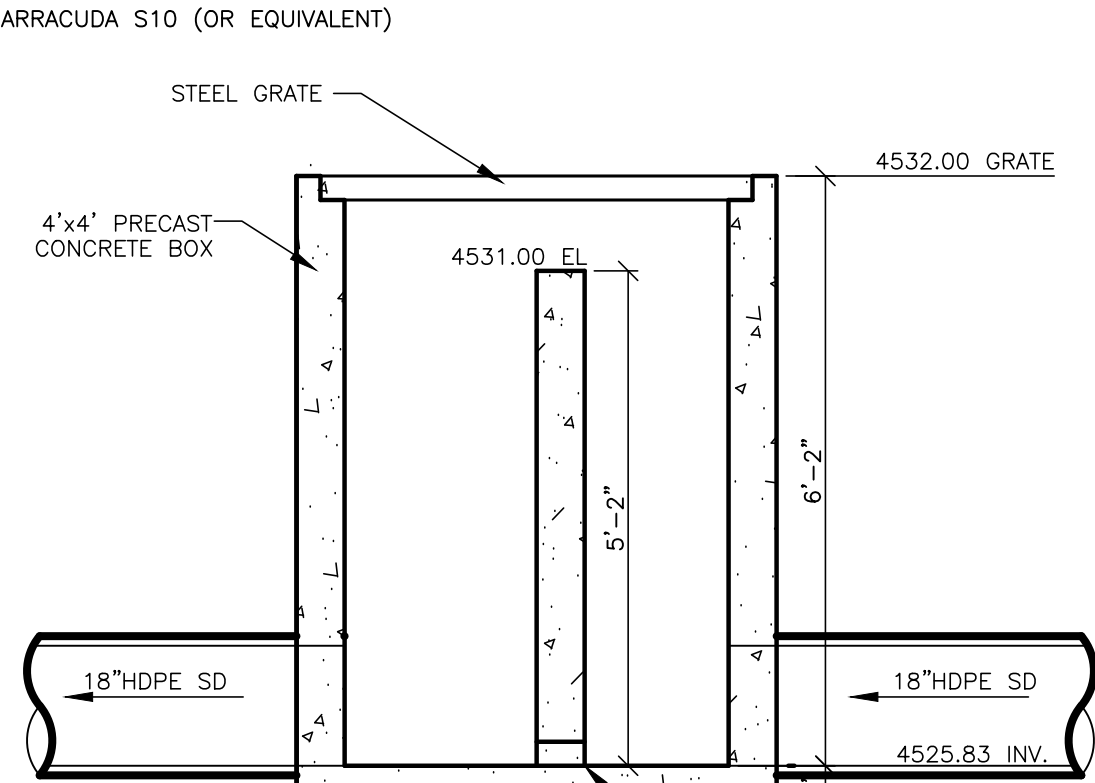
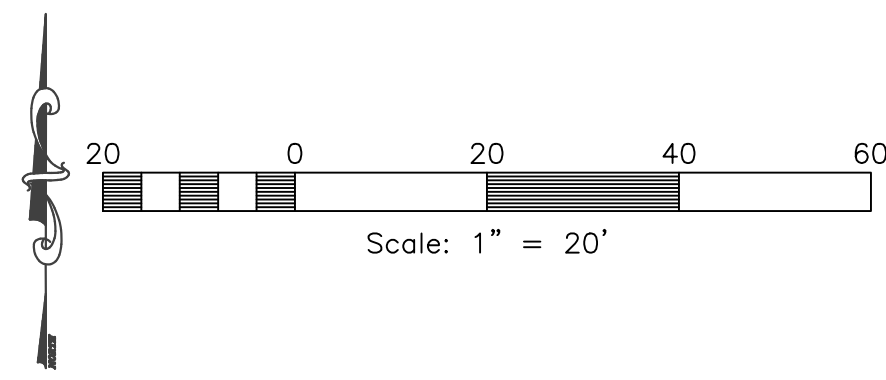
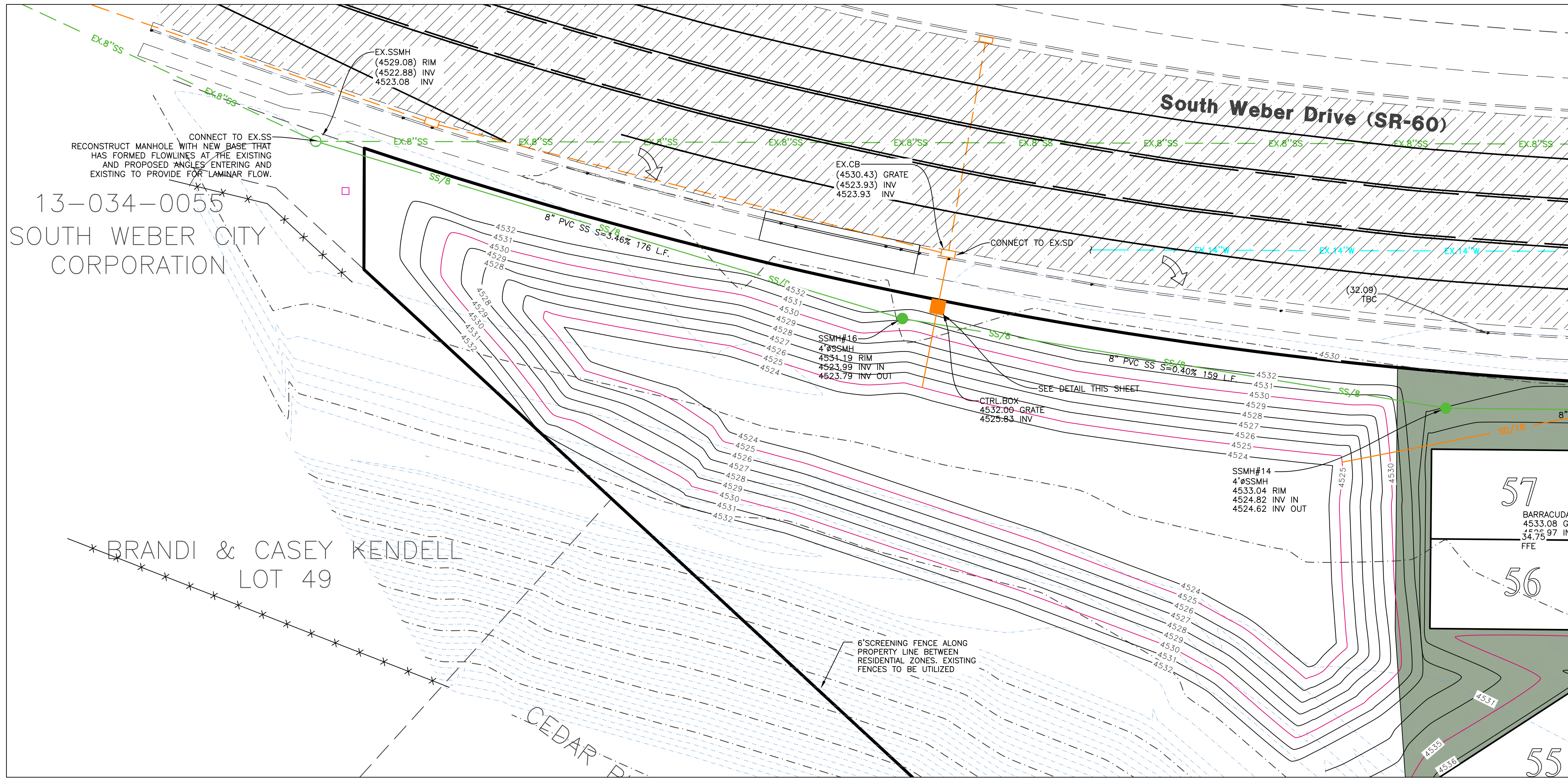
Engineer:
J. NATE REEVE, P.E.
 Drafter:
C. KINGSLEY
 Begin Date:
OCTOBER 2024
 Name:
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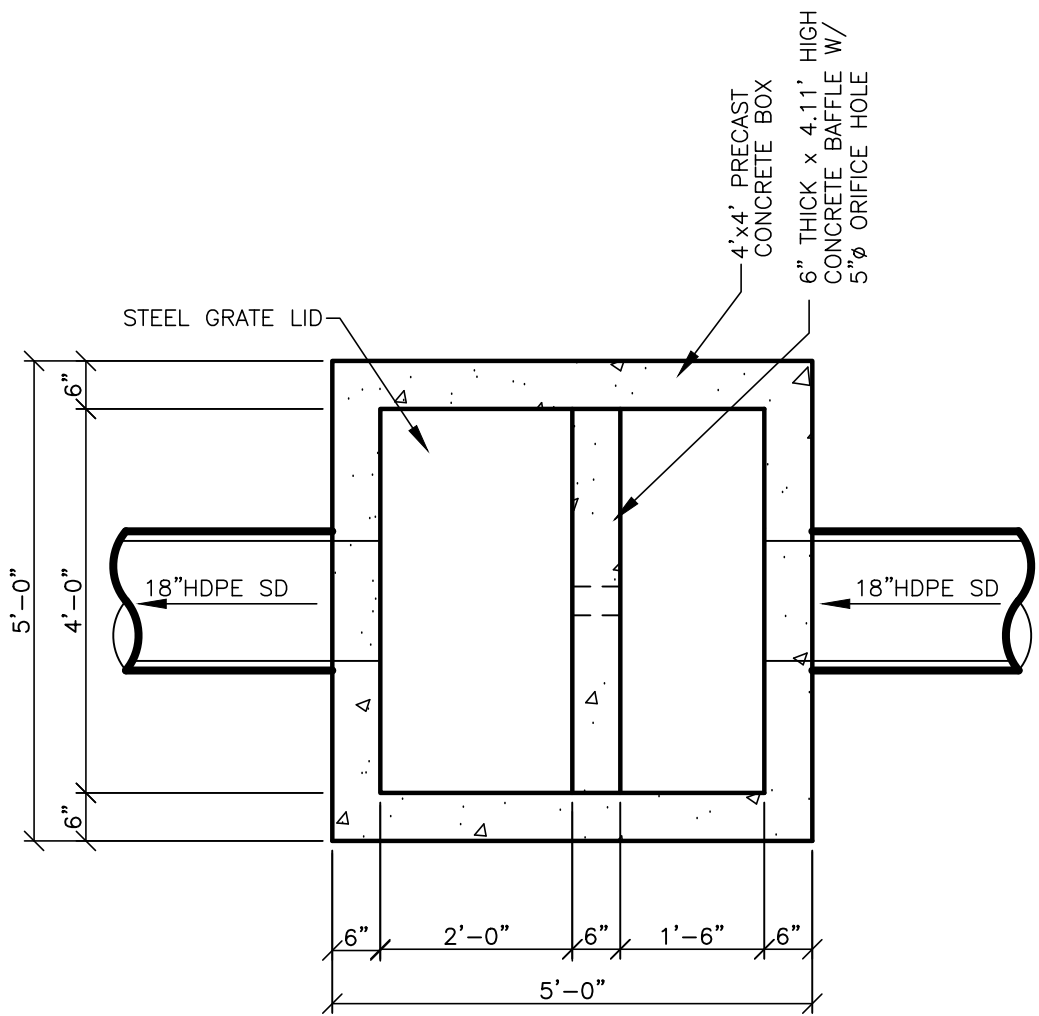
Know what's below.
Call before you dig.

5

15 Total Sheets



4'x4' Control Box Detail
SCALE: NONE



4'x4' Control Box Plan
SCALE: NONE

STAGE STORAGE TABLE				
ELEV	AREA (sq. ft.)	DEPT H (ft)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)
4,524.00	6,227.22	N/A	N/A	0.00
4,525.00	9,126.11	1.00	6358.57	13379.71
4,526.00	9,563.93	1.00	8690.91	15712.04
4,527.00	11,371.28	1.00	10454.58	26166.62
4,528.00	13,268.98	1.00	12307.93	38474.55
4,529.00	15,254.32	1.00	14250.12	52724.66
4,530.00	17,326.28	1.00	16279.31	69003.97
4,531.00	19,484.57	1.00	18394.87	87398.84
4,532.00	21,735.33	1.00	20599.70	107998.54

LID RETENTION

HIGH WATER ELEVATION



Storm Runoff Calculations South Weber Gateway

1/3/2022
3/2/2022 Revised 10/1

The following runoff calculations are based on the Rainfall - Intensity - Duration Frequency Curve for the South Weber area taken from the NOAA Atlas 14 database. Calculations have been completed for the 100-yr 24-hr storm event. Storm water runoff has been calculated for a fully developed site and limited to a release rate of 0.1 cfs/acre.

The calculations are as follows:

Drainage Area:		
Total Area =	11.64 acre or	507,182 ft ²
Runoff Coefficients		
Paved Area	174,044	C = 0.9
Roof	80,883	C = 0.9
Landscaped Area	252,455	C = 0.2
Weighted Runoff Coefficient		C = 0.55

LID Retention		
80 th Percentile Rainfall Event (d)		0.45 in
Is the site Feasible for LID?	Yes	
Site Imperviousness (I)	0.50	
NRCS Soil Group	B	
Rv Equation	0.84*1.169	
Rv (Soil Group A: 0.84*1.302; B: 0.84*1.169; C/D: 0.83*1.122)	0.38	
V _{pond} = Rv x d x Total Site SF	7,210	c.f.

Rainfall Intensities:		
2-yr intensity for a 30 minute TOC	0.97	in/hr
100-yr intensity for a 120 minute TOC	3.18	in/hr

Peak Run-off:		
Runoff Coefficient	C =	0.55
Rainfall Intensity	I =	see above
Acres	A =	11.64 ACRES
Q 2 yr	Q =	6.23 cfs
Q 100 yr	Q =	20.42 cfs

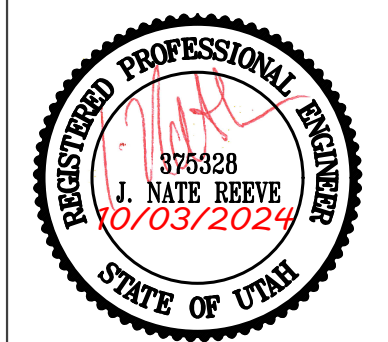
Volume of Run-off for 100-year Storm Event:

C =	0.55					
I =	See Below in/hr					
A =	507182.32 ft ²					
Q(out) =	1.16 ft ³ /s					
	(0.1 cfs per acre)					
	Q					
time (min)	time (sec)	i (in./hr.)	Q (cfs)	Vol. in (cft)	Vol. out (cft)	Difference (cft)
0	0	0.00	0.00	0	0	0
5	300	7.21	48.69	14007	349	13657
10	600	5.48	35.48	21292	699	20593
15	900	4.53	29.33	26401	1048	25353
30	1800	3.05	19.75	35551	2096	33455
60	3600	1.89	12.24	44060	4192	39868
120	7200	1.08	6.99	50354	8383	41971
180	10800	0.74	4.79	51683	12575	39108
360	21600	0.41	2.65	57208	25150	32058
720	43200	0.25	1.63	70216	50299	19917
1440	86400	0.14	0.91	78329	100598	-22269

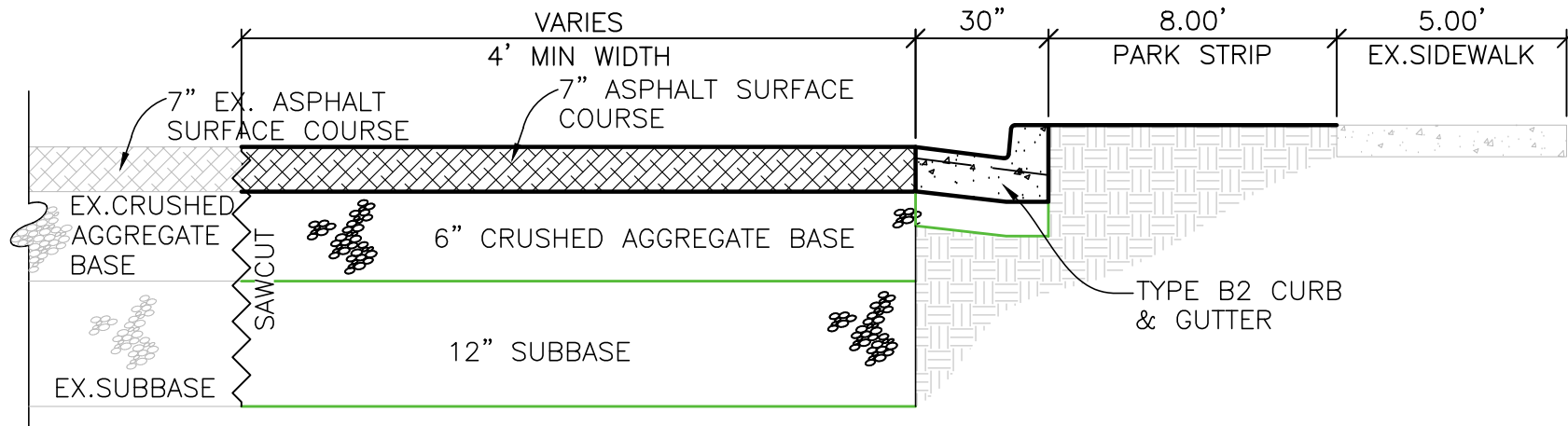
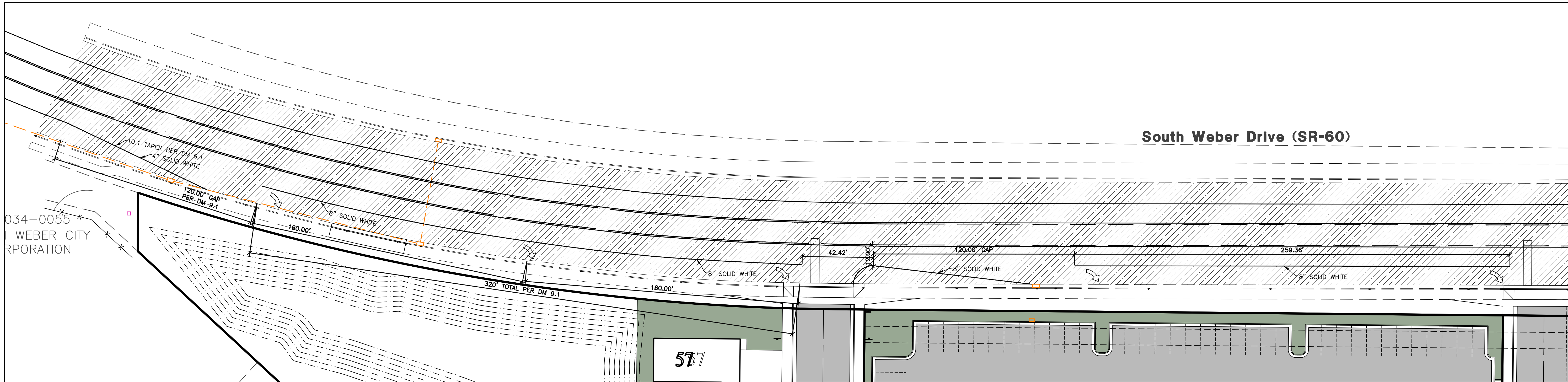
Orifice Sizing		
Given:	Q =	1.16 cfs
	2g =	64.4 ft/s ²
	H =	3.00 ft
	Cd =	0.62
	R =	SQRT(Q/(10.7*(64.4*H*0.5)))
	R =	0.21 feet
	D =	2.49 inches
	D =	4.98 inches
	A =	19.47 inches ²
		0.1352 ft ²

SUMMARY:		
The required 100-yr storage volume is	41,971	cubic feet
The required LID Retention volume is	7,210	cubic feet
Orifice size is	5.0	inches

REVISIONS	DESCRIPTION
DATE	



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1. MIX DESIGN ASPHALT CONFORMING TO UDOT SPECIFICATIONS 02741
2. SAWCUT AND TACK COAT VERTICAL CUTS IN ASPHALT PER UDOT SPECIFICATION 027055 PAVEMENT CUTTING

UDOT Street Detail

SCALE: NONE

UDOT NOTE:
REPAIR OR REPLACE ANY DAMAGED CURB, GUTTER &/OR DRIVEWAY. CURB & GUTTER TO BE TYPE B1 CURB, DRIVEWAY TO BE CONSTRUCTED AS GW3A (2017 UDOT DRAWING)

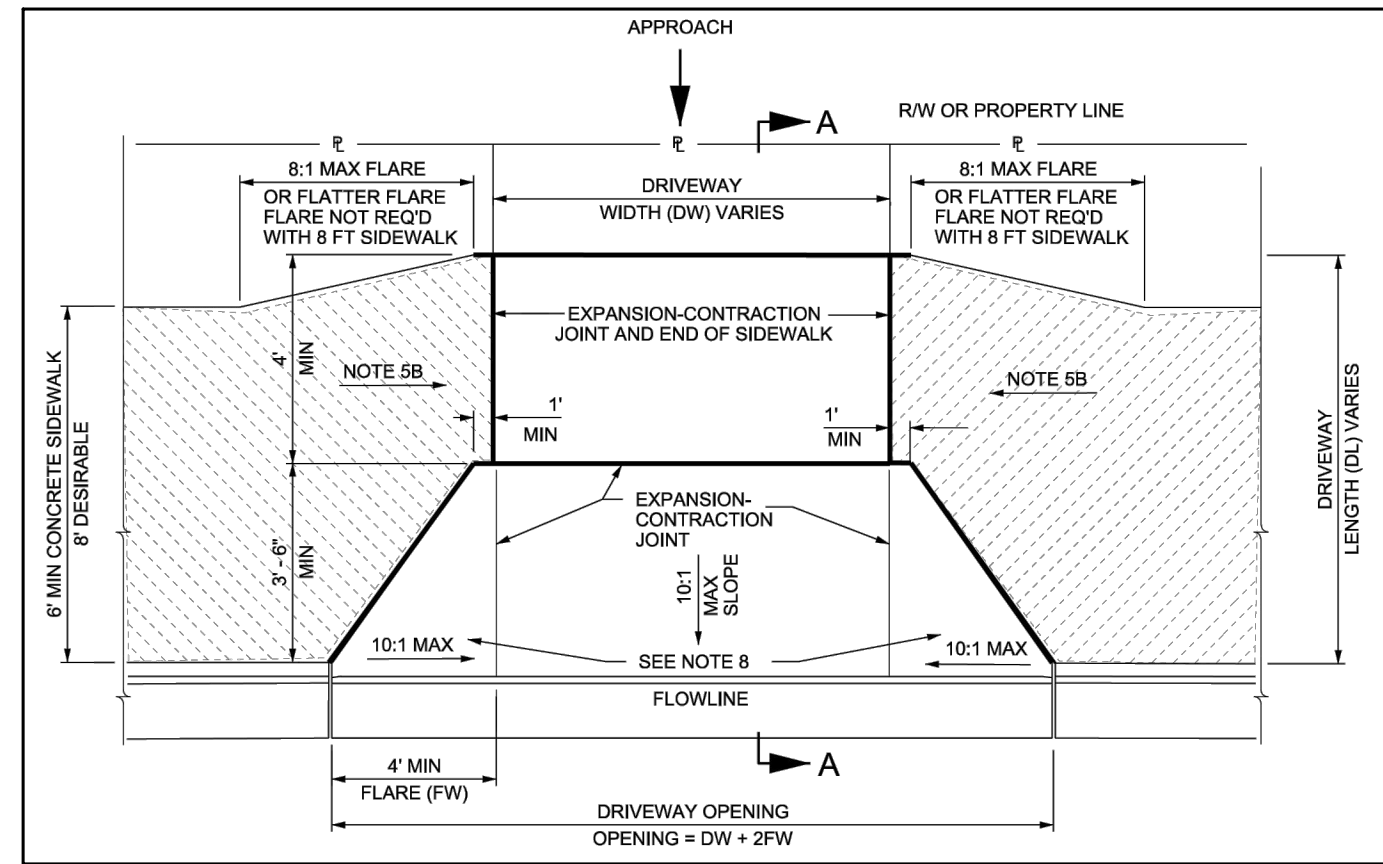
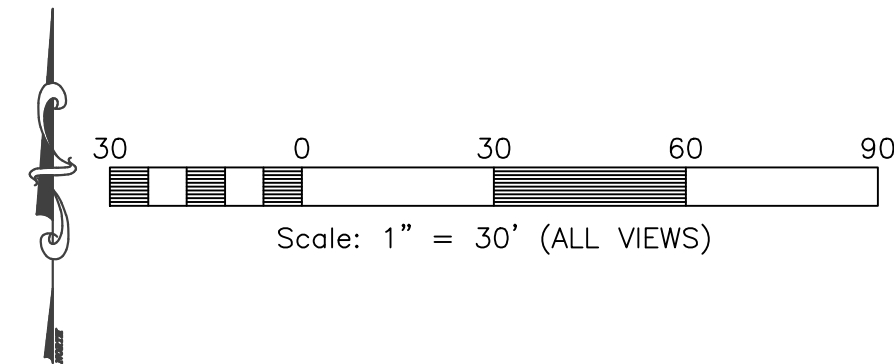
ALL TRENCHES TO BE REPAIRED AS A T-PATCH W/ ASPHALT THE GREATER OF 7" OR TO MATCH EXISTING IN LIFTS NO GREATER THAN 3". 10' ON EACH SIDE OF TRENCH TO BE MILLED 2" DEEP AND REPAVED AS A SINGLE PATCH.

UTILITY WORK REQUIRES SEPARATE PERMITTING, CONTRACTOR TO APPLY DIRECTLY W/ UDOT AT LEAST 30 DAYS IN ADVANCE.

ANY DAMAGED PAINT STRIPING DURING CONSTRUCTION MUST BE REDONE.

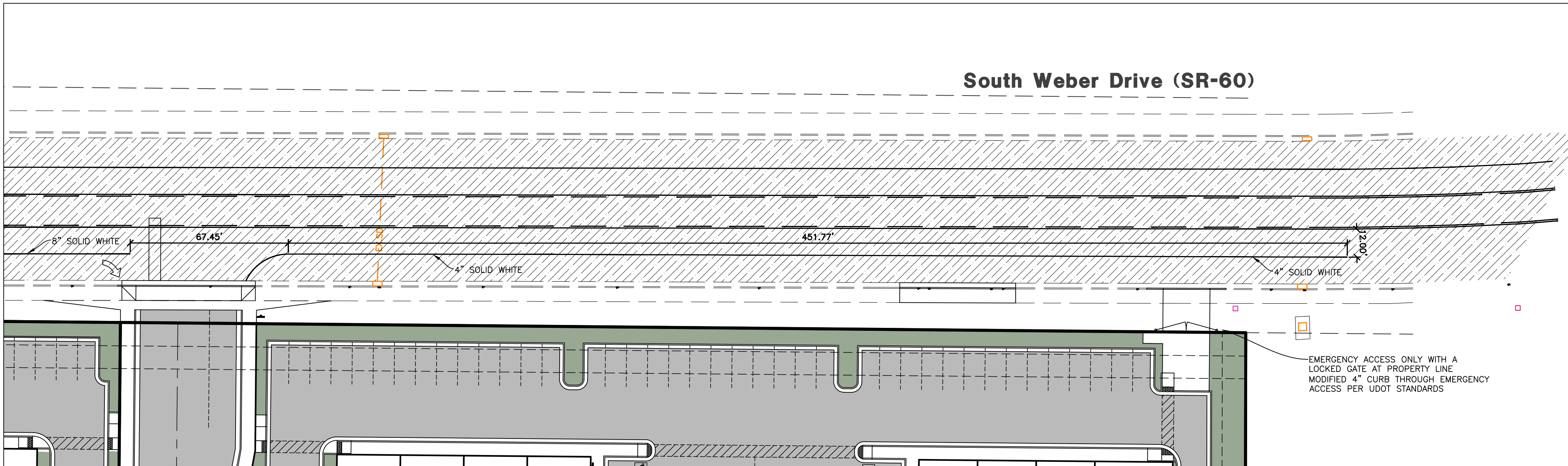
UDOT Notes:

1. ALL CONSTRUCTION WITHIN THE UDOT RIGHT-OF-WAY SHALL CONFORM TO THE MOST CURRENT UDOT STANDARD (INCLUDING SUPPLEMENTAL) DRAWINGS AND SPECIFICATIONS.
2. THE CONTRACTOR IS TO OBTAIN AN ENCROACHMENT PERMIT FROM THE APPLICABLE UDOT REGION PERMIT OFFICE PRIOR TO COMMENCING WORK WITHIN UDOT RIGHT-OF-WAY. WORKING HOUR LIMITATIONS WILL BE LISTED IN THE LIMITATION SECTION OF THE ENCROACHMENT PERMIT.
3. UDOT RESERVES THE RIGHT, AT ITS OPTION, TO INSTALL A RAISED MEDIAN ISLAND OR RESTRICT THE ACCESS TO A RIGHT-IN OR RIGHT-OUT AT ANY TIME.
4. OWNER, DEVELOPER, AND CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGES DIRECTLY OR INDIRECTLY WITHIN THE UDOT RIGHT-OF-WAY AS A RESULT OF DEVELOPMENT ACTIVITIES.
5. OWNER, DEVELOPER, AND/OR CONTRACTOR IS REQUIRED TO HIRE AN INDEPENDENT COMPANY FOR ALL TESTING WITHIN THE UDOT RIGHT-OF-WAY.
6. ALL SIGNS INSTALLED ON THE UDOT RIGHT-OF-WAY MUST BE HIGH INTENSITY GRADE (TYPE XI SHEETING) WITH A B3 SLIP BASE. INSTALL ALL SIGNS PER UDOT SN SERIES STANDARD DRAWINGS.
7. COMPLY WITH THE REQUIREMENTS OF UTAH CODE 17-23-14 (DISTURBED CORNERS - COUNTY SURVEYOR TO BE NOTIFIED - COORDINATION WITH CERTAIN STATE AGENCIES).

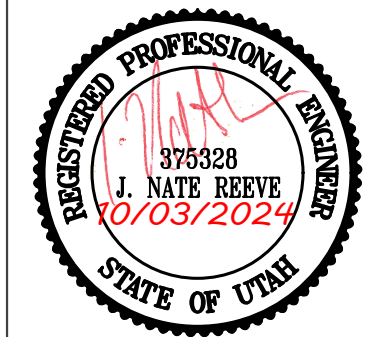


UDOT Flared Driveway With Adjacent Sidewalk Detail

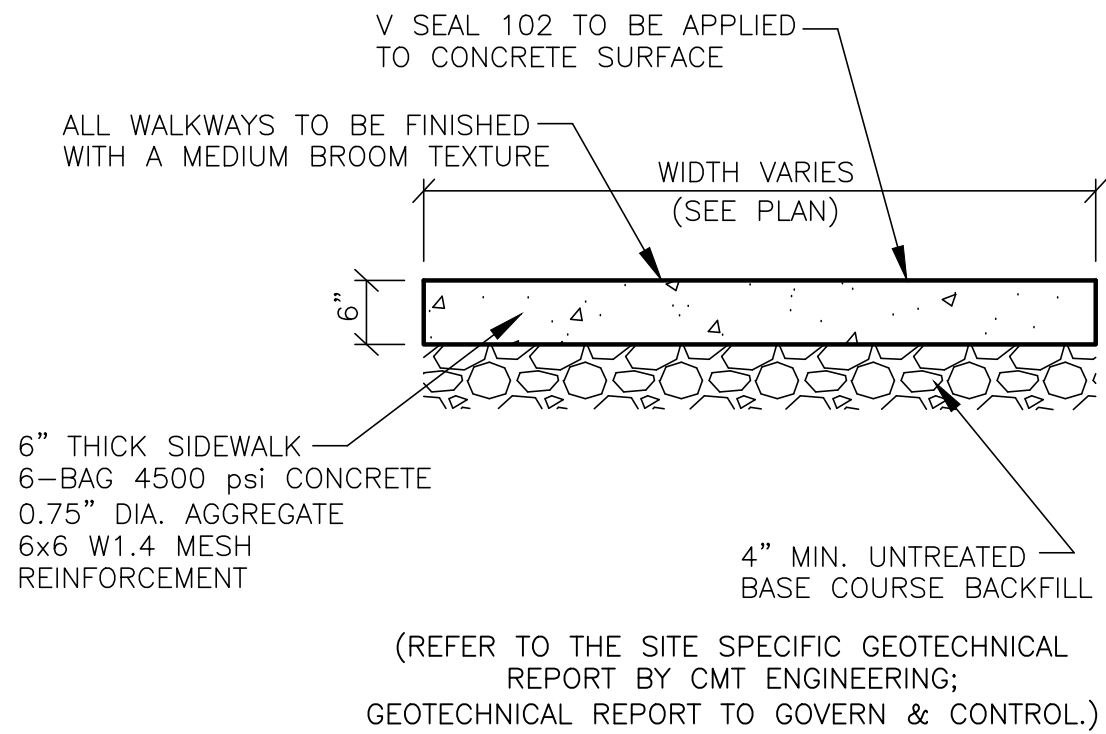
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REVISIONS	DESCRIPTION
DATE	

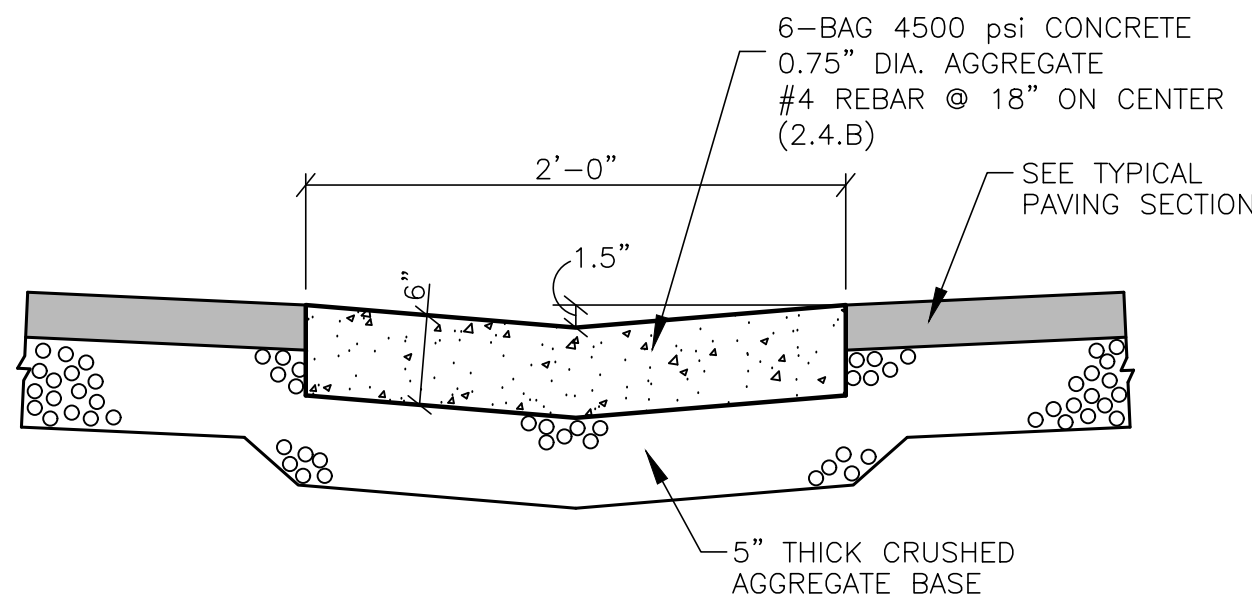


Project Info.	
Engineer:	J. NATE REEVE, P.E.
Drafter:	C. KINGSLEY
Begin Date:	OCTOBER 2024
Name:	SOUTH WEBER GATEWAY PUD SUBDIVISION PLANS
Number:	7037-12



Concrete Walkway

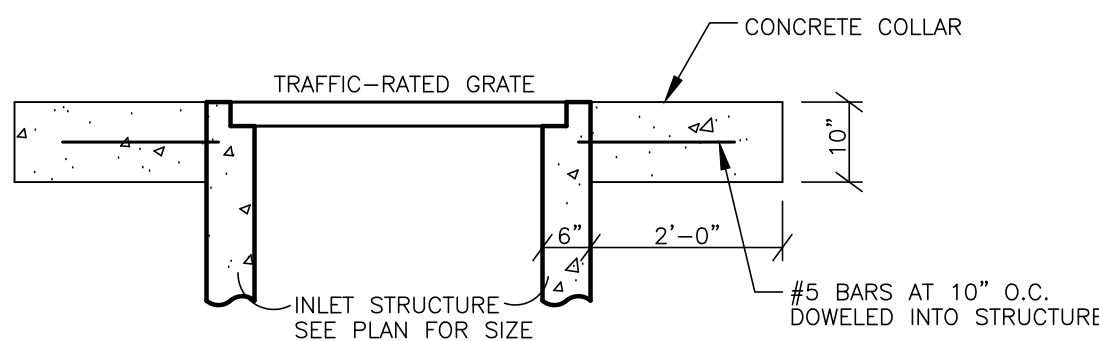
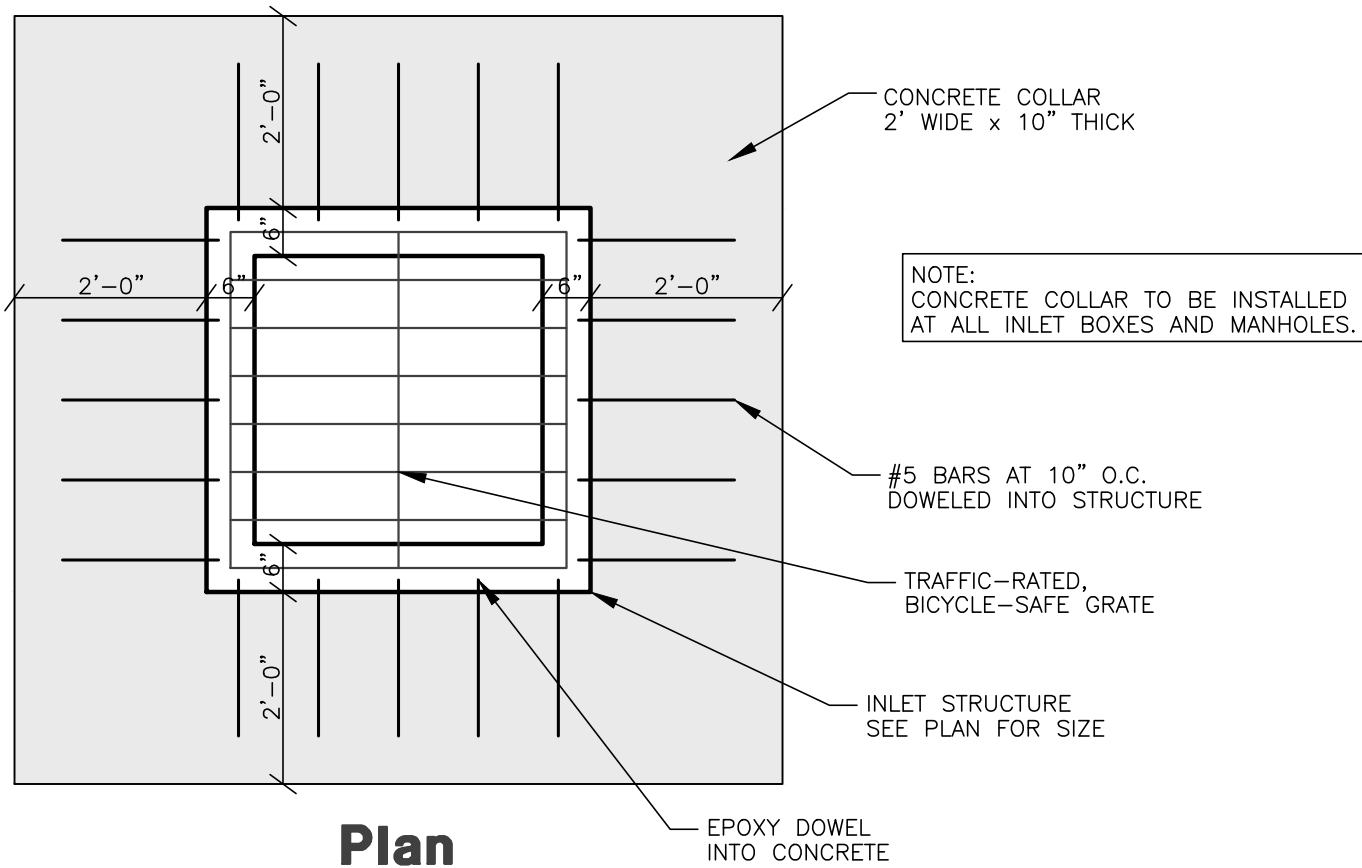
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(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT BY CMT ENGINEERING; GEOTECHNICAL REPORT TO GOVERN & CONTROL.)

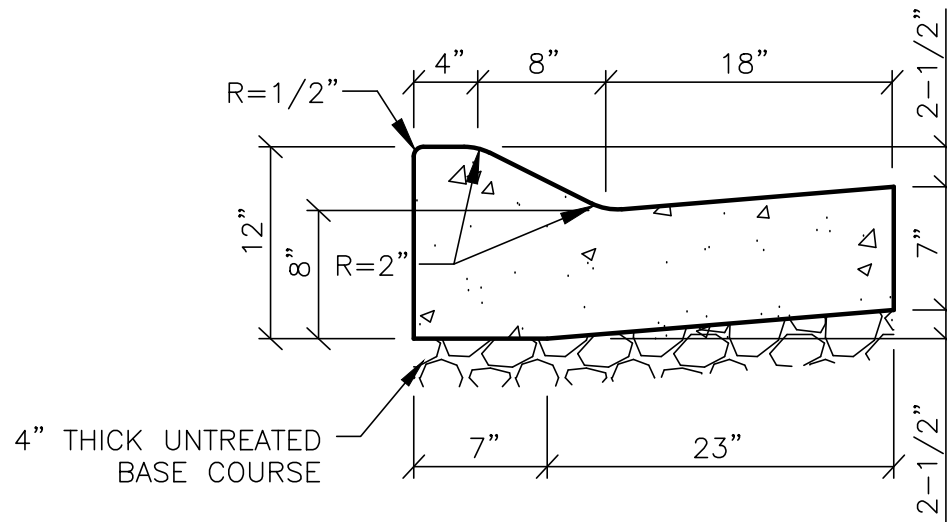
2' Concrete Waterway

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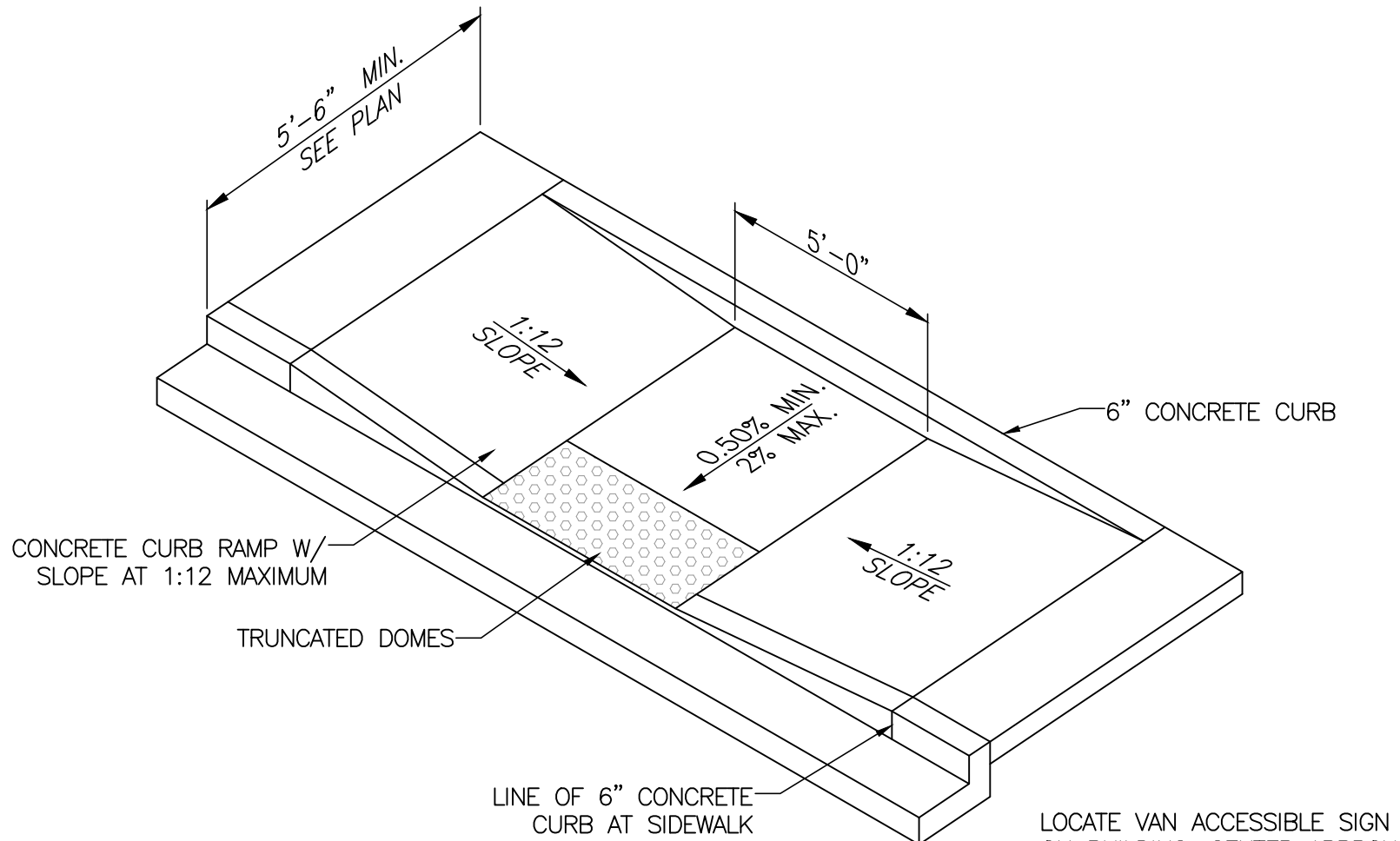
Concrete Collar Detail

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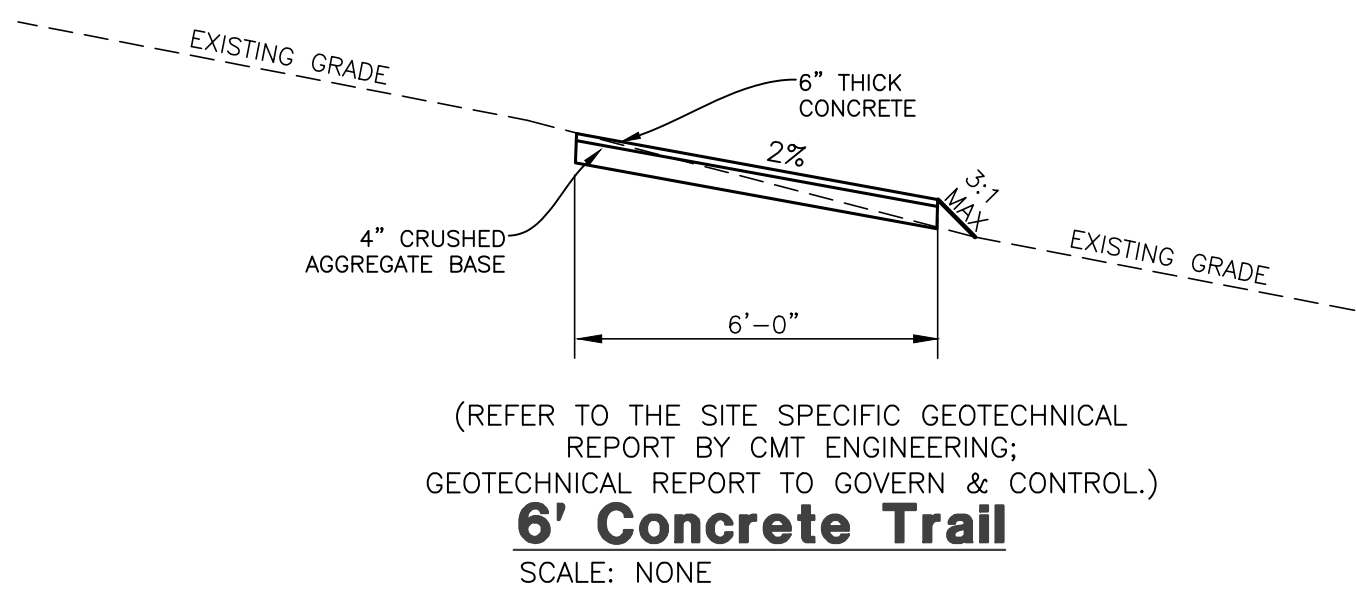
30' Mountable Curb & Gutter

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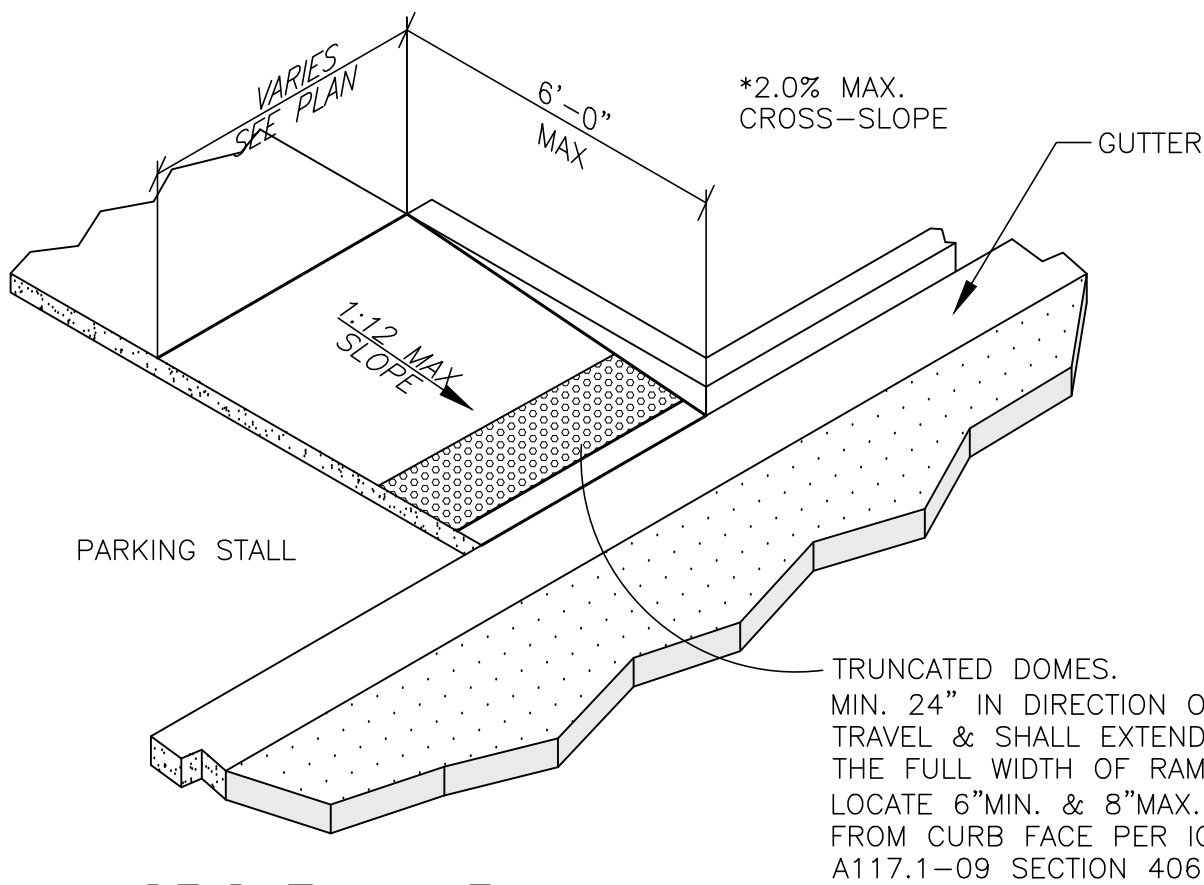
ADA Ramp Detail

SCALE: NONE
REFERENCE APWA STANDARD PLAN NO. 236



6' Concrete Trail

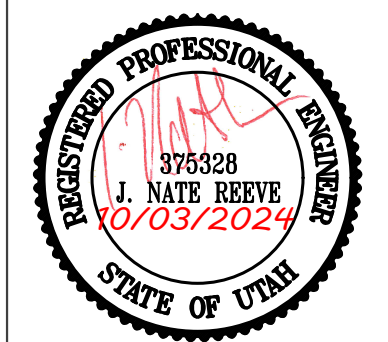
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ADA Ramp Detail

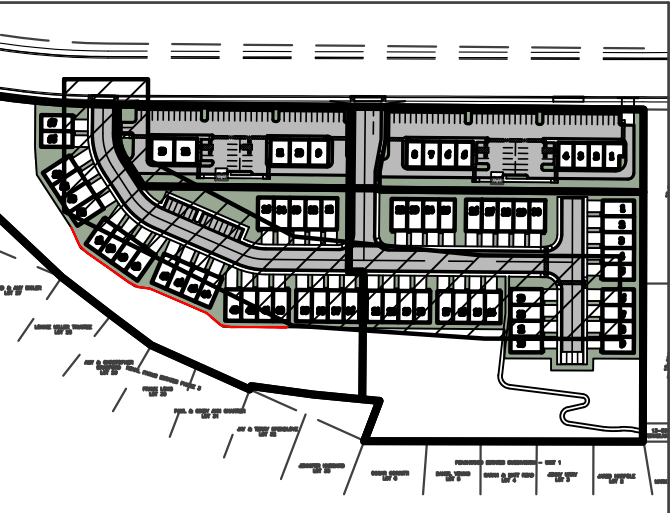
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Key Map
NOT TO SCALE



Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 671-3100 www.reeve.co

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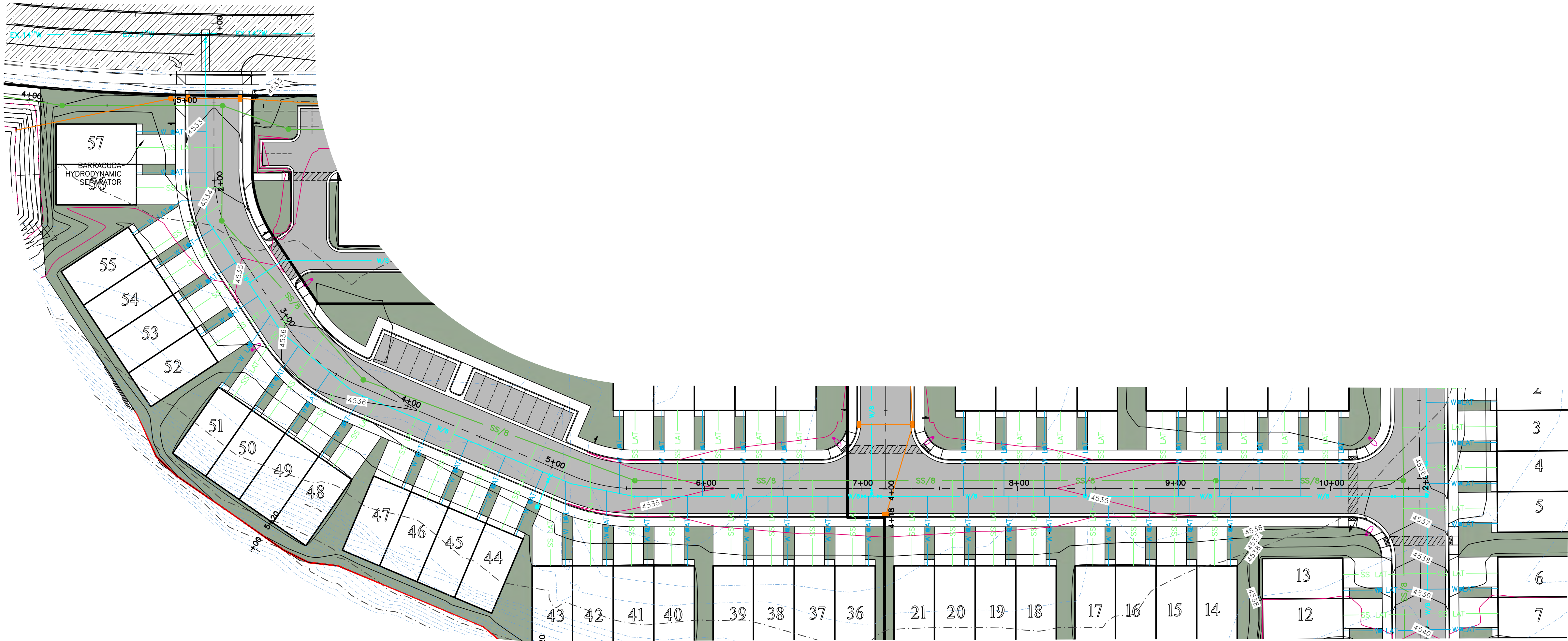
REVISIONS	DESCRIPTION
DATE	

**South Weber Gateway
PUD Subdivision Plans**
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

7700 South Street 1+00.00 - 11+00.00

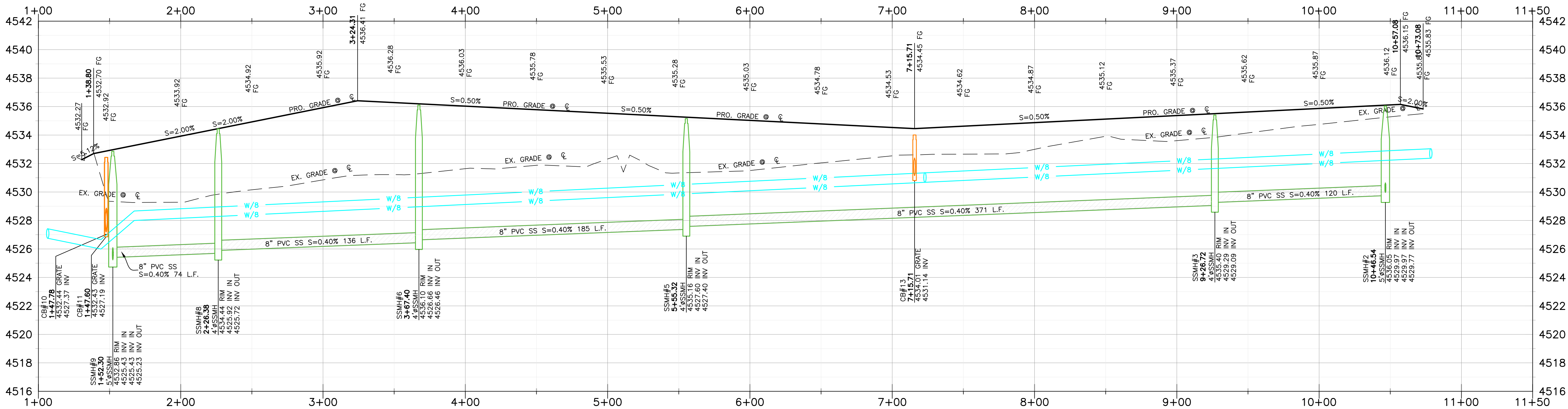


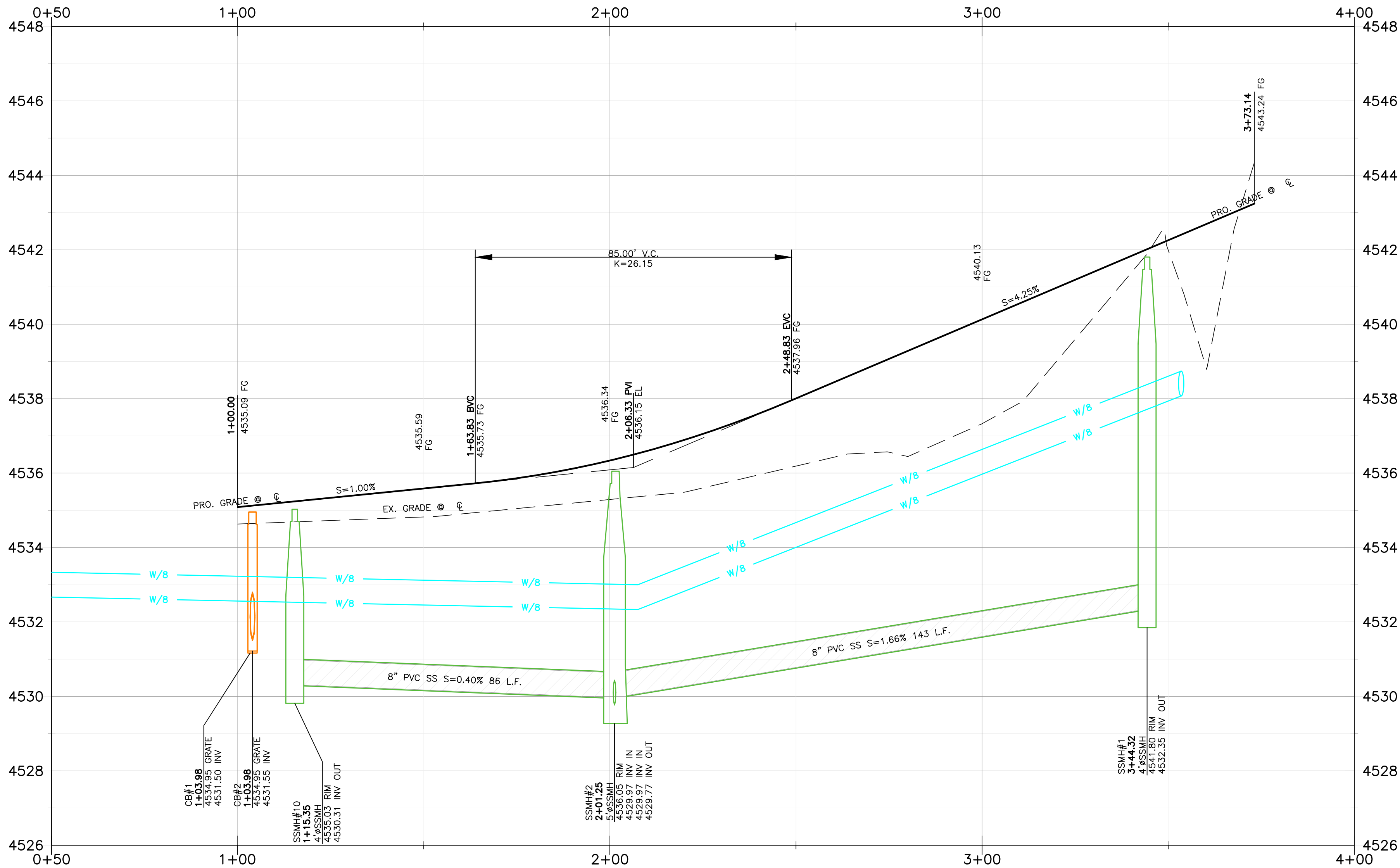
Project Info.
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PLANS
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**7700 South Street
1+00.00 - 11+00.00**

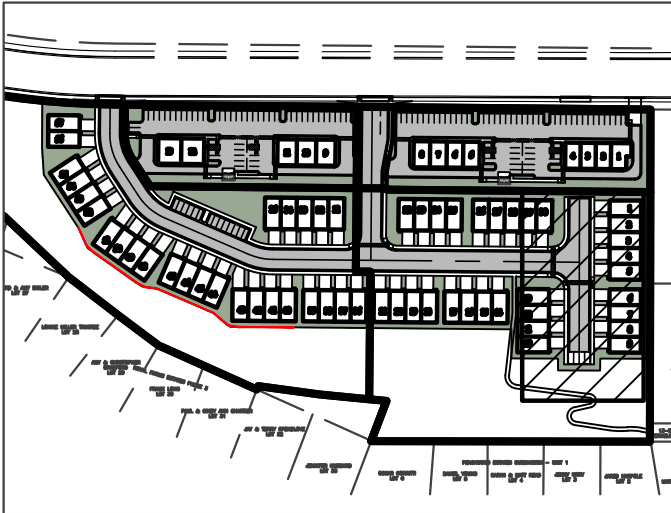
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Vertical Scale: 1" = 4'





Key Map

NOT TO SCALE



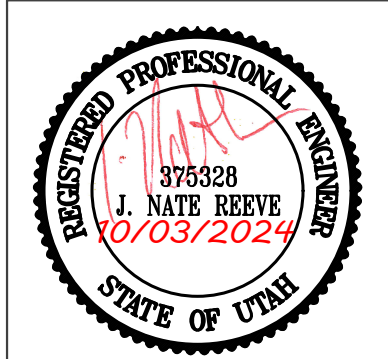
Reeve & Associates, Inc.
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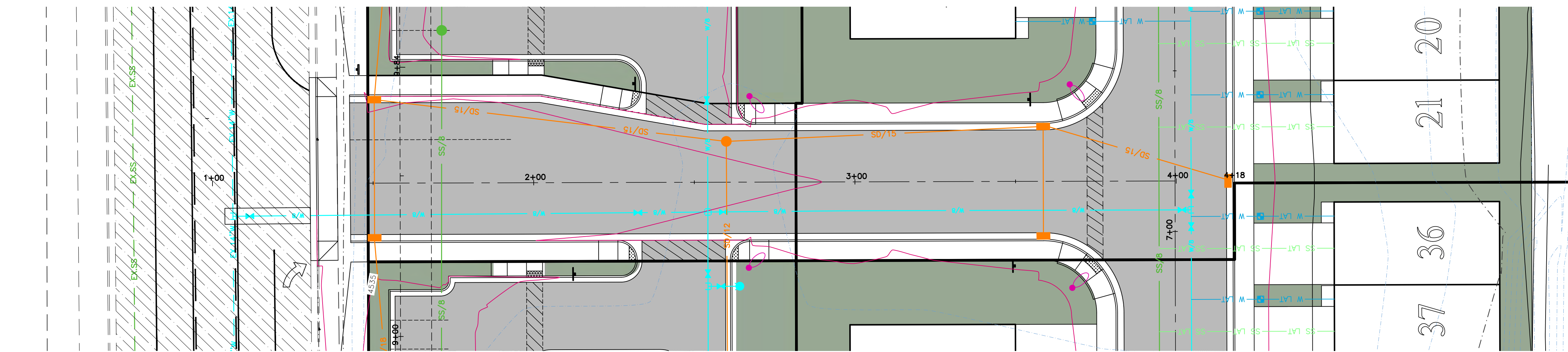
**South Weber Gateway
PUD Subdivision Plans**
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

2400 East Street 0+50.00 - 4+00.00

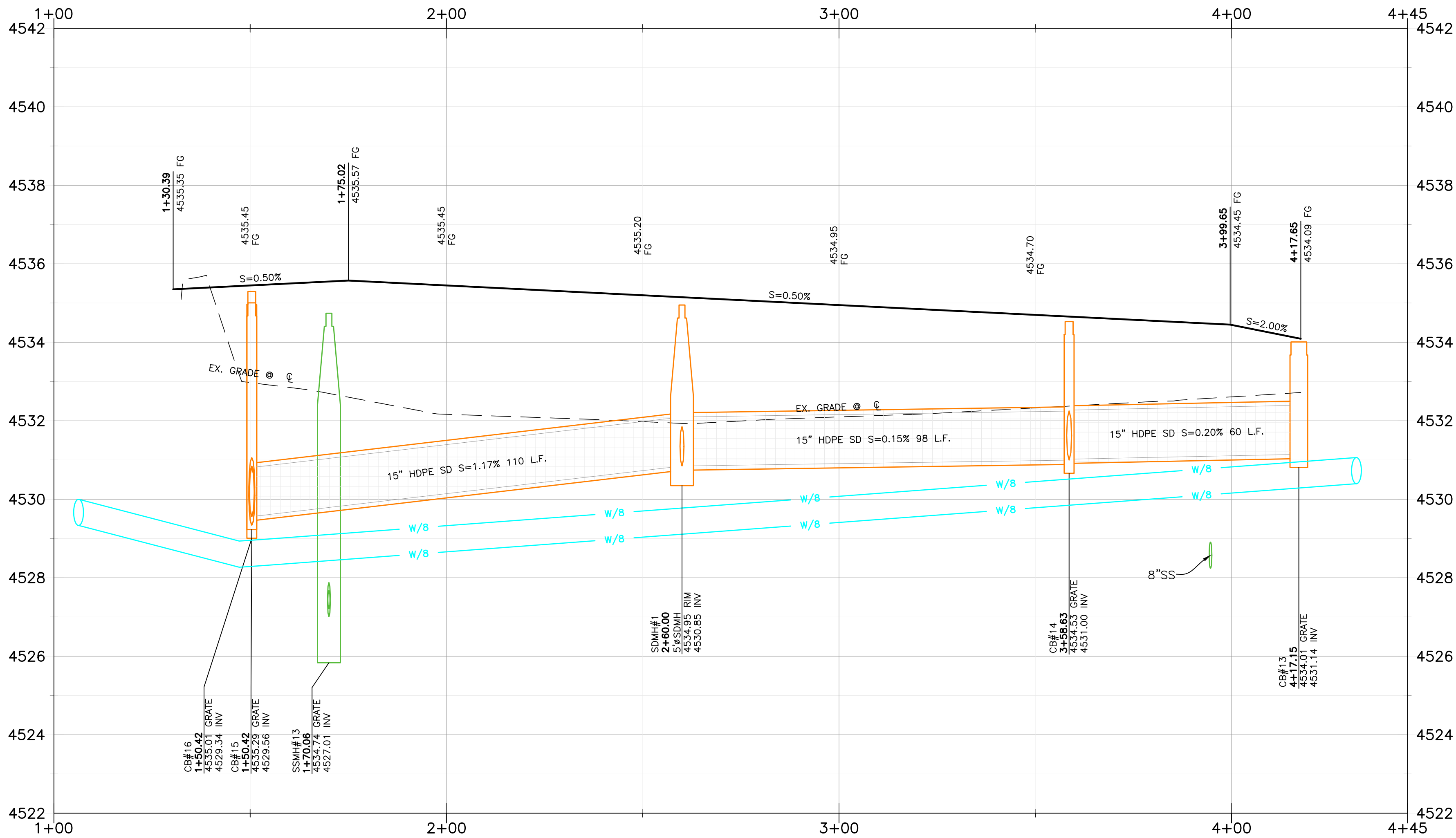
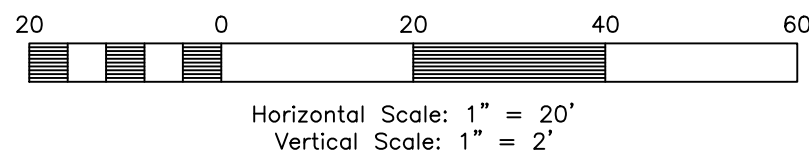


Project Info.
Engineer: J. NATE REEVE, P.E.
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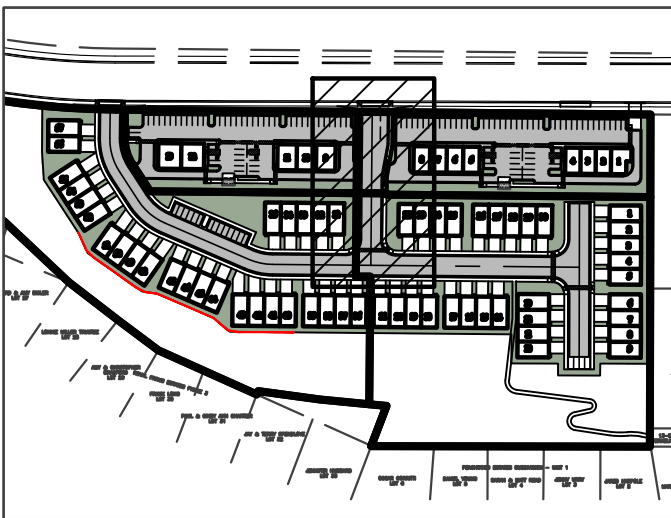


2350 East Street 1+00.00 - 4+45.00



Key Map

NOT TO SCALE



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5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
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**South Weber Gateway
PUD Subdivision Plans**
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

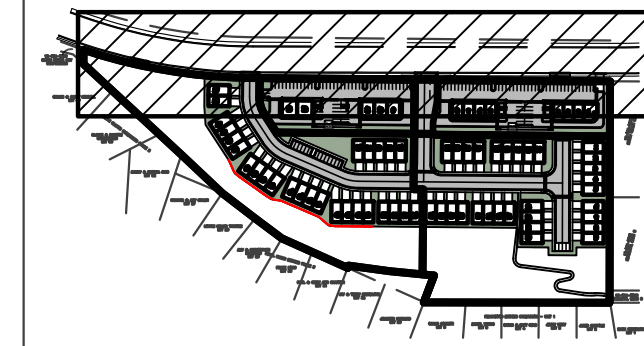
2350 East Street 1+00.00 - 4+45.00



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Name: SOUTH WEBER GATEWAY PUD SUBDIVISION PLANS
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Key Map
NOT TO SCALE



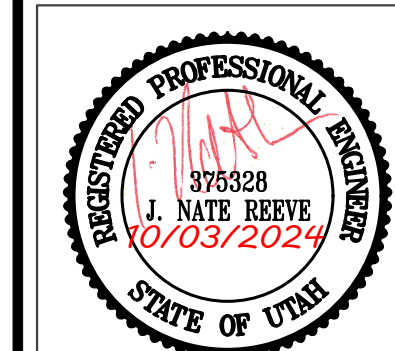
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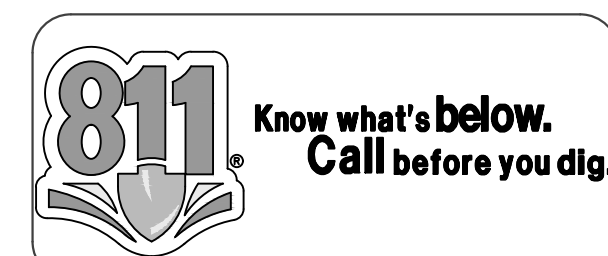
REVISIONS	DESCRIPTION
DATE	

**South Weber Gateway
PUD Subdivision Plans**
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

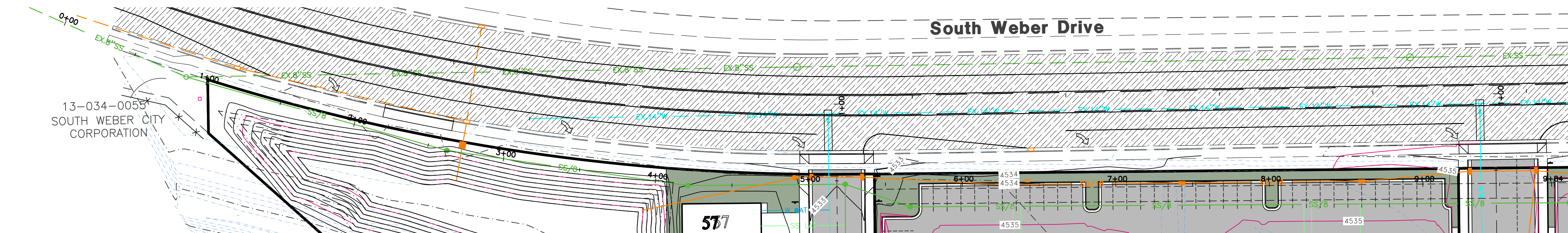
Utility Outfall 0+00.00 - 9+50.00



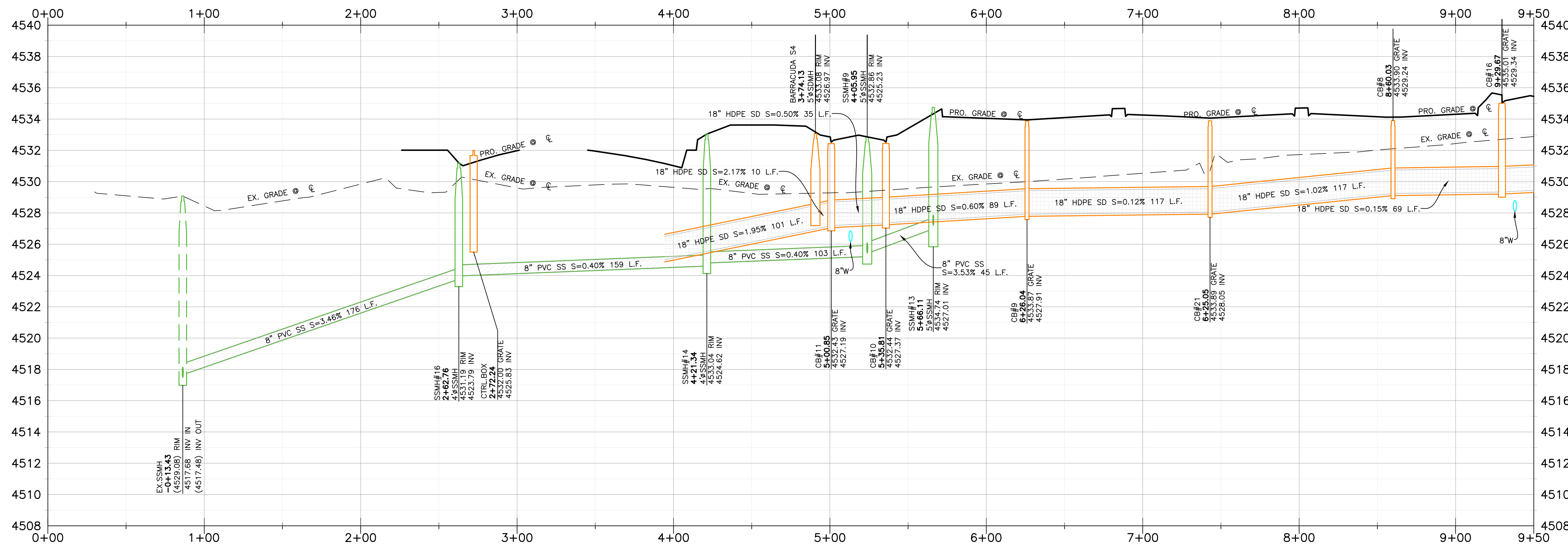
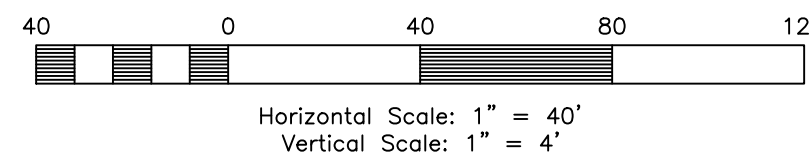
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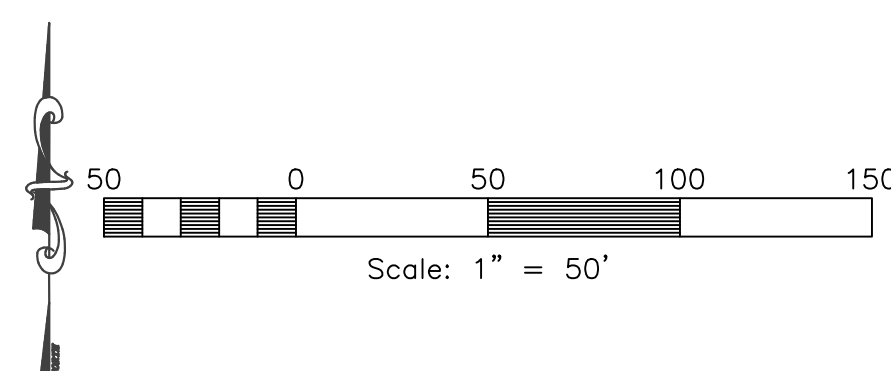


12
15 Total Sheets



Utility Outfall 0+00.00 - 9+50.00





- PROJECT LOCATION.....SOUTH WEBER CITY, DAVIS COUNTY, UTAH

- PROJECT BEGINNING DATE.....OCTOBER 2024

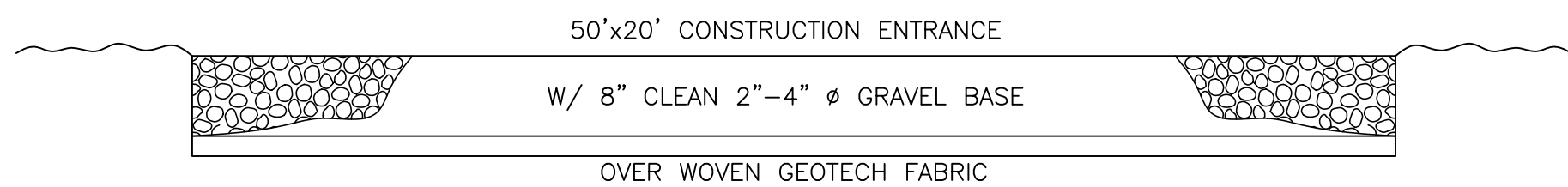
- BMP'S DEPLOYMENT DATE.....OCTOBER 2024

- STORM WATER MANAGEMENT CONTACT / INSPECTOR.....JUSTIN NIELSEN (801) 668-8778

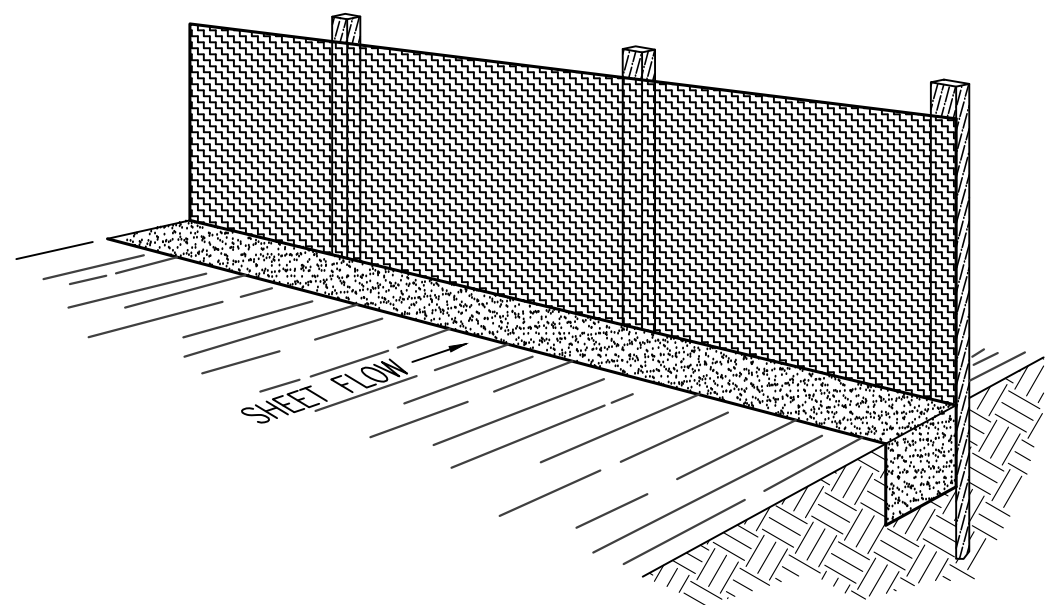
- SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER

Notes:

- Describe all BMP's to protect storm water inlets:
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
- Describe BMP's to eliminate/reduce contamination of storm water from:
 - Equipment / building / concrete wash areas:
To be performed in designated areas only and surrounded with silt fence barriers.
 - Soil contaminated by soil amendments:
If any contaminates are found or generated, contact environmental engineer and contacts listed.
 - Areas of contaminated soil:
If any contaminates are found or generated, contact environmental engineer and contacts listed.
 - Fueling area:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle maintenance areas:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle parking areas:
To be performed in designated areas only and surrounded with silt fence.
 - Equipment storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Materials storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Waste containment areas:
To be performed in designated areas only and surrounded with silt fence.
 - Service areas:
To be performed in designated areas only and surrounded with silt fence.
- BMP's for wind erosion:
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion
- Construction Vehicles and Equipment:
 - Maintenance
 - Maintain all construction equipment to prevent oil or other fluid leaks.
 - Keep vehicles and equipment clean, prevent excessive build-up of oil and grease.
 - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
 - Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
 - Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.
 - Fueling
 - If fueling must occur on-site, use designated areas away from drainage.
 - Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
 - Cover retention area with an impervious material and install in in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
 - Use drip pans for any oil or fluid changes.
 - Washing
 - Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
 - If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
 - Use phosphate-free, biodegradable soaps.
 - Do not permit steam cleaning on-site.
- Spill Prevention and Control
 - Minor Spills:
Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
 - Contain the spread of the spill.
 - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
 - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up and properly dispose of contaminated soil.
 - If the spill occurs during rain, cover the impacted area to avoid runoff.
 - Record all steps taken to report and contain spill.
 - Major Spills:
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
- Post Roadway / Utility Construction
 - Maintain good housekeeping practices.
 - Enclose or cover building material storage areas.
 - Properly store materials such as paints and solvents.
 - Store dry and wet materials under cover, away from drainage areas.
 - Avoid mixing excess amounts of fresh concrete or cement on-site.
 - Perform washout of concrete trucks offsite or in designated areas only.
 - Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
 - Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
 - All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
 - Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
- Erosion Control Plan Notes
 - The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
 - A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent.
 - Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
 - Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. This should be confirmed by survey or other means acceptable to the engineer of record.
 - All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
 - Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
 - All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the engineer of record of the governing agency.
 - The placement of additional devices to reduce erosion damage within the site is left to the discretion of the engineer of record.
 - Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
 - Erosion control devices will be modified as need as the project progresses and plans of these changes submitted for approval by the engineer of record and the governing agency.
- Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
 - Part III.D.4 of general permit UTRC00000 identifies the minimum inspection requirements.
 - Part II.D.4.C identifies the minimum inspection report requirements.
 - Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 300000.



Cross Section 50' x 20' Construction Entrance



Perspective View

Figure 2

INSTALLATION

The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fences) at various site grades for most silt fence applications.

TABLE 1: Recommended Maximum Slope Lengths for Silt Fence (Richardson & Middlebrooks, 1991)		
Slope Steepness (%)	Max. Slope Length m (ft)	
<2%	30.5m (100ft)	
2-5%	22.9m (75ft)	
5-10%	15.2m (50ft)	
10-20%	7.6m (25ft)	
>20%	4.5m (15ft)	

PREFABRICATED SILT FENCE ROLLS

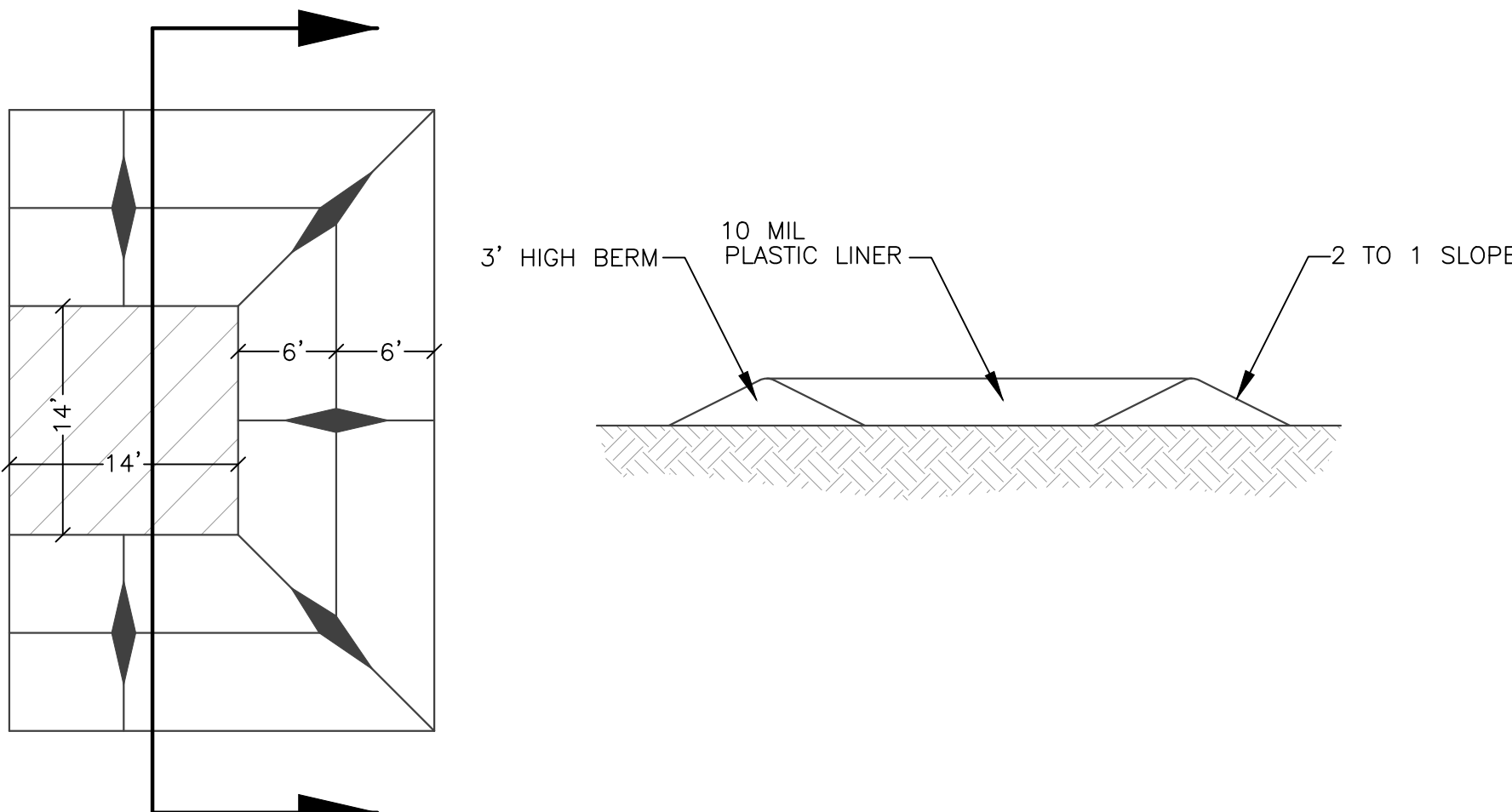
- Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- Unroll the silt fence, positioning the post against the downstream wall of the trench.
- Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then abut the end posts to create a tight seal as shown in Figure 1.
- Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
- Bury the loose geotextile at the bottom of the fence in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

FIELD ASSEMBLY:

- Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8-10ft). Post spacing

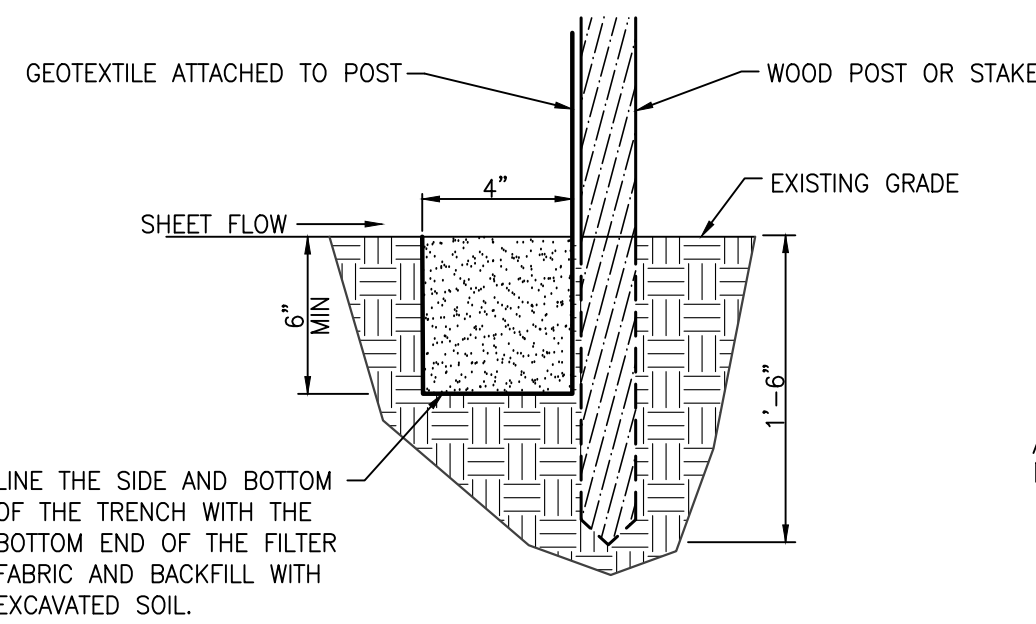
Silt Fence Detail

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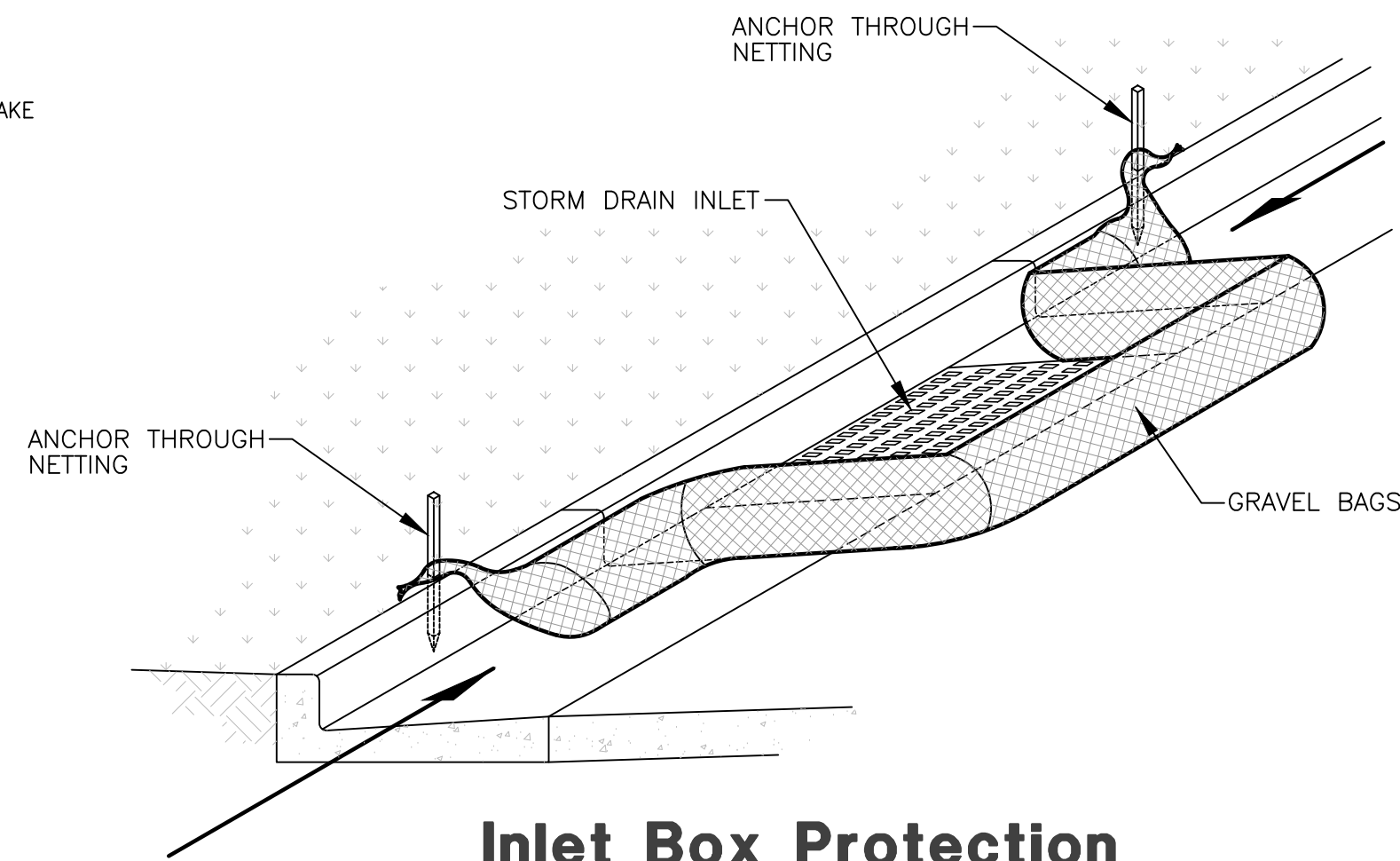


Concrete Washout Area
w/ 10 mil Plastic Liner

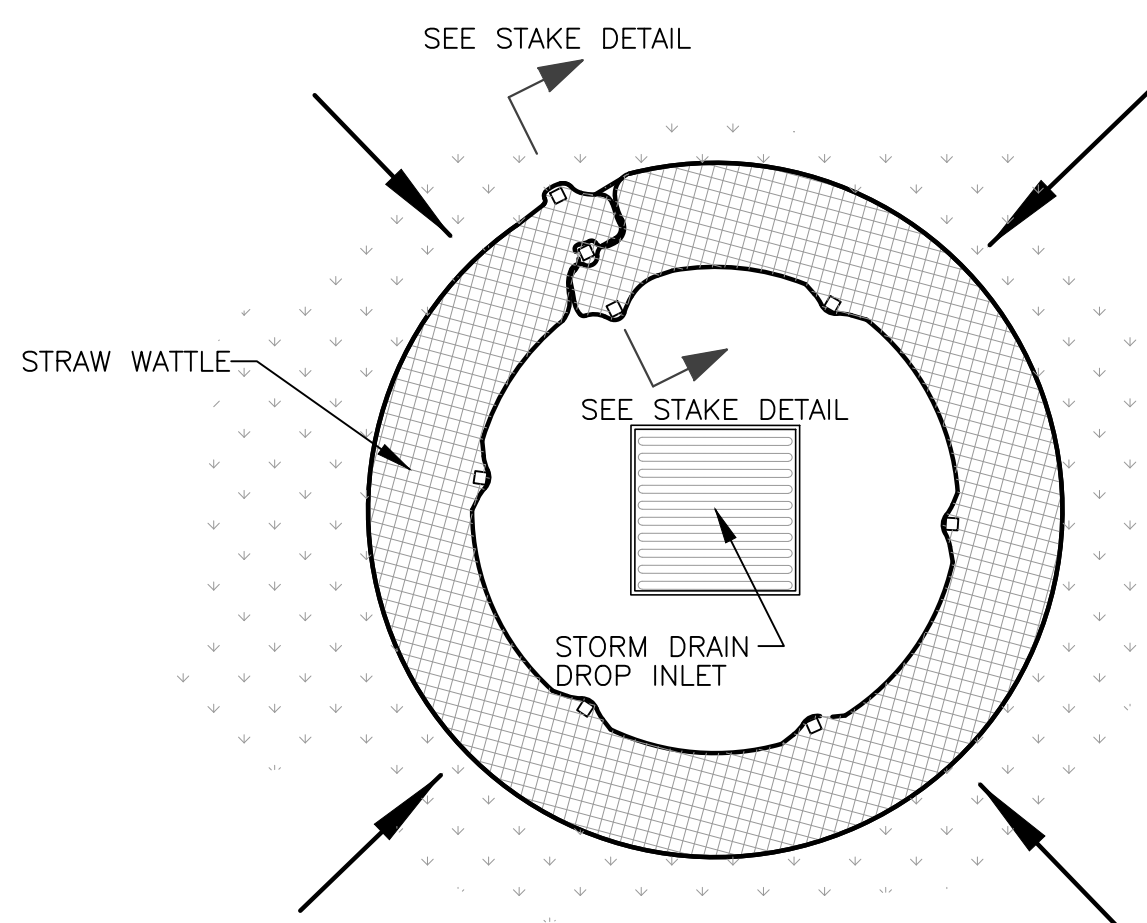
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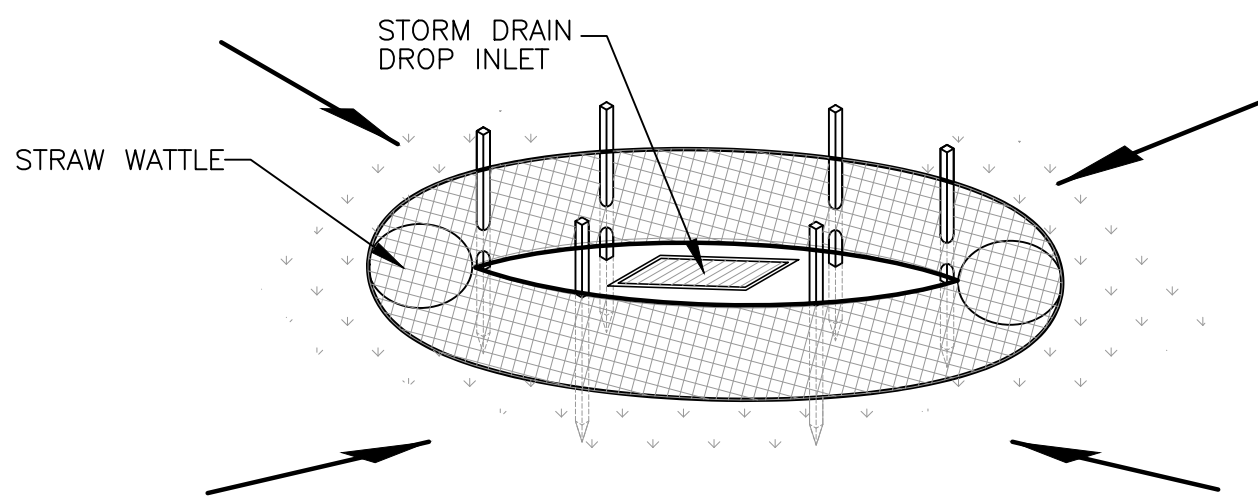
Section



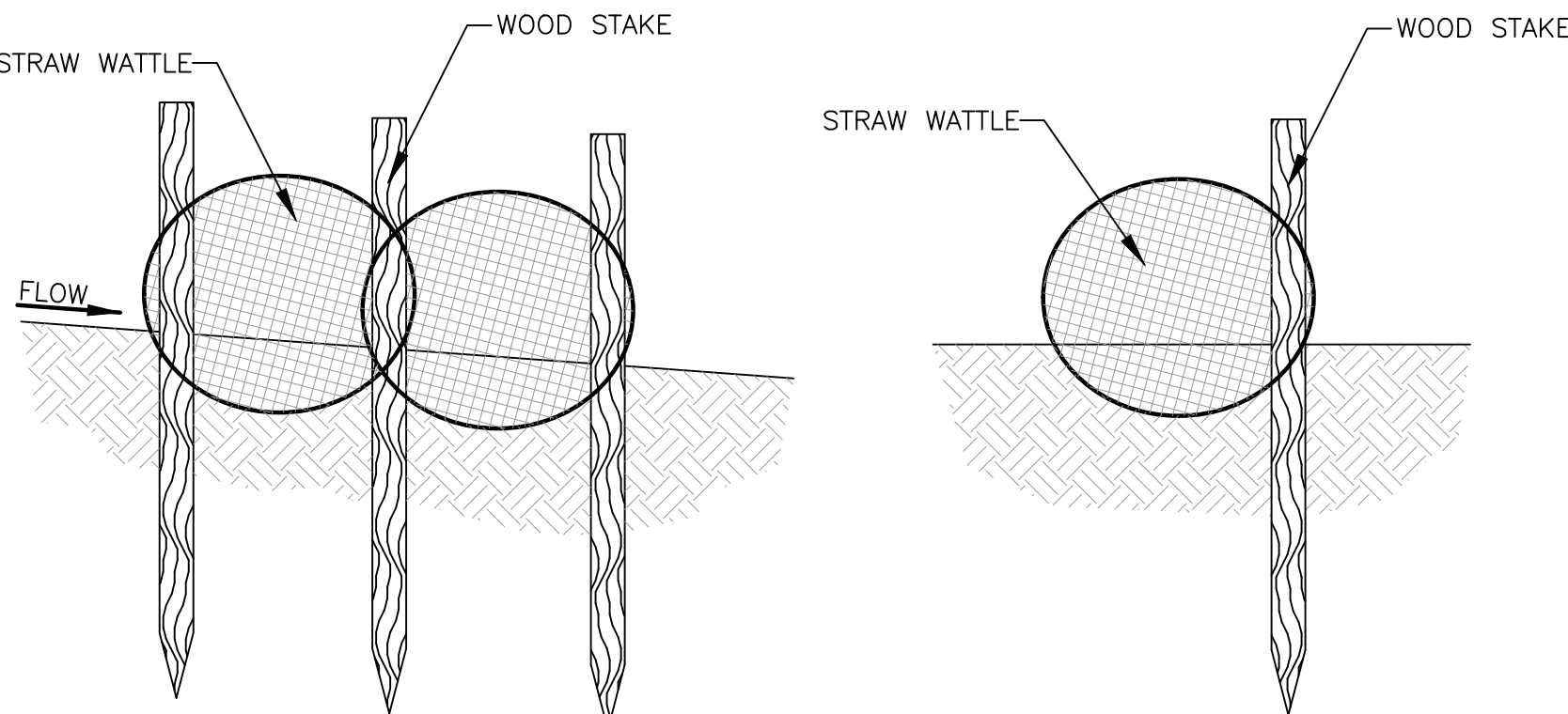
Inlet Box Protection



Plan View



Drop Inlet Protection



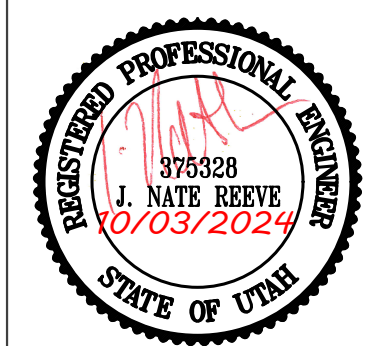
Stake Detail



REVISIONS	DESCRIPTION
DATE	

South Weber Gateway
PUD Subdivision Plans
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

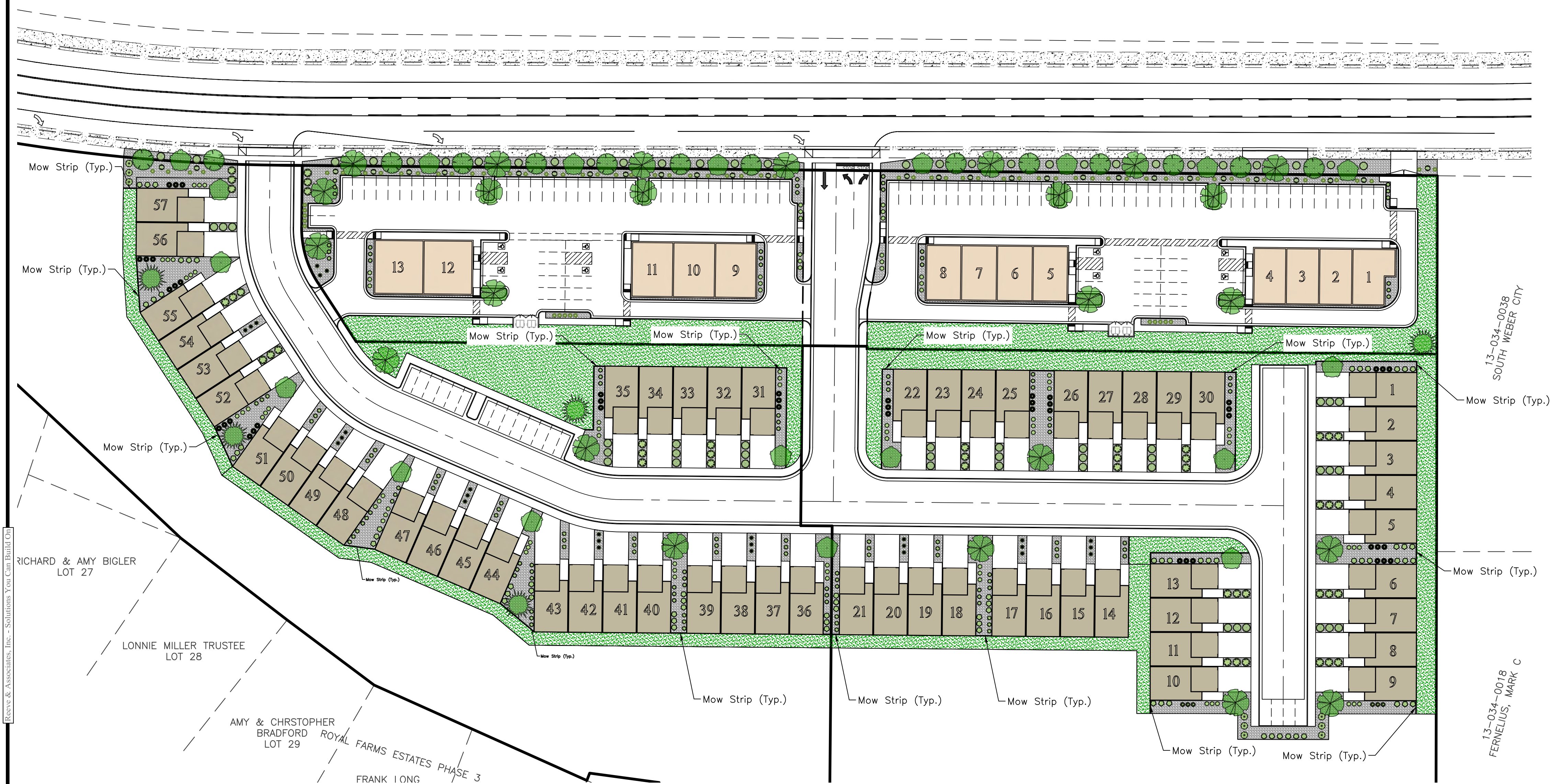
Storm Water Pollution
Prevention Plan Details



Project Info.
Engineer:
J. NATE REEVE, P.E.
Drafter:
C. KINGSLEY
Begin Date:
OCTOBER 2024
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SOUTH WEBER GATEWAY
PUD SUBDIVISION
PLANS
Number: 7037-12

14

15 Total Sheets



PLANT TABLE

TREES

Quantity	Symbol	Scientific Name	Common Name	Size
14		Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2" cal.
24		Gleditsia triacanthos 'Imperial'	Imperial Honey Locust	2" cal.
19		Malus 'Radiant'	Radiant Crabapple	2" cal.
5		Pinus nigra	Austrian Pine	6' Ht

SHRUBS

Quantity	Symbol	Scientific Name	Common Name	Size
9		Buddleia x weyeriana 'Sungold'	Sungold Butterfly Bush	5 gal.
65		Juniperus 'Buffalo'	Buffalo Juniper	5 gal.
75		Mahonia aquifolium 'Compactum'	Compact Oregon Grape	5 gal.
6		Pinus mugo 'Slowmound'	Slowmound Mugo Pine	5 gal.
81		Potentilla fruticosa 'Gold Drop'	Gold Drop Cinquefoil	5 gal.
45		Rhus aromatica 'Gro-Low'	Gro-Low Sumac	5 gal.
29		Rosa sp. 'Fuchsia Meidiland'	Fuchsia Meidiland Rose	5 gal.
72		Symphoricarpos alba	Common Snowberry	5 gal.
45		Taxus media 'Hicksii'	Hicks Yew	5 gal.
54		Viburnum trilobum 'Bailey Compact'	Bailey Compact Cranberry	5 gal.
27		Yucca filamentosa 'Color Guard'	Color Guard Yucca	5 gal.

ORNAMENTAL GRASS

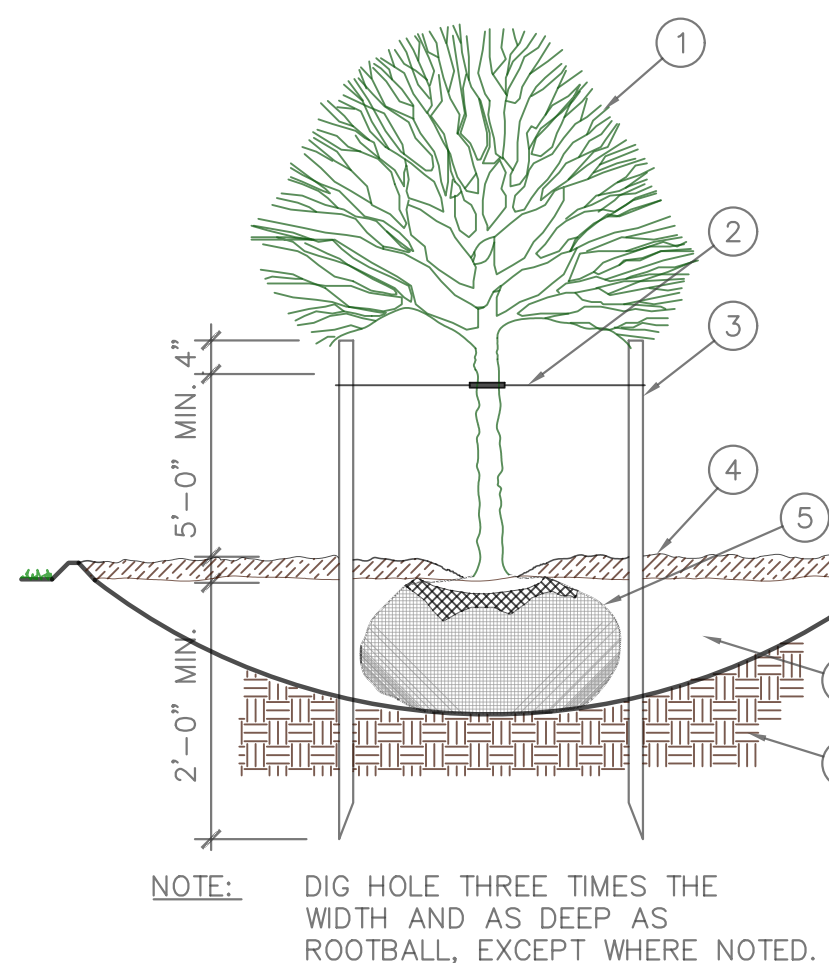
Quantity	Symbol	Scientific Name	Common Name	Size
75		Calamagrostis 'Karl Foerster'	Karl Foerster Grass	1 gal.

OTHER

Symbol	Description	Type
	Turf Grass - Sod	Sod
	Kentucky Bluegrass Mix - 3 Species Minimum	
	Wood Mulch - Medium Chunk Place mulch over 5 ounce Professional weed barrier cloth in all planting beds. Contractor to provide samples to owner for approval prior to delivery.	1" Diameter 3" Depth
	Rock Mulch - Round Cobble - Brown/Tan Place mulch over 5 ounce Professional weed barrier cloth in all planting beds. Contractor to provide samples to owner for approval prior to delivery.	1" Diameter 3" Depth
	Concrete Mow Strip	6"x6"

PLANTING NOTES

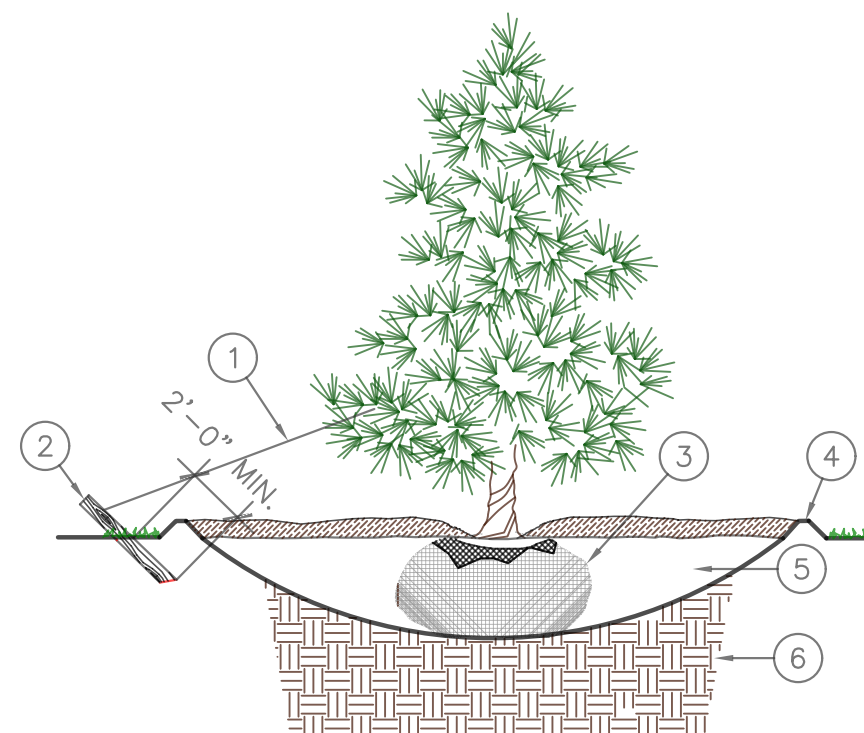
- This planting plan is diagrammatic and plant locations are approximate. Contractor to verify all quantities and do their own takeoffs.
- Field survey, stake, and string the layout and locations of site construction features for approval before actual construction. The layout shall conform to the exact location and grades of the intended work to be done.
- Coordinate all aspects of the planting plans with the irrigation system and call the attention of the owners representative to any conflict in placement of plants in relation to sprinkler heads, lines and valves at the time the landscape installation phase takes place.
- Finish grade of soil in lawn areas shall be 2" below pads, walks, paving, headers and curbs to accommodate sod. Grades in areas when seeded shall be 1" lower than adjacent edge.
- Native topsoil shall be stockpiled and stored on site whenever possible for use in landscape areas.
- All sod areas shall receive a minimum 4" depth of native topsoil and shrub beds shall receive a minimum of 8" of native topsoil.
- Imported topsoil, when required, shall come from a reputable source, have a loam consistency and be free of weeds and debris.
- Face each shrub to give the most pleasing look as seen from a line perpendicular to the wall or walk to/from which it is viewed.
- Edging or Curbing shall be installed as shown on the plan to separate grass from shrub beds.
- Shrub beds shall drain properly to prevent standing water from occurring. Call improperly draining planters or planting beds to the attention of the owners representative before planting. Provide positive drainage away from all structures and walls. Slope landscape areas 2% minimum.
- Place mulch in all shrub beds and perennial areas. See schedule for depth and type. Do not crowd out small perennial plants with excessive mulch.
- Provide a 3' minimum diameter circle "tree ring" around trees that are placed within lawn areas. Place a 3" min. depth of mulch. Use shredded bark mulch or match mulch being used for shrub beds.
- The contractor shall maintain all work until work is complete and accepted by the Owner. The contractor shall maintain and guarantee all work for a period of THIRTY DAYS from the date of final acceptance by the Owner. Maintenance shall include mowing, weeding, fertilizing and irrigating.



NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL, EXCEPT WHERE NOTED.

DECIDUOUS TREE PLANTING

NTS

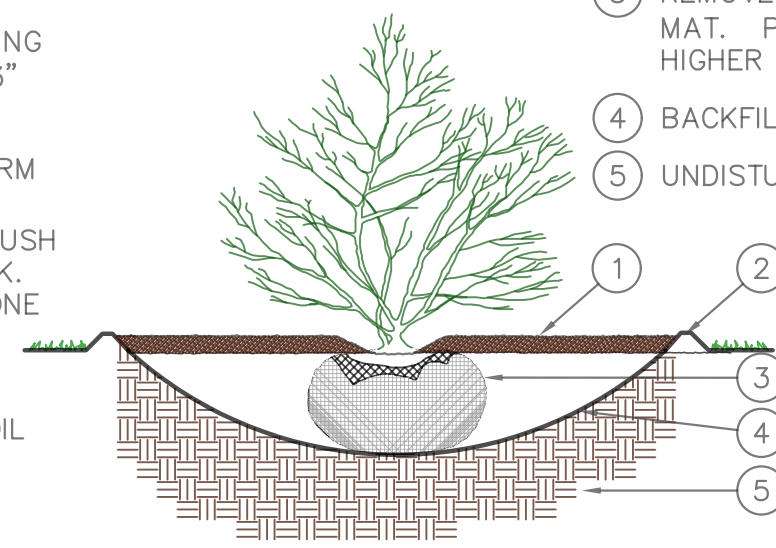


NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL, EXCEPT WHERE NOTED.

CONIFEROUS TREE PLANTING

NTS

- LOOSELY TIE TO ALLOW FOR TREE MOVEMENT, BUT SECURED FOR HIGH WIND CONDITIONS
- 4" x 2" x 2" STAKE AND GUY WIRE (ONE EA. TREE) REMOVE STAKES AFTER ONE YEAR
- REMOVE BURLAP/PACKAGING MAT. PLANT TREES 2"-3" HIGHER THAN GRADE
- CONSTRUCT 4" EARTH BERM SAUCER. FILL WITH 3" BARK/ROCK MULCH. BRUSH MULCH AWAY FROM TRUNK. REMOVE SAUCER AFTER ONE YEAR
- BACKFILL WITH NATIVE SOIL
- UNDISTURBED SOIL

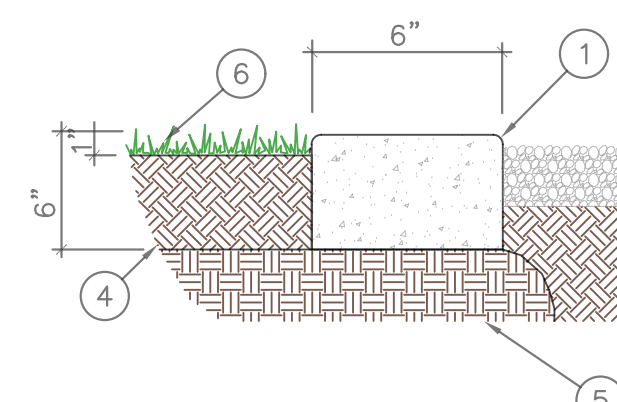


NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL, EXCEPT WHERE NOTED.

SHRUB PLANTING

NTS

- 3" OF BARK/ROCK MULCH. BRUSH AWAY FROM STEM
- 3" EARTH BERM SAUCER. REMOVE AFTER ONE YEAR
- REMOVE BURLAP/PACKAGING MAT. PLANT SHRUBS 2"-3" HIGHER THAN GRADE
- BACKFILL WITH NATIVE SOIL
- UNDISTURBED SOIL



CONCRETE MOW STRIP

NTS

Project Info.

Engineer:
JEREMY A. DRAPER, P.E.
 Drafter:
N. PETERSON
Begin Date:
OCTOBER 2024
Name:
SOUTH WEBER GATEWAY
R7 CONSTRUCTION
PLANS
Number:
7037-12