



**VICINITY MAP**

SCALE: NONE

**DESIGN DATA**

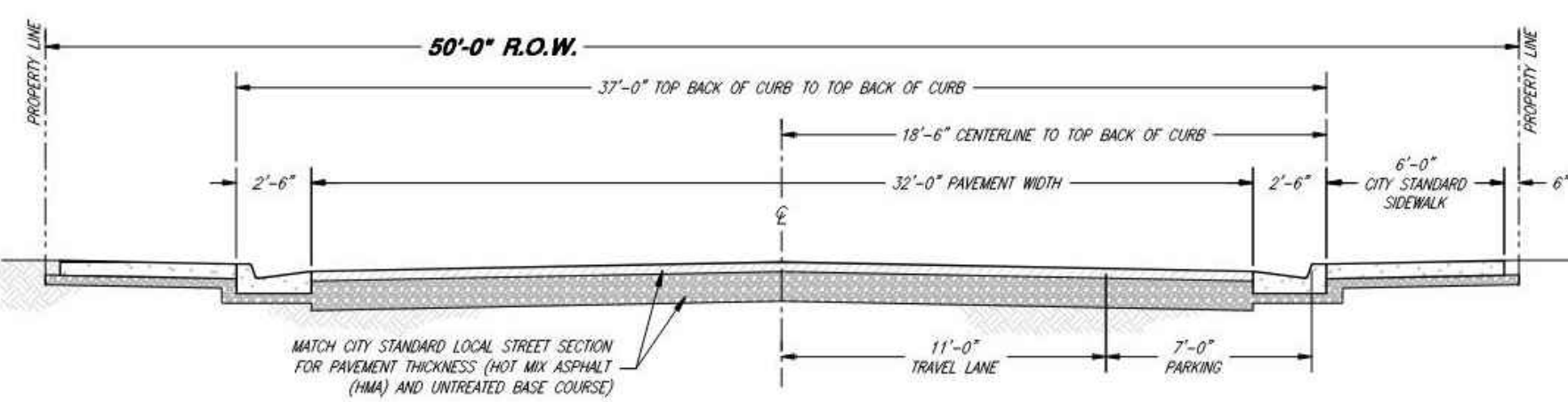
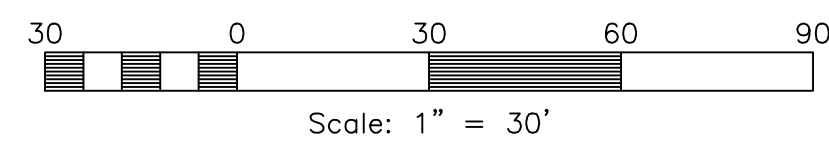
TOTAL AREA.....2.90 ACRES  
 LOT AREA.....1.66 ACRES  
 ROAD DEDICATION.....0.73 ACRES  
 REQUIRED UNITS PER ACRE.....4.0 UNITS/ACRES  
 PROPOSED UNITS PER ACRE.....3.8 UNITS/ACRES  
 OPEN SPACE REQUIRED.....0.44 ACRES (15%)  
 OPEN SPACE PROPOSED.....0.51 ACRES (17.5%)

**CURVE TABLE**

CURVE	RADIUS	ARC	LTH	CHD	LTH	CHD	BEARING	DELTA
C1	139.04'	92.45'	90.76'	S70°59'05"W	38°05'52"			
C2	139.04'	92.37'	90.68'	N70°58'09"E	38°03'56"			
C3	139.04'	69.35'	68.64'	N75°42'43"E	28°34'48"			
C4	139.04'	23.02'	22.99'	N56°40'45"E	9°29'08"			
C5	25.00'	35.85'	32.86'	N79°08'44"W	82°09'45"			
C6	63.00'	52.90'	51.36'	S83°49'41"W	48°06'36"			
C7	63.00'	48.94'	47.72'	N49°51'44"W	44°30'34"			
C8	63.00'	81.60'	76.02'	N09°30'01"E	74°12'55"			
C9	63.00'	96.56'	87.35'	S89°29'E	87°49'03"			
C10	63.00'	8.26'	8.25'	S41°49'10"E	7°30'38"			

**LEGEND**

- = SECTION CORNER
- = BOUNDARY LINE
- = LOT LINE
- = ADJOINING PROPERTY
- = EASEMENTS
- = SECTION TIE LINE
- = GENERAL UTILITY EASEMENT
- = ROAD DEDICATION
- = EXISTING STRUCTURE
- = BUILDABLE AREA



**50' RIGHT-OF-WAY PRIVATE ROADWAY STREET SECTION A**



**BOUNDARY DESCRIPTION**

PART OF THE NORTHEAST QUARTER OF SECTION 35 AND THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:  
 BEGINNING AT A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF 2700 EAST STREET, SAID POINT BEING N00°06'21"W 484.59 FEET AND N89°53'39"E 110.52 FEET FROM THE WEST QUARTER CORNER OF SAID SECTION 36; THENCE S38°03'51"E ALONG SAID WESTERLY LINE, 425.80 FEET; THENCE S07°17'59"W 25.59 FEET; THENCE S51°56'09"W 113.06 FEET; THENCE ALONG A TANGENT CURVE TURNING TO THE RIGHT WITH A RADIUS OF 139.04 FEET, AN ARC LENGTH OF 92.45 FEET, A DELTA ANGLE OF 38°05'52", A CHORD BEARING OF S70°59'05"W, AND A CHORD LENGTH OF 90.76 FEET; THENCE N89°57'59"W 100.12 FEET; THENCE N00°06'19"W 155.60 FEET; THENCE N89°57'59"W 70.00 FEET; THENCE S00°06'19"E 180.60 FEET; THENCE N89°57'59"W 24.00 FEET; THENCE N00°06'21"W 252.43 FEET; THENCE N89°53'28"W 186.22 FEET; THENCE N00°06'21"W 118.51 FEET; THENCE S89°53'07"E 186.48 FEET; THENCE N41°31'16"E 120.61 FEET; THENCE N51°56'09"E 38.22 FEET TO THE POINT OF BEGINNING.  
 CONTAINING 126,335 SQUARE FEET OR 2.900 ACRES MORE OR LESS.

**LINE TABLE**

#	BEARING	DISTANCE
L1	S07°17'59"W	17.00'
L2	N51°56'09"E	7.12'
L3	N07°17'59"E	14.03'
L4	N83°03'51"W	14.14'
L5	S10°38'54"W	13.20'

**NOTES**

1. PROJECT IS IN FEMA ZONE X PER PANEL #49011C0093E EFFECTIVE 6-18-2007
2. THERE ARE NOT WETLANDS ON THE PROPERTY
3. PROPOSED ZONE: R-P

**Manor Villas Subdivision**

South Weber, Davis County, Utah

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 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DESCRIPTION	DATE

**Manor Villas Subdivision**  
 PART OF THE NW 1/4 OF SECTION 36, T.5N., R.1W., S.1B. & M., U.S. SURVEY  
 SOUTH WEBER, DAVIS COUNTY, UTAH

**Sketch Plan**

**Project Info.**  
 Engineers: N. Reeve  
 Planner: C. Cave  
 Designer: E. Roche  
 Date: 3-23-22  
 Name: MANOR VILLAS SUBDIVISION  
 Number: 7605-01

**Developer:**  
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