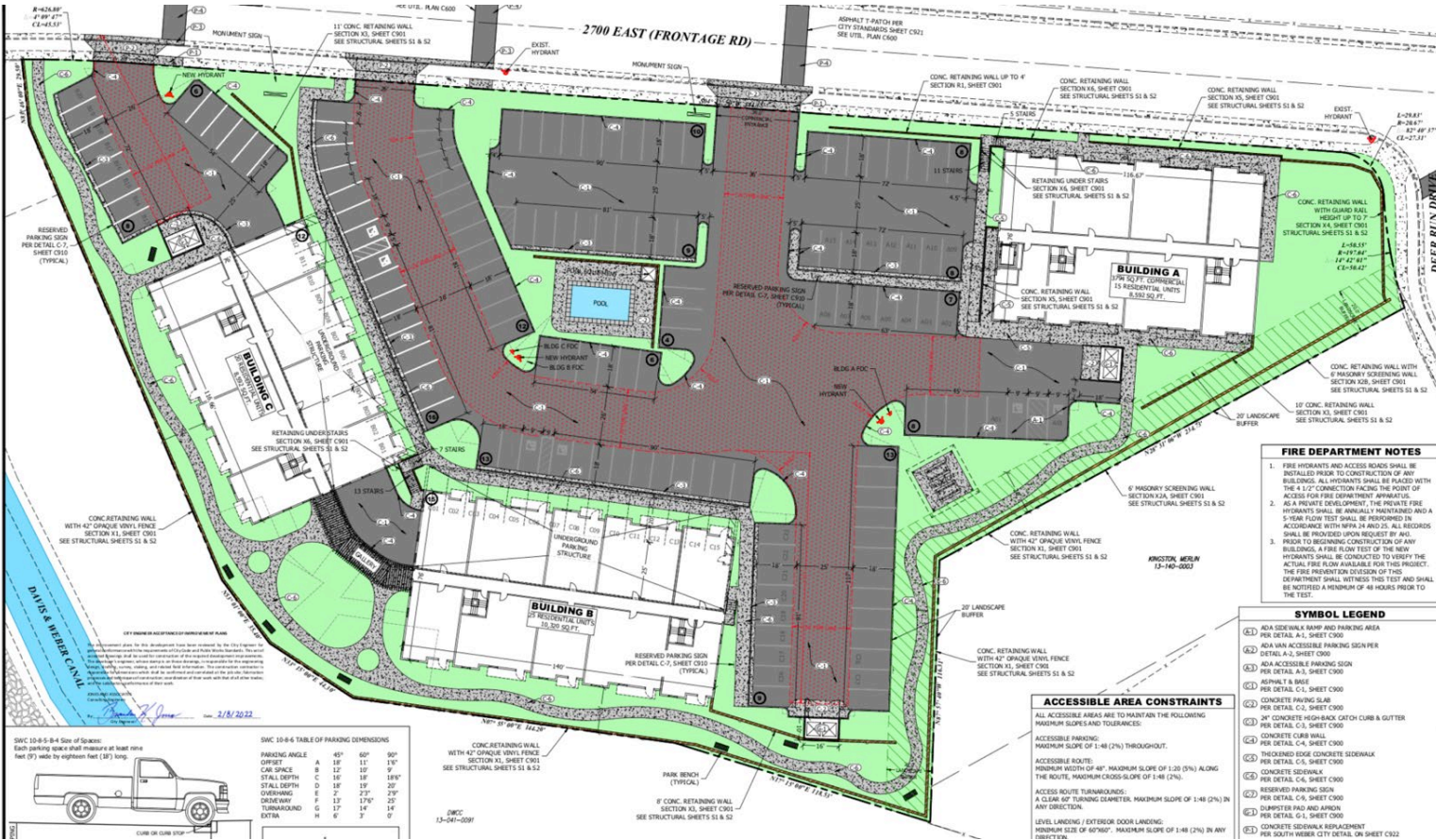


Deer Run

Brief Update

Where are we Today?



FIRE DEPARTMENT NOTES

1. FIRE HYDRANTS AND ACCESS ROADS SHALL BE INCLUDED PRIOR TO CONSTRUCTION OF ANY BUILDINGS. ALL HYDRANTS SHALL BE PLACED WITH THE 4" CONNECTION FACING THE POINT OF ACCESS FOR FIRE DEPARTMENT APPARATUS.
2. AS A PREVENTIVE DEVELOPMENT, THE PRIVATE FIRE HYDRANTS SHALL BE ANNUALLY MAINTAINED AND A 5-YEAR FLOW TEST SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 24 AND 25. ALL RECORDS SHALL BE PROVIDED UPON REQUEST BY THE FIRE DEPARTMENT.
3. PRIOR TO BEGINNING CONSTRUCTION OF ANY BUILDING, A FIRE FLOW TEST OF THE HYDRANTS SHALL BE CONDUCTED TO VERIFY THE ACTUAL FIRE FLOW AVAILABLE FOR THIS PROJECT. THE FIRE PREVENTION DIVISION OF THIS DEPARTMENT SHALL WITHNESS THIS TEST AND SHALL BE NOTICED A MINIMUM OF 48 HOURS PRIOR TO THE TEST.

SYMBOL LEGEND

- (A) ADA SIDEWALK, WALK AND PARKING AREA PER DETAIL C-1, SHEET C300
- (B) ADA VAN ACCESSIBLE PARKING SIGN PER DETAIL A-3, SHEET C300
- (C) ADA ACCESSIBLE PARKING SIGN PER DETAIL A-3, SHEET C300
- (D) ASPHALT & BASE PER DETAIL C-1, SHEET C300
- (E) CONCRETE PAVING 1.5" PER DETAIL C-1, SHEET C300
- (F) CONCRETE CURB WALL PER DETAIL C-1, SHEET C300
- (G) THICKENED EDGE CONCRETE SIDEWALK PER DETAIL C-1, SHEET C300
- (H) CONCRETE SIDEWALK PER DETAIL C-6, SHEET C300
- (I) RESERVED PARKING SIGN PER DETAIL C-6, SHEET C300
- (J) SHIPPED PAVS AND APPROX PER DETAIL C-1, SHEET C300
- (K) CONCRETE SIDEWALK REPLACEMENT PER SOUTH WALKER CITY DETAIL ON SHEET C322

ACCESSIBLE AREA CONSTRAINTS

ALL ACCESSIBLE AREAS ARE TO MAINTAIN THE FOLLOWING MAXIMUM SLOPES AND TOLERANCES:

ACCESSIBLE PARKING:
MAXIMUM SLOPE OF 1:48 (2%) THROUGHOUT.

ACCESSIBLE ROUTES:
MINIMUM WIDTH OF 48". MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE, MAXIMUM CROSS-SLOPE OF 1:48 (2%).

ACCESS ROUTE TURNAROUNDS:
A CLEAR 80" TURNING DIAMETER, MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

LEVEL LANDINGS / EXTERIOR DOOR LANDING:
MINIMUM SIZE OF 60"X90", MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

SWC 10-8-5-B-4 Size of Spaces
Each parking space shall measure at least 16'0" wide by 8'6" deep.

SWC 10-8-4 TABLE OF PARKING DIMENSIONS			
PARKING ANGLE	60°	90°	90°
OFFSET	A 18'	11'	13'
CAR SPACE	B 12'	10'	9'
STALL DEPTH	C 16'	16'	18'10"
DRIVEWAY	D 18'	19'	20'
TURNAROUND	E 23'	23'	23'
EXTRA	F 13'	17'6"	23'
	G 17'	14'	14'
	H 8'	8'	0"

1470 S Wood Phone
Wood Phone
www.woodphone.com

Entellus
1100 S. 1st Street
Tulsa, Oklahoma 74106
Phone: 918.438.1100
www.entellus.com

THE LOFTS AT DEER RUN
778 SOUTH 2700 EAST
LOCATED AT THE CORNER OF DEER RUN & 2700 EAST
SOUTH WALKER CITY, TULSA COUNTY, OKLAHOMA

Utilities Update

- Water Vault & Meter Installed
- Hydrant Installed
- Sewer Tie-In Complete
- Secondary Water Stubbed (North)
- Water Loop & Blow off
- Remaining:
 - Secondary Water (South)
 - Canal Crossing
 - Stormwater (North)

Deer Run

A Single Family (attached) Proposal

South Weber's Preferences:

- Single Family Homes
- Lower Density
- Less Traffic
- No Commercial
- Lower Roof Lines
- Lower & Fewer Retaining Walls
- More Parking

What can the Builder Offer?

- Single Family (attached) Homes
- Lower Density
- Less Traffic
- No Commercial
- Lower Roof Lines
- Lower & Fewer Retaining Walls
- More Parking

Single Family (attached) Homes

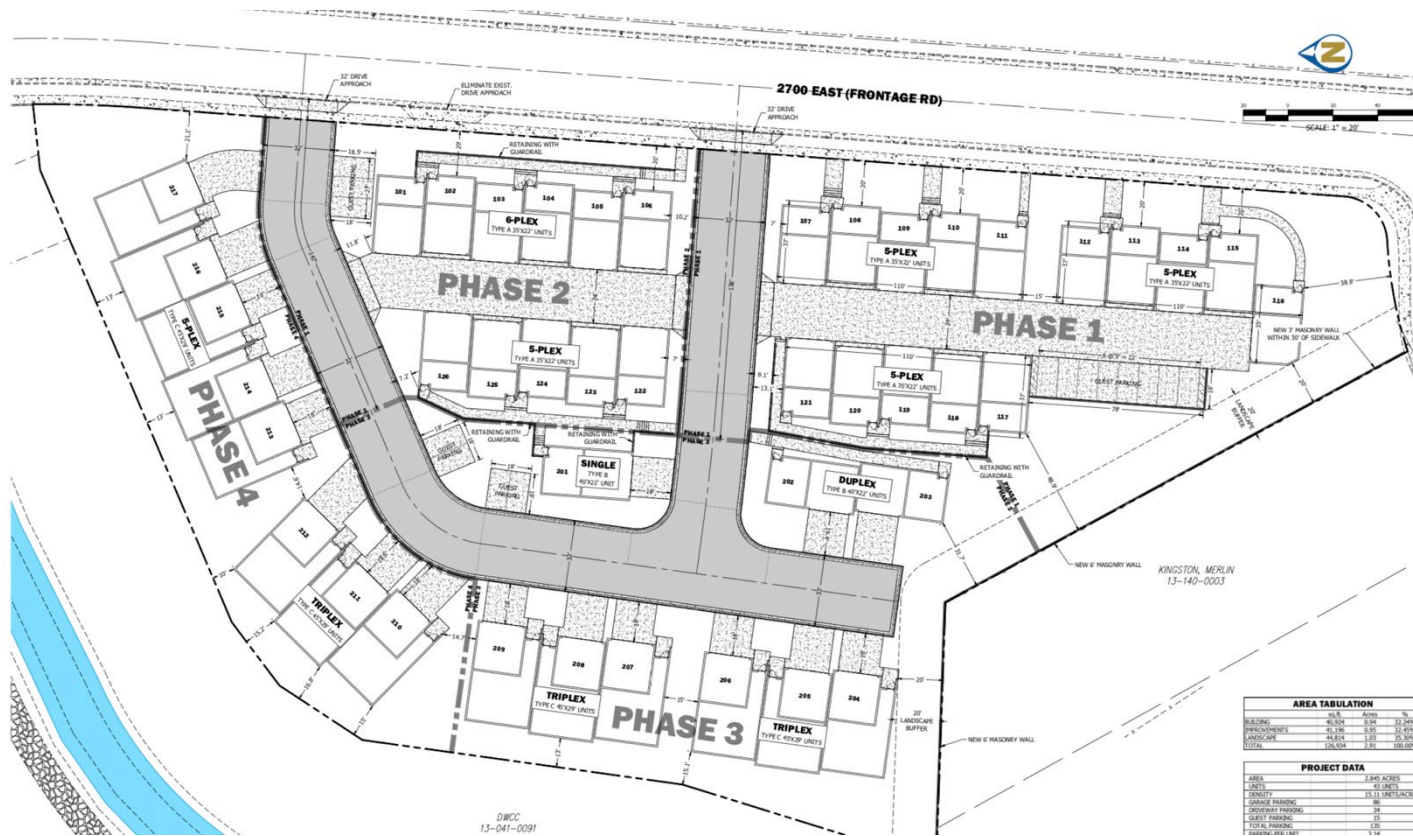


Single Family (attached) Homes



Lower Density

(From 64 Units to Less than 50 Units)



1075 South 400 West
 Woods Cross, UT 84087
 Phone: 801.298.2236
 www.Emelius.com

DEVELOPER
NATIONAL COMMERCIAL PROPERTIES
 Contact: Joseph Cook
 North Salt Lake, UT 84054
 Phone: 855-699-3488
 joseph@ncp.com

PRELIMINARY
NOT FOR CONSTRUCTION

LOFTS AT DEER RUN
 7905 S. 2700 E. ST.
 NORTH SALT LAKE CITY, DAVID COUNTY, UT

W/SHOWN

Lower Density

+

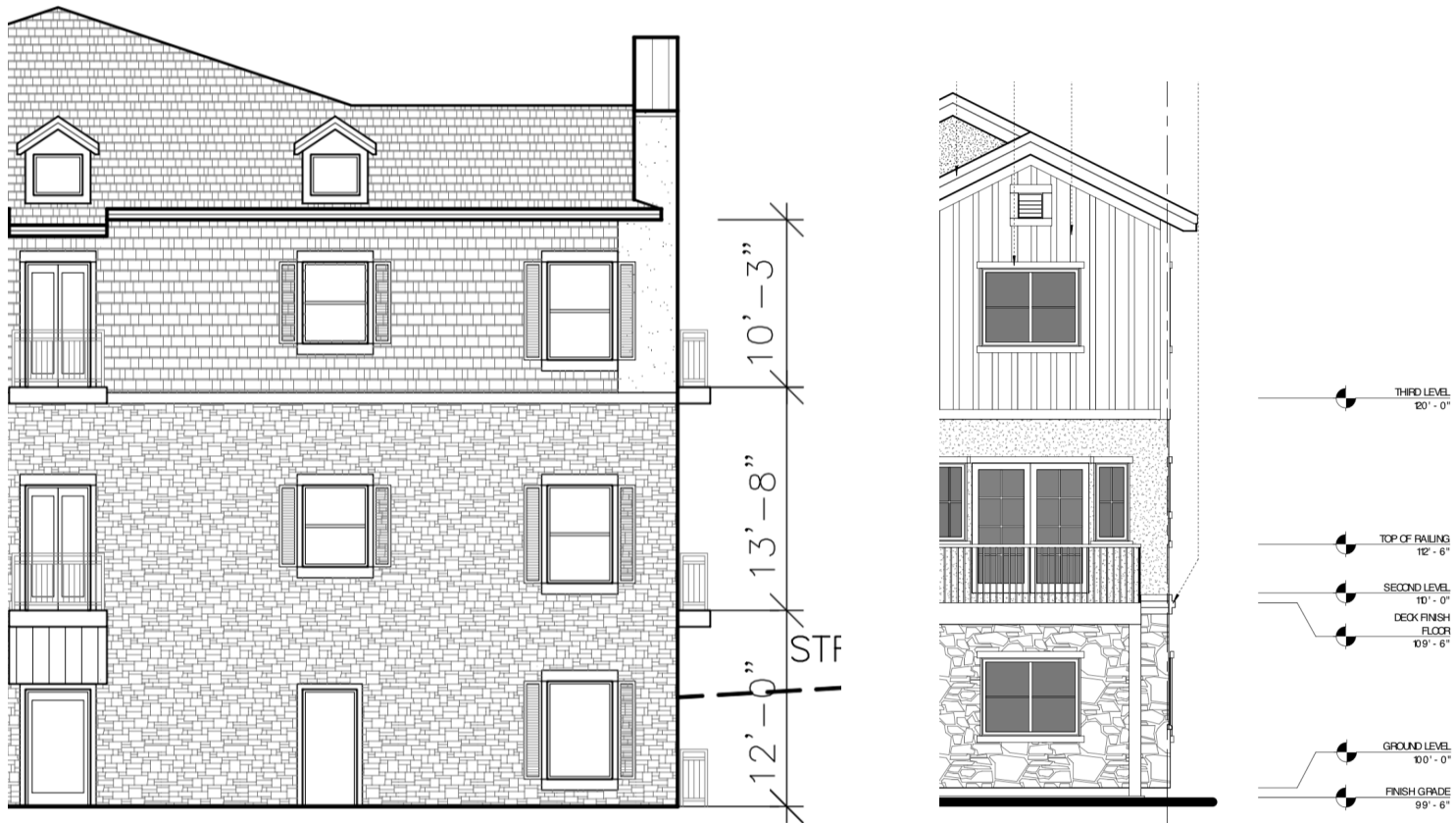
No Commercial

=

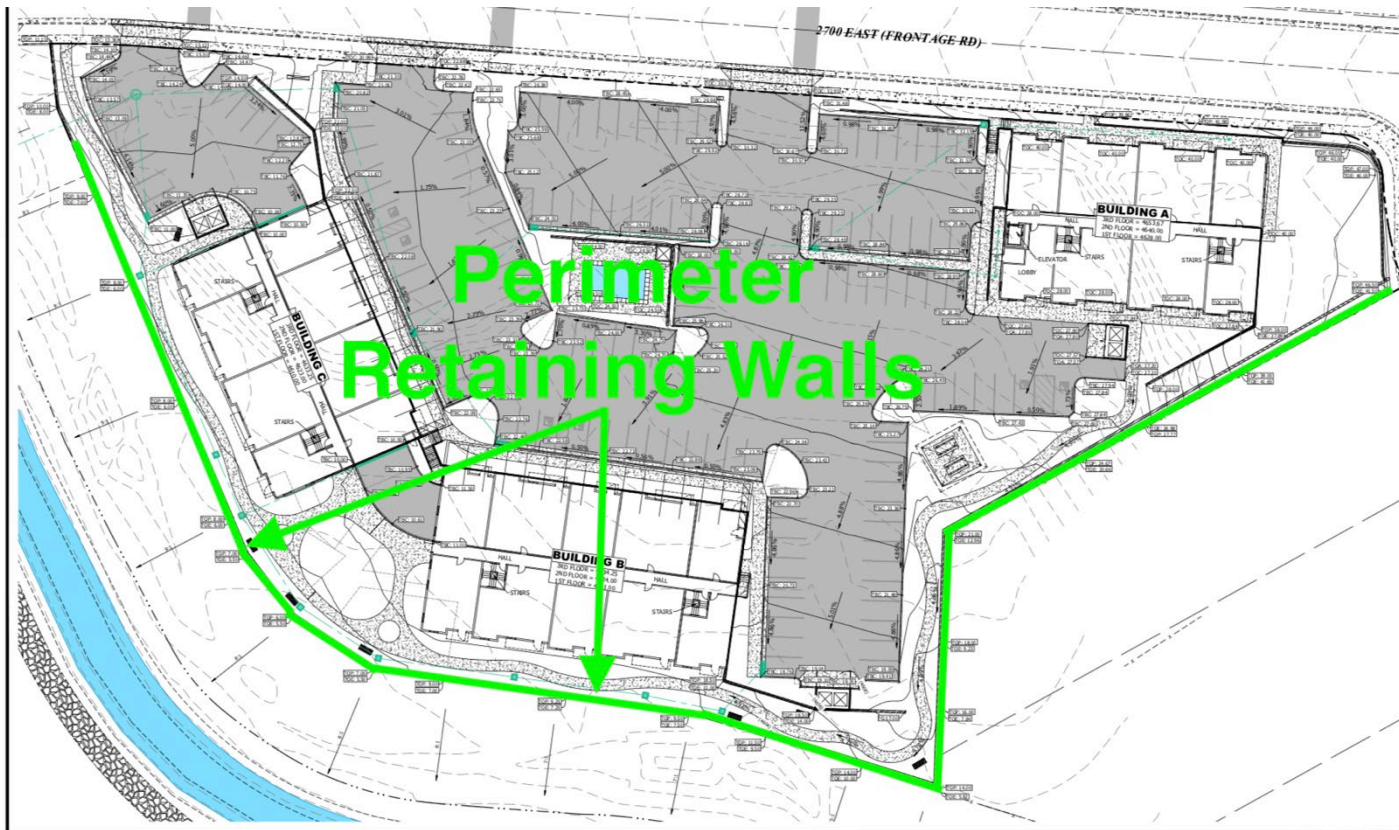
Less Traffic

Lower Roof Lines

- 12' Roof vs. 6' Roof



Elimination of Perimeter Retaining Walls



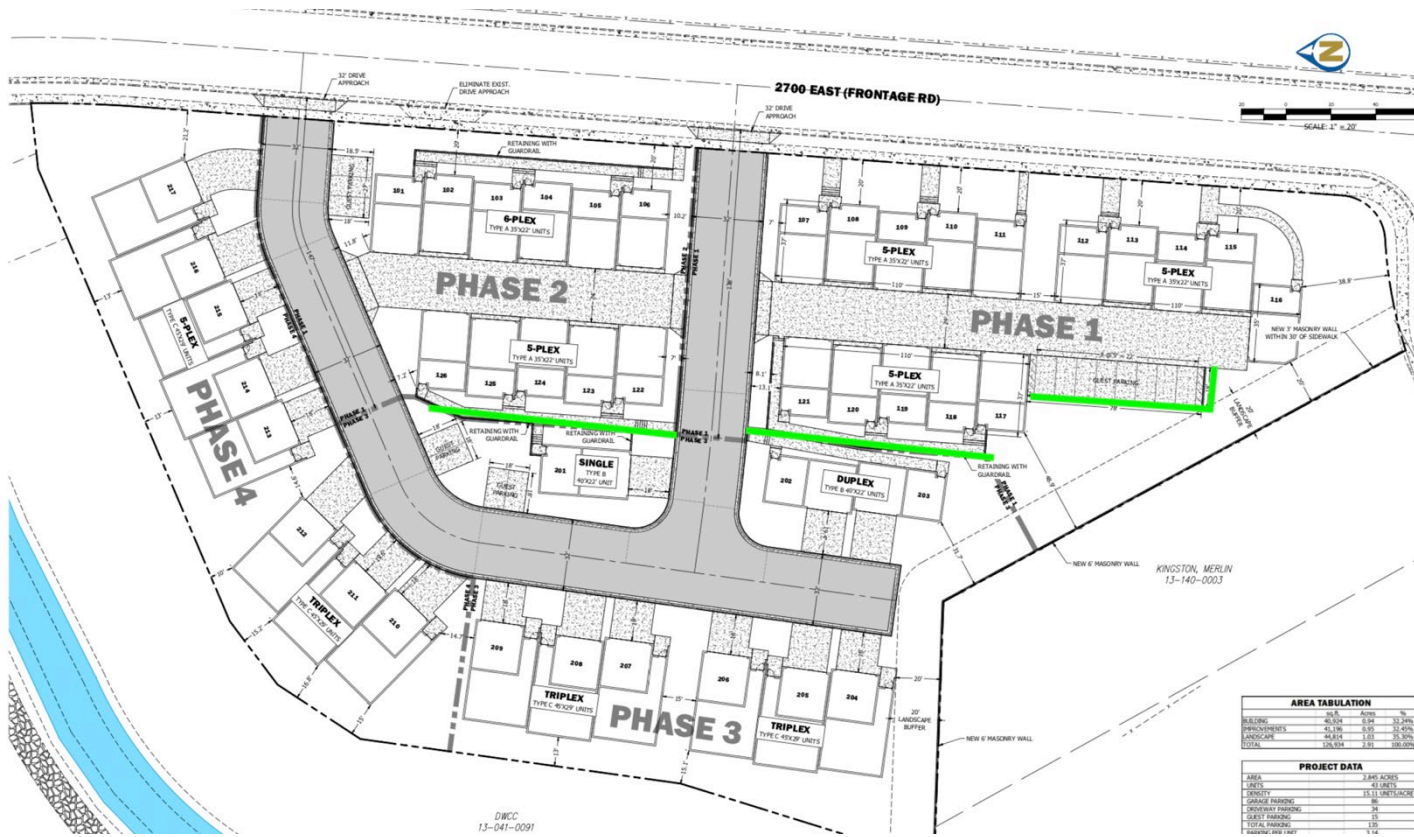
THE LOFTS AT DEER RUN
2700 SOUTH 2700 EAST
LOCATED IN THE 1/4 SECTION 36, T.2N., R.10W., S.42R., B.6M.,
SOUTH PLAINS CITY, DALLAS COUNTY, TEXAS

REVISIONS

DATE	NO. 22
BY	NO. 22
CHKD.	NO. 22
APP'D.	NO. 22

C500
CIVIL ENGINEERING
1978-2011

Interior Retaining



1475 South 40th Ave
Woods Cross, UT 84063
Phone: 801.298.2236
www.Emellus.com

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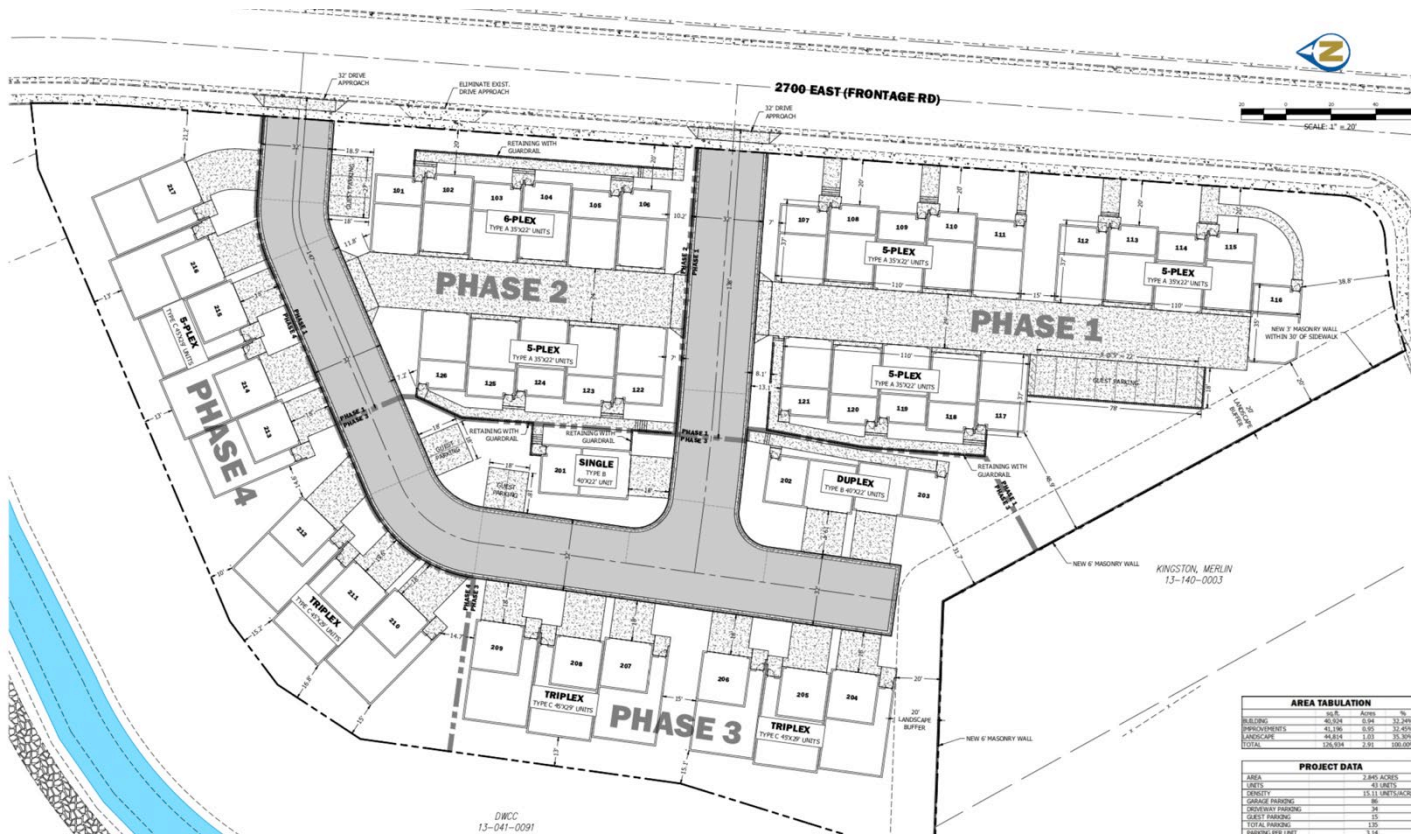
LOFTS AT DEER RUN
780 S 2200E AVE
NORTH SALT LAKE CITY, UTAH 84054
LOCATED IN THE SOUTH WEISS CITY, DAVID COUNTY, UTAH

WESKENS

More Parking

- Multifamily:
- 2.56 Stalls per Unit
- Exposed & Covered Parking
- Townhomes:
- 3.14 Stalls per Unit
- 2 Car Garage (Enclosed)
- Some Private Driveways

Parking Layout



AREA TABULATION			
AREA	SQ. FT.	SQ. YD.	%
BUILDING	48,324	6,394	33.24%
DRIVEWAYS	45,196	6,026	32.42%
LANDSCAPE	44,814	5,975	32.30%
TOTAL	138,334	18,395	100.00%

PROJECT DATA	
TOTAL AREA	3.84 ACRES
UNITS	42 UNITS
DENSITY	11.11 UNITS/ACRE
GARAGE PARKING	34
STREET PARKING	76
GUEST PARKING	15
TOTAL PARKING	125
PARKING RATIO	2.97

1475 South 40th Ave.
Woodstock, UT 84084
Phone: 801.298.2236
www.Emellus.com

DEVELOPER
NATIONAL COMMERCIAL PROPERTIES
Contact: Joseph Cook
North Salt Lake, UT 84054
Phone: 801-699-3488
jcook@ncp.com

PRELIMINARY
NOT FOR CONSTRUCTION

LOFTS AT DEER RUN
7903 S 2700E RD
SOUTH SALT LAKE CITY, UTAH 84106
LOCATED IN THE SOUTH SALT LAKE CITY, DAVID COUNTY, UTAH

WISCONSIN

What is Needed?

- 10' Front & Rear Setbacks & between buildings
- 32' Right of Way (TBC to TBC)
- 38' Height
- Up to 50 Units
- **Expedited approval**