

SOUTH WEBER PLANNING COMMISSION AGENDA

Watch Live or at your convenience: https://www.youtube.com/channel/UCRspzALN_AoHXhK_CC0PnbA

PUBLIC NOTICE is hereby given that the Planning Commission of SOUTH WEBER CITY, Utah, will meet in a regular public meeting on Thursday January 13, 2022, in the Council Chambers, 1600 E. South Weber Dr., commencing at 6:00 p.m.

OPEN (Agenda items may be moved in order or sequence to meet the needs of the Commission)

1. Pledge of Allegiance: Commissioner Johnson
2. Public Comment: Please respectfully follow the guidelines below: Comments will also be accepted at publiccomment@southwebercity.com to be included with the meeting minutes.
 - a. Individuals may speak once for 3 minutes or less
 - b. State your name and address
 - c. Direct your comments to the entire Commission
 - d. Note: Planning Commission will not respond during the public comment period
3. Approval of Consent Agenda
 - a. PC2021-12-09 Minutes
4. **Public Hearing & Action on Preliminary Plat, Improvement Plans & Rezone for The Meadows Subdivision (34 Lot Plat) (Combined R-P & R-M Zoning) 13.75 acres located at approx. 750 E Old Fort Rd. by Applicant: Duane Johnson**
5. Site Plan Amendment South Weber Commercial: The Shops (previously approved as alpha coffee) located at approx 2532 E South Weber Dr. by Applicant: Dan Murray
6. Architectural Review for: Davis Aqueduct Reach 1 Pump Station located at approx. 7692 S Hwy 89 by Applicant: Weber Basin Water Conservancy District
7. Planning Commission Comments (Boatright, Davis, Losee, Johnson, Walton)
8. Special Recognition for Outgoing Planning Commissioner Wes Johnson (2014-2021)
9. Adjourn

In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify the City Recorder, 1600 East South Weber Drive, South Weber, Utah 84405 (801-479-3177) at least two days prior to the meeting.

THE UNDERSIGNED DULY APPOINTED DEVELOPMENT COORDINATOR FOR THE MUNICIPALITY OF SOUTH WEBER CITY HEREBY CERTIFIES THAT A COPY OF THE FOREGOING NOTICE WAS MAILED, EMAILED, OR POSTED TO: 1. CITY OFFICE BUILDING 2. FAMILY ACTIVITY CENTER 3. CITY WEBSITE www.southwebercity.com 4. UTAH PUBLIC NOTICE WEBSITE www.pmn.utah.gov 5. THE GOVERNING BODY MEMBERS 6. OTHERS ON THE AGENDA

DATE: December 31, 2021

DEVELOPMENT COORDINATOR: Kimberli Guill

SOUTH WEBER CITY PLANNING COMMISSION MEETING

DATE OF MEETING: 9 December 2021

TIME COMMENCED: 6:00 p.m.

LOCATION: 1600 E. South Weber Drive, South Weber, Utah

PRESENT: COMMISSIONERS:

Gary Boatright
Jeremy Davis
Wes Johnson
Julie Losee
Taylor Walton (excused)

COMMUNITY SERVICE DIRECTOR:

Trevor Cahoon

CITY ENGINEER:

Brandon Jones

DEVELOPMENT COORDINATOR:

Kimberli Guill

Transcriber: Minutes transcribed by Michelle Clark

ATTENDEES: Paul Sturm, Rod Westbroek, Blair Halverson, Liz Rice, Brad Brown, Michael Grant, Charles Poll, Sky Hazlehurst, and Farrell Poll.

Commissioner Boatright welcomed those in attendance and excused Commissioner Walton.

PLEDGE OF ALLEGIANCE: Commissioner Boatright

2. Public Comment: Anyone requesting to comment live via Zoom must pre-register at the following <https://forms.gle/PMJFhYFJsD3KCi899> before 5 pm on the meeting date.

Comments will also be accepted at publiccomment@southwebercity.com

- a. Individuals may speak once for 3 minutes or less.
- b. State your name and address.
- c. Direct comments to the entire Commission
- d. Note Planning Commission will not respond during the public comment period.

Paul Sturm, 2527 Deer Run Drive, commented on agenda item #2. He opined the preliminary plan doesn't meet city code and needs another rezone. He is also concerned the developer is requesting a waiver from city code for the fencing requirement between R-7 and lower density zones. He questioned who is the property owner Jane Poll or Farrell Poll. He is concerned the private right-of-way may not meet city code. He queried about the fencing of nearby property owners. He is concerned about the safety factor with inside storage.

ACTION ITEMS:

3. Approval of Consent Agenda

- **Planning Commission Minutes of 10 November 2021**

Commissioner Johnson moved to approve the consent agenda. Commissioner Losee seconded the motion. A roll call vote was taken. Commissioners Boatright, Davis, Johnson, and Losee voted aye. The motion carried.

Commissioner Losee moved to open the public hearing for Preliminary Plat, Improvement Plans (for entire development) & Conditional Use (for CH zone over 1 acre) for South Weber Gateway Project (62 Lot R-7 Residential) & (18,824 sq ft. C-H Commercial) located at approx. 2350 E South Weber Drive by Applicant Brad Brown from Colliers International. Commissioner Davis seconded the motion. A roll call vote was taken. Commissioners Boatright, Davis, Johnson, and Losee voted aye. The motion carried.

***** PUBLIC HEARING *****

4. Preliminary Plat, Improvement Plans (for entire development) & Conditional Use (for CH zone over 1 acre) for South Weber Gateway Project (62 Lot R-7 Residential) & (18,824 sq ft. C-H Commercial) located at approx. 2350 E South Weber Drive by Applicant Brad Brown from Colliers International:

Community Service Director Trevor Cahoon explained the South Weber Gateway has been working on a potential development for the proposed site for several years. After development plan negotiations the City Council requested the developer to move forward with a rezone application. In July 2021 the property rezone request was approved by the City Council to have the front portion of the property rezoned to commercial highway (C-H) and the back portion of the property as Residential Multi-Family (R-7). The application has met all requirements of a preliminary application and has been passed forward to the Planning Commission for consideration.

The project totals 11.64 acres split into two different zones.

- 2.6 acres is commercial
- 9.04 acres is R-7 which meets the acreage allowed to be zoned R-7.

Trevor reported after a tertiary review of the preliminary application for South Weber Gateway Development, city staff recommended approval subject to the conditions listed below:

- Private Right-of-way: Developer has submitted a project that includes a private road to the residential portion of the property. This does not currently meet city code; however, the City Council is reviewing a Private Right-of-way ordinance at the December 7 City Council meeting. The road proposed does meet the requirements of the drafted ordinance under consideration. Approval would be based on the outcome of that decision. Developer was made aware of this condition and made the decision to proceed with the application without a decision.
- Buffer Yard: Recommendation to the City Council to waive the requirement for a 6-foot masonry wall in the buffer yard, in favor of a raised 3-foot berm with a 3-foot vinyl fence on the crest of the hill.

- **Screening Fence:** A screening fence is not included between the residential zones to the rear of the property. Fencing is currently provided for most of the homes in the area. Preliminary approval can be given with the condition that the intent of this requirement is met. City Council will need to determine if this requirement is satisfied due to natural buffering on the south end of the property and the existence of current fencing on properties.

Additional Update:

In the C-H Zone the setback for the rear of the project needs to be 20' from a residential zone, and the side setback needs to be 10' from residential zones. The area illustrated with the building that will be in phase 3 would be out of compliance with this portion of the code. The city staff recommends add as a condition of approval to correct the setbacks.

Setbacks:

Trevor explained there have been questions about the front, side and rear setbacks. In the R-7 zone zero lot lines are not allowed; therefore, this project would have to be individual condo units to be sold. This would make this development multiple dwellings on the same lot.

In the review with the city attorney, the townhomes setbacks comply, because in South Weber setbacks are determined by the lot and not by the orientation of the building.

Private ROW:

Trevor expressed the Private ROW ordinance was continued by the City Council. This project, as it was submitted, is dependent on a private access road to the buildings. This doesn't currently meet code.

City Engineer Brandon Jones review of 1 December 2021 is as follows:

STAFF ASSESSMENT

- **Zoning:** The property is zoned C-H and R-7.
- **City Code & Public Works Standards:** The preliminary plans meet the requirements of the City Code and City Standards, except for:
 - **Private street:** The proposed private street for the townhomes is not currently allowed in the R-7 zone unless it is a PUD. This development is not requesting a PUD overlay. However, the proposed street cross section does match Section B in the private streets ordinance previously recommended for approval by the Planning Commission and currently being considered by the City Council.
- **Geotechnical Report & Sensitive Lands:** In order to meet the requirements of CC 10-14 (Sensitive Lands Development Regulations), a Phase I Environmental Assessment (dated August 27, 2021) and Geotechnical Study (dated September 17, 2021) were performed. The preliminary plans are in compliance with these studies. The final plans will need to incorporate any applicable recommendations.
- **Traffic Impact Study:** A TIS (dated November 4, 2021) was provided to the city for review. Comments were provided and the study was updated (dated November 23, 2021). A final version was submitted to the city on December 1, 2021. Manual trip counts were taken on November 17, 18, and 19 (Wednesday – Friday) to establish existing conditions. The intersections of 2100 E. and 2700 E. were studied for both existing and future conditions. The two new proposed accesses for the development were studied for future conditions. Both AM and PM peak hours were evaluated. The study determined that “during the peak hours, all study intersections

remained at the same LOS with the addition of the South Weber Gateway development. The two site access intersections will both operate at a lowest approach LOS of C.” The design recommendations include “utilizing the existing two-way left-turn lane for left turning west bound traffic entering the development. Restriping for a right turn lane is recommended for east bound traffic entering the development at the East and West Access intersections.” The preliminary plans show these improvements.

- **Phasing:** The preliminary plan includes a phasing plan that shows three phases. Phase 1 includes 31 townhomes and 3 commercial buildings (4,244 sf). Phase 2 includes 31 townhomes and 1 commercial building (2,322 sf). Phase 3 includes 2 commercial buildings (10,523 sf). All utilities necessary for each phase will be installed with that phase.

- **Buffer Yard:** Rather than install a full 6’ tall masonry fence between the C-H and R-7 zones as required in CC 10-15, the developer is proposing a berm with a smaller fence on top, as they feel it provides a better look and feel for the overall development. CC 10-15- 7 allows any provisions contained in this chapter to be waived (with just cause). If the Planning Commission agrees with this proposed change to the buffer yard, then they need to make that recommendation to the City Council.

- **Architectural Site Plan Approval:** Both the C-H and R-7 zones require architectural site plan approval in accordance with the requirements of CC 10-12. The Planning Commission “shall determine if the proposed architectural and development plans submitted are consistent with this Chapter and with the purpose and objectives of this Title.” This will need to be reviewed as part of the final approval.

Commissioner Boatright asked if there was any public comment.

Liz Rice, 7875 S. 2310 E., voiced it being difficult to have a conversation with the city’s public comment requirements. She expressed this process began before amending the general plan. She feels this is the best plan and the developer is meeting the requirement for R-7. Her family hopes the Planning Commission remembers they have done their best.

Paul Sturm, 2527 Deer Run Drive, expressed concerns with agenda item #4. He questioned if the Traffic Impact Study and dictate that UDOT restripe South Weber Drive to have an eastbound right turn lane into the development. He is concerned about the phasing aspect of the development and how the phasing agreement will be enforced. He questioned if a surety bond should be levied on this project to reduce risk to South Weber City. He opined the conditional use application is not complete.

Farrell Poll, 2316 E. 7800 S., agreed with his sister, Liz Rice, concerning public comment. He feels public comment should be following the discussion. Their family has submitted several different plans. Colliers International is not purchasing the property. He is frustrated with individuals scrutinizing every little thing. He feels this development will benefit the community and residents in a common way.

Charlie Poll, 2300 E. South Weber Drive, discussed the parking problems with Highmark School. He opined the parking problem is Highmark’s problem and not this development.

Michael Grant, 2622 Deer Run Drive, acknowledged people have property rights but rules need to be followed.

Farrell Poll, 2316 E. 7800 S., pointed out the city owned property on South Weber Drive will have traffic issues and the city should keep that in mind.

Commissioner Johnson moved to close the public hearing for Preliminary Plat, Improvement Plans (for entire development) & Conditional Use (for CH zone over 1 acre) for South Weber Gateway Project (62 Lot R-7 Residential) & (18,824 sq ft. C-H Commercial) located at approx. 2350 E South Weber Drive by Applicant Brad Brown from Colliers International. Commissioner Losee seconded the motion. A roll call vote was taken. Commissioners Boatright, Davis, Johnson, and Losee voted aye. The motion carried.

******* PUBLIC HEARING CLOSED *******

Brad Brown, of Colliers International, acknowledged they are seeking a site plan approval and recognize the setback issues and with comply with the city's private right-of-way requirements. He addressed the request for a berm, which would allow for a more open space feel. He feels they have been good partners with the city in trying to get what the city wants.

Commissioner Davis asked about the buffer yard. Trevor replied that the city code allows for City Council to waive the buffer requirement. He stated the setback is 20'. Commissioner Losee discussed a masonry fence and 20' trees requirement for the buffer. She questioned how the 20' setback from commercial and residential applies. Trevor explained the city code allows for multiple buildings on the same lot. R-7 allows for multi-family. Commissioner Losee referenced state code. Trevor explained the difference between a condominium (own air space) verses a townhome (own ground underneath). Brandon added a Planned Unit Development (PUD) allows for a zero-lot line and this development isn't a PUD. Trevor explained the buildable area is 30' from South Weber Drive.

Commissioner Losee questioned the buffer yard. She is concerned with the commercial space in the northeast section and the approach towards the retention pond and safety. Trevor discussed there is no buffer zone requirement for the area Commissioner Losee is questioning because it is in the commercial highway zone. Brad Brown discussed this development having a community feel with the berm and rail fencing.

Commissioner Losee asked the maximum height of the buildings. Trevor replied the maximum height is 35'. Commissioner Losee asked if the landscape plan is complete and how is the hillside maintained. Brad reported the Fire Chief Tolman has reviewed the plan and given approval. It was stated there will be no watering of the hillside.

Commissioner Losee addressed the geotechnical report and what needs to be done with Army Corp of Engineers signing off of the identified wetland area. City Engineer Brandon Jones reported it is not a regulatory wetland and doesn't need to be signed off.

Commissioner Losee discussed parking. Brandon explained 4 of the 6 buildings have a drive-through and will require less parking. He reported the development meets the city code parking requirement.

Commissioner Losee asked about garbage collection for commercial. Trevor pointed out the garbage collection areas. Commissioner Losee discussed the traffic study. Trevor explained there is a right turn only into the development, which limits on street parking. He expressed with traffic studies the landowner can only control what happens on their land. Brandon explained when Highmark Charter School was approved, they stated their plan included the traffic they generate, which they are responsible for. He acknowledged the developer is accommodating what they need to do for their development.

Commissioner Johnson is concerned about the density and asked if the hillside was included in the calculation. It was reported this development followed city code with density calculation, fire code, parking, and ingress/egress.

Discussion took place regarding the trail. Farrell Poll expressed the city needs to approach Mark Fernelius. Brandon stated the developer has identified the trail on the plat; however, the city will need to work with surrounding property owners.

Commissioner Boatright feels this development is a nice balance of residential and commercial. He trusts the city staff review and recommendation for this development. He favored the berm and rail fencing.

Sky Hazelhurst, of Colliers International, stated if this follows code, he requested approval with conditions.

Commissioner Losee voiced her hesitation to approve this development tonight when the private right-of-way ordinance hasn't been approved by the City Council.

Commissioner Davis moved to approve the Preliminary Plat, Improvement Plans (for entire development) & Conditional Use (for CH zone over 1 acre) for South Weber Gateway Project (62 Lot R-7 Residential) & (18,824 sq ft. C-H Commercial) located at approx. 2350 E South Weber Drive by Applicant Brad Brown from Colliers International subject to the following conditions:

- 1. Recommend approval of the buffer yard alternative proposed by the Developer to the City Council.**
- 2. The required screening between R-7 and lower density zones has been satisfied in accordance to City Code and present conditions on the property.**
- 3. Final Subdivision Plat includes proper setbacks for all zones.**
- 4. A decision of the Private Right-of-Way ordinance that facilitates the current layout of the development.**
- 5. All other recommendations notated by the City Engineer and City Planner have been incorporated into the final application.**

Commissioner Boatright seconded the motion. A roll call vote was taken. Commissioners Boatright, Davis, and Johnson voted aye. Commissioner Losee voted nay. The motion carried 3 to 1.

5. Discussion: Landscape Ordinance

The Planning Commission agreed to move this item to another meeting.

6. Planning Commission Training: Property/Vesting Rights

Community Service Director Trevor Cahoon conducted training for the Planning Commission on property/vesting rights.

Trevor explained one of the most important rights associated with property ownership is the ability to adapt or develop it for some profitable or desirable use. Development and use of property supports economic growth and contributes to the public welfare.

May the Government Regulate the Uses and Improvements on my Property?

All property is subject to reasonable control and regulation by government entities. Local governments regulate the uses and improvements of property to protect and promote the health, safety, and welfare of the public. Proper zoning ordinances promote economic growth and help maintain strong and vibrant communities.

What if I disagree with a Zoning Ordinance's Restrictions?

Any citizen may petition their local government to consider a change to zoning ordinances. Local governments have wide latitude to adopt and amend zoning ordinances as a part of their authority to promote the public welfare. Unless it can be shown that the zoning ordinance does not advance the general welfare, or that the ordinance violates constitutional rights or some other controlling statute, the regulation will be upheld.

What If I Don't Want a Proposed Development to be approved?

Any aggrieved party may participate in public hearings concerning proposed developments. Notices of public hearings are available at local government offices or websites, in certain other public places, and in local newspapers. There are some "routine" zoning decisions or interpretations of a zoning ordinance and certain other matters that are made without a public hearing. Any aggrieved party may appeal a final decision on a proposed development.

When do I have a right to Develop?

The Vested Rights Rule provides that an applicant for subdivision approval or a building permit is entitled to approval if the application is complete, and complies with the zoning requirements in place on the date the application is submitted. Put simply, the vested rights rule means that the government cannot change the zoning rules after an application is filed.

What is meant by the "Vested Rights Rule"?

The "Vested Rights Rule" means that an applicant for a land use or a development is entitled to consideration and approval if the application is complete, and if it complies with all zoning requirements in place at the time of the application. Put another way, the right to develop "vests" when a complete application that complies with zoning ordinances is submitted.

What do vested rights mean to an applicant? An applicant whose rights have vested is entitled to consideration of the application under the ordinances in place when the application is filed, and approval of the application under the zoning ordinances in place, even if the ordinances are subsequently changed.

Are There Exceptions to the Vested Rights Rule?

- An applicant cannot claim vested rights if the process to change a zoning ordinance that would affect the application has been initiated before the application was submitted, and the ordinance changes is ultimately approved.
- An applicant may not gain vested rights if the local government can show that there is a “compelling, countervailing” public interest that would be jeopardized if the proposed development were carried out.
- The Utah Code provides that The “Vested Rights Rule” means that an applicant for a land use or a development is entitled to consideration and approval if the application is complete, and if it complies with all zoning requirements in place at the time of the application. Put another way, the right to develop “vests” when a complete application that complies with zoning ordinances is submitted.

When is an Application Considered Complete?

An application is complete when it is submitted in a form that complies with the applicable requirements of a local zoning ordinance and all required fees have been paid.

What if an Ordinance Changes before an Application is Complete?

- The Vested Rights Rule provides that an applicant is entitled to approval if the development application complies with the zoning ordinances in place when the application becomes complete.
- The “Vested Rights Rule” means that an applicant for a land use or a development is entitled to consideration and approval if the application is complete, and if it complies with all zoning requirements in place at the time of the application. Put another way, the right to develop “vests” when a complete application that complies with zoning ordinances is submitted.

Western Land Equities v. City of Logan

- An owner of property holds it subject to zoning ordinances enacted pursuant to a locality’s police power.
- An applicant for subdivision approval or a building permit is entitled to favorable action if the application conforms to the zoning ordinance in place at the time of application, unless changes in the zoning ordinance are pending which would prohibit the use applied for, or unless there are compelling, countervailing reasons to deny the application.
- An applicant for approval of a planned and permitted use should not be subject to shifting policies that do not reflect serious public concerns. It is incumbent on a local government to act in good faith and not reject an application to simply substitute the judgment of current officials for that of their predecessors.

Scherbel v. Salt Lake City

- A city council under the council-mayor form of government should not hear appeals from zoning decisions made by the planning commission.
- An applicant for subdivision approval or a building permit is entitled to favorable action if the application conforms to the zoning ordinance in place at the time of the application, unless changes in the zoning ordinance are pending, which would prohibit the use applied for, or unless there are compelling, countervailing reasons to deny the application.

- If an application does not conform to the requirements of a zoning ordinance, it cannot serve to vest any right in a particular zoning classification. Thus, if an application does not meet the requirements for a land use, no rights in that application vest.

7. Planning Commission Comments

Commissioner Losee: requested if a plan is a PUD and HOA, it should be included in the preliminary plat. She doesn't favor the buffer yard, doesn't agree with setbacks, and parking for the preliminary plat on tonight's agenda.

Commissioner Davis: directed Trevor to look at policy procedure for public hearing public comments and the location on the agenda. He noted public comment is not for discussion purposes.

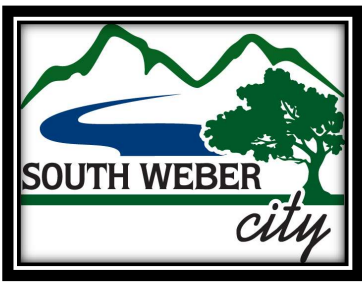
Commissioner Boatright: thanked Mayor Sjoblom and Councilman Winsor for their service to the city. He is looking forward to serving with Rod Westbroek and Joel Dills.

ADJOURNED: Commissioner Johnson moved to adjourn the Planning Commission meeting at 8:06 p.m. Commissioner Losee seconded the motion. Commissioners Boatright, Davis, Johnson, and Losee voted aye. The motion carried.

APPROVED: _____ Date
Chairperson: Gary Boatright

Transcriber: Michelle Clark

Attest: Development Coordinator, Kimberli Guill



Subdivision Dashboard

Planning Commission

4 The Meadows Preliminary

Development : The Meadows



Sketch

Preliminary

Final

Post
Approval

Quick Stats

Units Per Acre

R-P 2.55 R-M 2.28

Zoning

Rezoned to R-P & R-M

Total Open Space

1.25 Acres 13.3%

Total Acreage

R-P 9.38 & R-M 4.37

Preliminary Tasks

Complete all additions/alterations/requirements set at the Sketch Plan

- ☒ 1 Set of Mailing Labels listing the names/ mailing addresses for property owners within 300' of the outer boundaries of the property.
- ☒ A list of delineating parcel numbers for each of the surrounding property owners.
- ☒ Current Title Report and proof of Title Insurance
- ☒ Draft of easements/agreements with adjacent property owners (if applicable)
- ☒ Draft of Covenants, Conditions & Restrictions (if applicable)
- ☒ Completed Utility Notification Form
- ☒ A letter of approval from applicable secondary water provider stating dates of plans reviewed and date of approval.
- ☒ A written statement from the Army Corps of Engineers regarding wetland mitigation (if applicable)
- ☒ Preliminary Storm Drain Calculations
- ☒ Geotechnical Report
- ☒ Traffic Impact Study (if recommended at Sketch Plan)

Meets City Code

Yes ☒ No ☐

Meets General Plan

Yes ☒ No ☐

Rezone Required

Yes ☒ No ☐

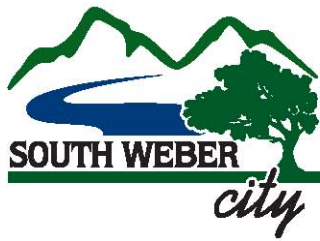
Conditional Use

Yes ☐ No ☒

Comments

All aspects of this development have been found in compliance with City Code and meet the necessary requirements of the preliminary application.

The application of the the Residential Patio zoning designation is consistent with the general plan and meets the character of the surrounding neighborhoods.



STAFF MEMORANDUM

4 The Meadows Preliminary

1600 E. South Weber Drive
South Weber, UT 84405

www.southwebercity.com

801-479-3177
FAX 801-479-0066

To: Planning Commission
From: Trevor Cahoon, Community Services Director
Re: The Meadows – Preliminary Subdivision

Project Information	
Project Name	The Meadows
Site Location	750 E Old Fort Road
Tax ID Number	130180088
Applicant	Duane Johnson
Owner	Gordon Taylor, Brandon Taylor, Heidi & Watts Dixon
Proposed Actions	Preliminary Subdivision & Rezone to R-M and R-P
Current Zoning	Agricultural
General Plan Land Use Classification	Residential Moderate with Residential Patio Overlay
Gross Site	13.73
Total Units	34
Units Per Acre – R-P (Max 4)	2.55
Units Per Acre – R-M (Max 2.8)	2.28

ACTION

Administrative Action: Preliminary approval by Planning Commission on Subdivision.

Advisory Action: Recommend Rezone to R-M and R-P.

STAFF REVIEW SUMMARY

Trevor Cahoon, Community Services Director, and Brandon Jones, City Engineer, have reviewed the preliminary application and found its contents to be consistent with City Code and recommend approval of the preliminary application and subsequent rezone of the property.

Items of Note:

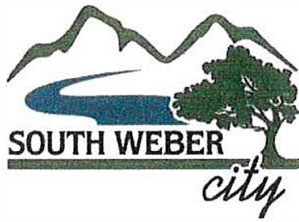
- This property will be split zoned to maintain compliance with the zoning acreage restriction of the Residential Patio zoning district.
- Landscape requirement request for a reduction to 10% required landscaped space for exceptional design. The minimum landscape that is required for a project utilizing the R-P zoning designation is 15% but with exceptional design the developer can request a 10% minimum. Developer has included a paved walking path, as well as many trees and a pavilion for the detention basin. Staff feels that these improvements will make this park more usable and will generate a better asset than a simple grassed detention basin. (see City Code 10-5P-10)

- Phasing for the project will have 3 components. Phase one will not have more than 30 units feeding through the single outlet and so would be permissible under the code requirements. Construction of Old Fort Road would be required prior to any other occupancy on the second two phases. This is set to happen in phase 2.
- 6' solid vinyl fence is proposed between R-P and R-M zones. 6' chain link is proposed along the east and south boundaries. 6' masonry fence is proposed along Old Fort Road.
- A turn around on Old Fort Road will be required for the construction of this road because the length exceeds the maximum required. This turn around will be temporary once the road continues through to the next property and will be removed.
- A Cost Share (Reimbursement) Agreement is needed before final approval. This will cover what the City owes the developer for the upsize of Old Fort Road, storm drain facilities, water facilities. This cost will be reimbursed to the developer through the collection of impact fees.

PLANNING COMMISSION RECOMMENDATION OPTIONS

After careful consideration of the information presented, the South Weber Planning Commission moves to:

1. Approve the Preliminary Application for The Meadows and recommend the rezone request from Agricultural to Residential Moderate and Residential Patio as outlined in the preliminary application.
2. Approve the Preliminary Application for The Meadows, and recommend the rezone request from Agricultural to Residential Moderate and Residential Patio as outlined in the preliminary application, with the following conditions or recommendations:
 - a. *(Any conditions that need to be met)*
3. Deny the Preliminary Application for The Meadows for the following reasons:
 - a. *(List reasons based upon City Code.)*
4. Continue the Preliminary Application for The Meadows for consideration at a future date.



1600 E. South Weber Drive
South Weber, UT 84405

www.southwebercity.com

801-479-3177
FAX 801-479-0066

Approved by PC _____
Approved by CC _____

OFFICE USE ONLY

	1-10 lots	11 + lots	Amt Pd	Date	Rcpt #	Mtg date
Concept	\$ 200.00	\$ 400.00	\$400	3/17/21	5001143	3/8/2021
Sketch	\$ 400.00	\$ 700.00	\$900	4/27/21	5001236	5/3/2021
2nd Sketch	\$ 300.00	\$ 350.00				
Prelim	\$ 600.00	\$ 900.00	\$900	7/12/21	5001417	1/13/2022
Final	\$ 700.00	\$ 1,100.00				

SUBDIVISION/LAND USE PROCESS APPLICATION

Project/Subdivision Name: Watts Property/The Meadows
 Approx. Location: 750 East ~~South Bench Drive~~ Old Fort Rd.
 Parcel Number(s): 13-018-0088 Total Acres: 13.75 Acres
 Current Zone: A If Rezoning, to what zone: R-P Bordering Zones: R-M, R-P & A
 Surrounding Land Uses: Residential and agricultural
 Number of Lots: 34 # of Lots Per Acre: 2.8 PUD: Yes No

Developer or Agent

Name: Duane Johnson
 Company: _____
 Address: P.O. Box 643
 City/State/Zip: Layton, UT 84041
 Phone: 801-644-3436
 Email: soderbyllc@outlook.com

Developer's Engineer

Name: J. Nate Reeve
 Company: Reeve & Associates, Inc.
 Address: 5160 S 1500 W
 City/State/Zip: Riverdale, UT 84405
 Phone: 801-621-3100
 Email: nreeve@reeve-assoc.com
 State License # 375328

Property Owner, if not Developer

Gordon Taylor & Brandon Taylor
 Name: Dixon, Heidi & Watts
 Company: _____
 Address: 3137 East Warm Springs Rd,
STE. 100
 City/State/Zip: Las Vegas, NV 89120
 Phone: _____
 Email: _____

Surveyor, if not Engineer

Name: Same as Engineer
 Company: _____
 Address: _____
 City/State/Zip: _____
 Phone: _____
 Email: _____

Development Signs:

Please note that a building permit is required for all temporary subdivision signs. Signs cannot obstruct clear and free vision and must comply with all City Codes. Failure to comply will result in sign removal.

Applicant Certification

I swear the statements and answers contained herein, in the attached plans, and other exhibits, thoroughly, to the best of my/our ability, present the argument in behalf of the application requested herewith, and that the statements and information above referred to are in all respects true and correct to the best of my/our knowledge and belief. I also certify that I am the owner of the subject property and that the authorized agent noted in this application has my consent to represent me with respect to this application and to appear on my/our behalf before any city commission, board or council considering this application. Should any of the information or representations submitted be incorrect or untrue, I understand that The City of South Weber may rescind any approval or take any other legal or appropriate action. I also acknowledge that I have reviewed the applicable sections of the South Weber City Land Development Code (SWMC 11) and that items and checklists contained in this application are basic and minimum requirements only and that other requirements may be imposed that are unique to individual projects or uses. Additionally, I agree to pay all fees associated with this project, as set by the current adopted Consolidated Fee Schedule as well as **any fees associated with any City Consultant (i.e. engineer, attorney)**. The applicant shall also be responsible for all collection fees incurred including a collection fee of up to 40% (pursuant to the provisions of the Utah Code Ann. §12-1-11). I also agree to allow the Staff, Planning Commission, or City Council or appointed agent(s) of the City to enter the subject property to make any necessary inspections thereof.

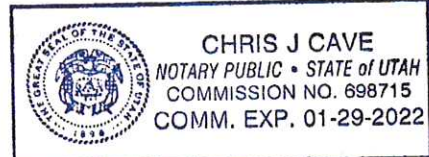
Applicant's Signature: _____

Date: _____

State of Utah, County of Davis

Subscribed and sworn to before me on this 24 day of February, 2012By DUANE W. JOHNSON

Notary _____



Property Owner's Signature: _____

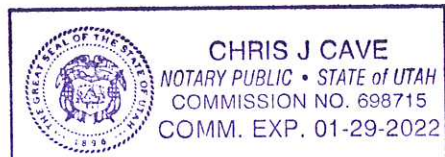
Seal

Date: 2/24/2021

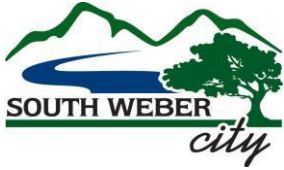
State of Utah, County of Davis

Subscribed and sworn to before me on this 24th day of February, 2012By BRANDON WATTS

Notary _____



Seal



APPLICATION PROCESS: (If applicable) Please submit all requested items and answer all questions as completely as possible, omissions may delay processing. If there are any questions, contact the City Office at (801) 479-3177.

☐

Application

☐

Site plan, if applicable

☐

Copy of the recorded plat showing subject property (clearly marked) and all properties within 300 feet (front, back and sides). This information is available at the Davis County Recorder's Office.

☐

One set of labels with names and mailing addresses of all property owners within 300 feet of the outer boundary of subject property. Including "Or current resident" is recommended. Names are available at Davis County Assessor's Office. Allow 2 days for processing. The Assessor can also provide the labels for an additional fee.

☐

A list of the above names and addresses.

ZONE CHANGE APPLICATION (If applicable)

Approx. Location: 750 E. Old Fort Rd.

Parcel Number(s): 13-018-0092 Total Acres: 13.75

Request: 4.37 Acres changed from A Zone to R-M Zone
9.38 Acres changed from A Zone to R-P Zone

Legal Description: (attach if too large) _____

PART OF THE NORTH HALF OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT, SAID POINT BEING N00°36'39"E 559.50 FEET AND S89°23'21"E 2138.85 FEET FROM THE WEST QUARTER CORNER OF SAID SECTION 28; THENCE N01°06'20"E 1213.28 FEET; THENCE N00°00'29"E 34.50 FEET; THENCE S45°17'37"E 100.00 FEET; THENCE S45°05'19"E 81.00 FEET; THENCE S38°52'37"E 99.24 FEET; THENCE S45°28'37"E 494.26 FEET; THENCE ALONG A NON-TANGENT CURVE TURNING TO THE RIGHT WITH A RADIUS OF 11329.16 FEET, AN ARC LENGTH OF 167.09 FEET, A DELTA ANGLE OF 00°50'42", A CHORD BEARING OF S40°41'16"E, AND A CHORD LENGTH OF 167.09 FEET; THENCE S04°11'09"W 64.99 FEET; THENCE S01°01'06"W 176.96 FEET; THENCE S00°15'50"W 327.74 FEET; THENCE WEST 666.06 FEET TO THE POINT OF BEGINNING.
 CONTAINING 604,881 SQUARE FEET OR 13.886 ACRES MORE OR LESS.

Proposed Use: Residential

How does this use support the City's General Plan? _____

Project matches General Plan

Public Notice Authorization: I do hereby give permission to South Weber City to place a public notice sign on the property contained herein for the purpose of citizen notification of this proposed change in zoning.

Development Signs:

Please note that a building permit is required for all temporary subdivision signs. Signs cannot obstruct clear and free vision and must comply with all City Codes. Failure to comply will result in sign removal.

Applicant Certification

I swear the statements and answers contained herein, in the attached plans, and other exhibits, thoroughly, to the best of my/our ability, present the argument in behalf of the application requested herewith, and that the statements and information above referred to are in all respects true and correct to the best of my/our knowledge and belief. I also certify that I am the owner of the subject property and that the authorized agent noted in this application has my consent to represent me with respect to this application and to appear on my/our behalf before any city commission, board or council considering this application. Should any of the information or representations submitted be incorrect or untrue, I understand that The City of South Weber may rescind any approval or take any other legal or appropriate action. I also acknowledge that I have reviewed the applicable sections of the South Weber City Land Development Code (SWMC 11) and that items and checklists contained in this application are basic and minimum requirements only and that other requirements may be imposed that are unique to individual projects or uses. Additionally, I agree to pay all fees associated with this project, as set by the current adopted Consolidated Fee Schedule as well as **any fees associated with any City Consultant (i.e. engineer, attorney)**. The applicant shall also be responsible for all collection fees incurred including a collection fee of up to 40% (pursuant to the provisions of the Utah Code Ann. §12-1-11). I also agree to allow the Staff, Planning Commission, or City Council or appointed agent(s) of the City to enter the subject property to make any necessary inspections thereof.

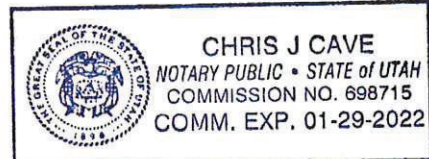
Applicant's Signature: _____

Date: _____

State of Utah, County of Davis

Subscribed and sworn to before me on this 24 day of February, 20121By DUANE W. JOHNSON

Notary _____



Property Owner's Signature: _____

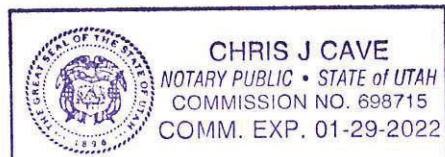
Seal

Date: 2/24/2021

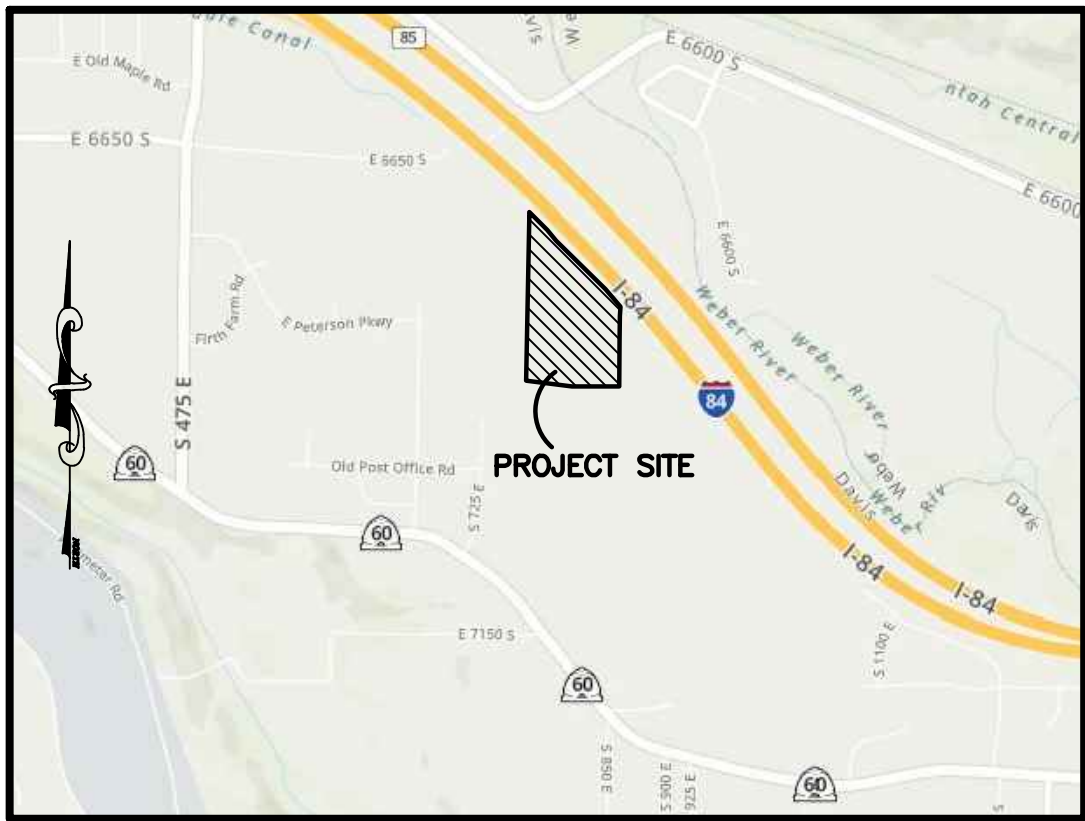
State of Utah, County of Davis

Subscribed and sworn to before me on this 24th day of February, 20121By BRANDON WATTS

Notary _____



Seal



VICINITY MAP
SCALE: NONE

CURVE TABLE

#	RADIUS	ARC LENGTH	CHORD LENGTH	TANGENT	CHORD BEARING	DELTA ANGLE
C1	11329.16'	167.09'	167.09'	83.55'	S40°41'16"E	0°50'42"
C2	447.00'	24.92'	24.92'	12.46'	N42°12'52"W	3°11'40"
C3	408.00'	22.75'	22.74'	11.38'	N42°12'52"W	3°11'40"
C4	369.00'	20.57'	20.57'	10.29'	N42°12'52"W	3°11'40"
C5	447.00'	12.99'	12.99'	6.50'	N44°38'40"W	1°39'55"
C6	408.00'	11.86'	11.86'	5.93'	N44°38'40"W	1°39'55"
C7	369.00'	6.47'	6.47'	3.24'	N44°58'28"W	1°00'18"
C8	369.00'	24.34'	24.34'	12.17'	S43°35'15"E	3°46'45"
C9	408.00'	26.91'	26.91'	13.46'	S43°35'15"E	3°46'45"
C10	447.00'	29.48'	29.48'	14.75'	S43°35'15"E	3°46'45"
C11	165.00'	59.38'	59.06'	30.01'	S35°52'43"W	20°37'09"
C12	200.00'	71.97'	71.59'	36.38'	S35°52'43"W	20°37'09"
C13	235.00'	42.12'	42.07'	21.12'	S41°03'12"W	10°16'12"
C14	235.00'	42.45'	42.39'	21.28'	S30°44'37"W	10°20'57"
C15	335.00'	92.39'	92.10'	46.49'	S80°02'05"E	15°48'05"
C16	335.00'	5.61"	5.61"	2.80'	S88°24'53"E	0°57'33"
C17	300.00'	128.12'	127.15'	65.05'	S76°39'37"E	24°28'06"
C18	265.00'	68.07'	67.88'	34.22'	S81°32'09"E	14°43'02"
C19	335.00'	89.01'	88.75'	44.77'	S17°57'27"W	15°13'23"
C20	335.00'	54.03'	53.97'	27.07'	S05°43'33"W	9°14'26"
C21	300.00'	128.09'	127.12'	65.04'	S13°20'14"W	24°27'49"
C22	265.00'	112.17'	111.34'	56.94'	S13°26'33"W	24°15'11"
C23	265.00'	0.97'	0.97'	0.49'	S01°12'39"W	0°12'37"
C24	20.00'	28.69'	26.29'	17.45'	N48°54'02"E	82°11'57"
C25	20.00'	2.63'	2.63'	1.32'	N04°01'57"E	7°32'13"
C26	25.00'	12.25'	12.13'	6.25'	S75°57'50"E	28°04'21"
C27	60.00'	1.65'	1.65'	0.83'	S69°43'02"E	1°34'46"
C28	60.00'	77.19'	71.97'	44.87'	N79°38'21"E	7°34'29"
C29	60.00'	50.56'	49.08'	26.89'	N18°38'33"E	48°17'08"
C30	60.00'	23.36'	23.21'	11.83'	N16°39'16"W	22°18'30"
C31	25.00'	12.25'	12.13'	6.25'	N13°46'21"W	28°04'21"
C32	20.00'	16.91'	16.41'	9.00'	N23°57'21"W	48°26'22"
C33	20.00'	12.45'	12.25'	6.43'	N18°05'36"E	35°39'33"
C34	60.00'	46.58'	45.42'	24.53'	N13°40'59"E	44°28'47"
C35	60.00'	51.19'	49.65'	27.27'	N32°59'53"W	48°52'58"
C36	60.00'	27.64'	27.40'	14.07'	N70°38'14"W	26°23'42"
C37	20.00'	12.45'	12.25'	6.43'	N66°00'18"W	35°39'33"
C38	335.00'	49.95'	49.91'	25.02'	N52°26'50"W	8°32'36"
C39	300.00'	85.09'	84.80'	42.83'	N56°18'03"W	16°15'02"
C40	265.00'	30.05'	30.04'	15.04'	N51°25'28"W	6°29'53"

LINE TABLE

LINE	BEARING	DISTANCE
L1	N88°48'42"W	14.14'
L2	S01°07'05"W	14.12'
L3	S25°34'09"W	16.22'
L4	S67°08'42"W	14.96'
L5	S23°45'48"E	13.03'
L6	S25°34'09"W	29.04'
L7	N25°34'09"E	29.03'
L8	N74°54'26"E	13.03'
L9	N16°00'09"W	14.96'
L10	N25°34'09"E	16.22'
L11	S88°53'40"E	51.27'
L12	S41°49'28"W	47.74'
L13	N44°26'30"W	14.00'
L14	N45°33'10"E	14.28'
L15	S46°11'18"W	30.00'

NOTES

- PROPERTY IS IN ZONE X PER FEMA FLOOD MAP PANEL 49011C0089E, EFFECTIVE 6-18-2007
- PROPERTY HAS NO WETLANDS
- PROPERTY WILL BE ZONED R-P (RESIDENTIAL PATIO) AND R-M (RESIDENTIAL MODERATE DENSITY ZONE)
- ALL LOTS AND IMPROVEMENTS AS SUBJECT TO THE REQUIREMENTS OF THE GEOTECHNICAL REPORT PREPARED BY CMT ENGINEERING LABORATORIES, DATED JUNE 15, 2021
- ALL PROPERTY OWNERS ARE RESPONSIBLE TO KEEP STORM WATER RUNOFF GENERATED FROM THEIR PROPERTY, ON THEIR PROPERTY. THEY MAY NOT DIRECT RUNOFF ONTO ADJACENT PROPERTY OWNERS. ANY GRADING OR LANDSCAPING SHOULD BE DONE IN SUCH A WAY AS TO KEEP ALL STORM WATER RUNOFF ON THEIR LOT.
- R LOTS WILL HAVE NO ACCESS TO OLD FORT ROAD.
- R* LOTS WILL HAVE A TEMP TURNAROUND WITH ASPHALT AND CANNOT BE REMOVED UNTIL THE DEVELOPMENT TO THE EAST REMOVES THE TURNAROUND AND EXTENDS THE ROAD
- A PROPOSED 6' SOLID VINYL FENCE TO SEPARATE R-P ZONE.
- PROPOSED CONCRETE TRAIL ALONG DETENTION WILL BE 6' CONCRETE.
- THE OLD FORT ROAD 10' TRAIL WILL BE PAID BY THE DEVELOPER BUT INSTALLED BY SOUTH WEBER CITY AT A LATER DATE.
- A 10' GENERAL UTILITY EASEMENT, LOCATED ON THE NORTH LINE OF LOTS 20-R, 21-R, 22-R*, 23-R*, 24-R, 26-R AND 27-R (ALONG THE SOUTHERLY RIGHT OF WAY LINE OF OLD FORT ROAD), IS TO BE OWNED BY THE INDIVIDUAL LOT OWNERS AND MAINTAINED BY THE HOME OWNERS ASSOCIATION. IF, AFTER WRITTEN NOTICE FROM THE CITY OF FAILURE TO MAINTAIN HAS BEEN PROVIDED, AND THE AREA REMAINS UN-MAINTAINED, THE CITY SHALL HAVE AUTHORITY TO HIRE THE MAINTENANCE WORK TO BE DONE AND ASSESS THE HOME OWNERS ACCORDINGLY.

BOUNDARY DESCRIPTION

PART OF THE NORTH HALF OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERLY LINE OF HARVEST PARK PHASE 3, SAID POINT BEING N00°36'39"E 559.53 FEET AND S89°23'21"E 2140.01 FEET FROM THE WEST QUARTER CORNER OF SAID SECTION 28; THENCE N01°06'20"E 1134.41 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF OLD FORT ROAD; THENCE S41°41'52"E ALONG SAID SOUTHERLY LINE, 12.44 FEET; THENCE N48°18'04"E 81.76 FEET; THENCE S45°05'46"E 83.99 FEET; THENCE S38°52'37"E 99.24 FEET; THENCE S45°28'37"E 494.26 FEET; THENCE S40°41'16"E 167.09 FEET; THENCE S04°11'09"W 64.99 FEET; THENCE S01°01'06"W 176.96 FEET; THENCE S00°15'50"W 327.74 FEET; THENCE N89°59'49"W 337.18 FEET; THENCE WEST 327.73 FEET TO THE EASTERLY LINE OF HARVEST PARK PHASE 3 AND TO THE POINT OF BEGINNING.

CONTAINING 599061 SQUARE FEET OR 13.753 ACRES MORE OR LESS.

DESIGN DATA

TOTAL AREA OF SUBD.....13.75 ACRES
R-M PORTION OF SUBD.....4.37 ACRES
R-P PORTION OF SUBD.....9.38 ACRES

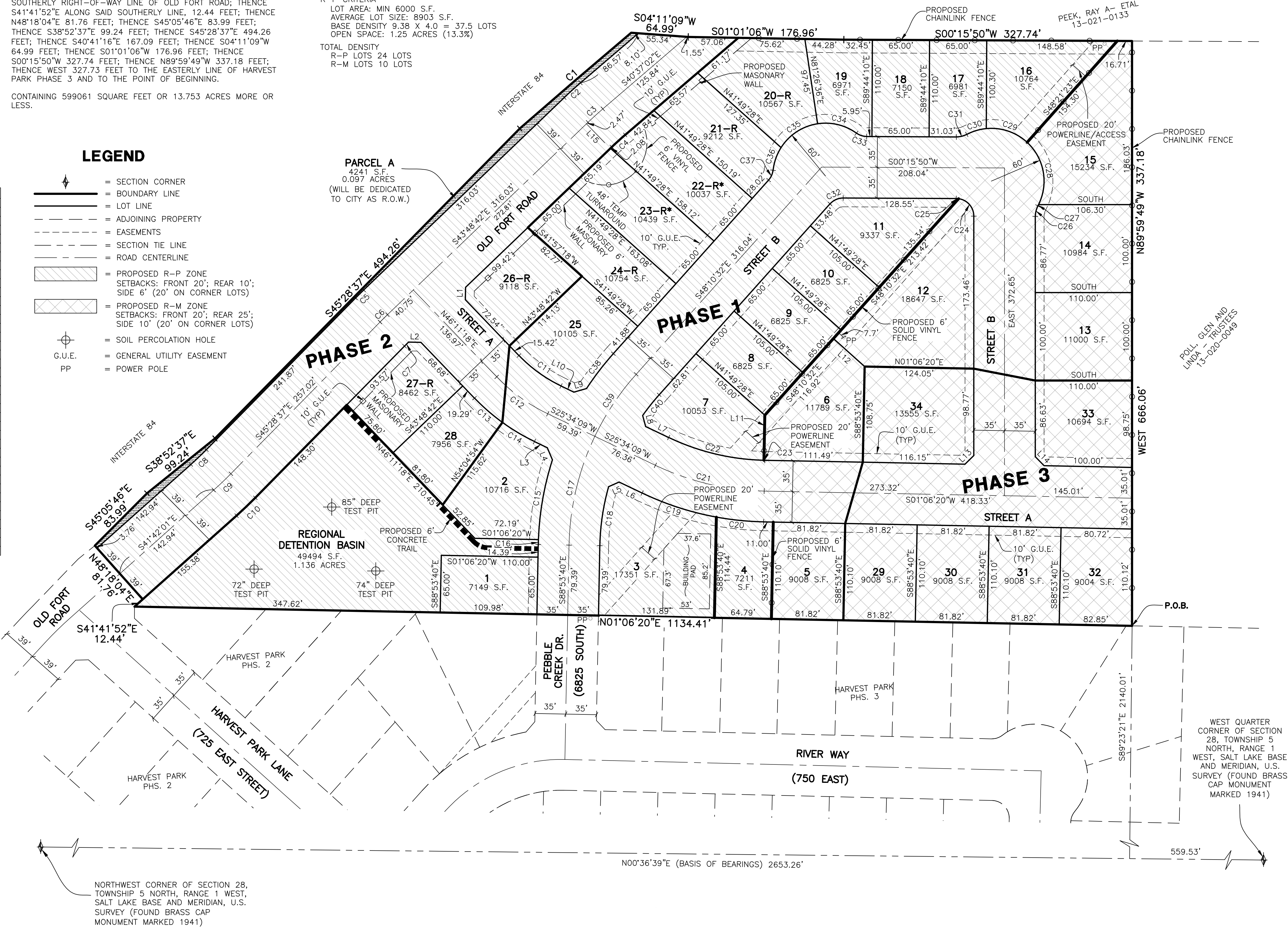
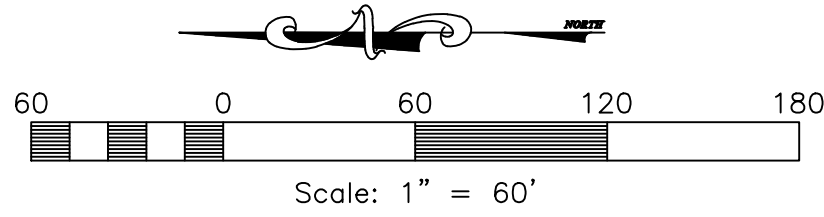
R-M CRITERIA
LOT AREA: MIN 9000 S.F.
AVERAGE LOT SIZE: 12735 S.F.
BASE DENSITY 4.37 X 2.8 = 12.24 LOTS

R-P CRITERIA
LOT AREA: MIN 6000 S.F.
AVERAGE LOT SIZE: 8903 S.F.
BASE DENSITY 9.38 X 4.0 = 37.5 LOTS
OPEN SPACE: 1.25 ACRES (13.3%)

TOTAL DENSITY
R-P LOTS 24 LOTS
R-M LOTS 10 LOTS

LANDSCAPE/OPEN SPACE DATA

R-P PORTION OF SUBD.....9.38 ACRES
DETENTION BASIN OPENSACE.....1.14 ACRES (12.2%)
"EXCEPTIONAL" OPENSACE REQUIREMENT.....10%
(SEE LANDSCAPE PLAN)



The Meadows Subdivision
Preliminary Plat 'Not to be Recorded'

South Weber City, Davis County, Utah

Developer:

Duane Johnson
P.O. Box 643
Layton, UT. 84041
(801) 644-3436

Reeve & Associates, Inc.

TRA

5160 SOUTH 1500 WEST RIVERDALE, UTAH 84405
TEL: (801) 641-3100 FAX: (801) 641-3666 www.reeve-assoc.com

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DATE	DESCRIPTION
1	8-8-21	CITY COMMENTS
2	9-8-21	CITY COMMENTS
3	10-26-21	CITY COMMENTS
4	11-24-21	CITY COMMENTS
5	12-14-21	CITY COMMENTS

The Meadows Subdivision

PART OF THE NORTH HALF OF SECTION 28, T.5N., R.1W., S.LB & M., U.S. SURVEY
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

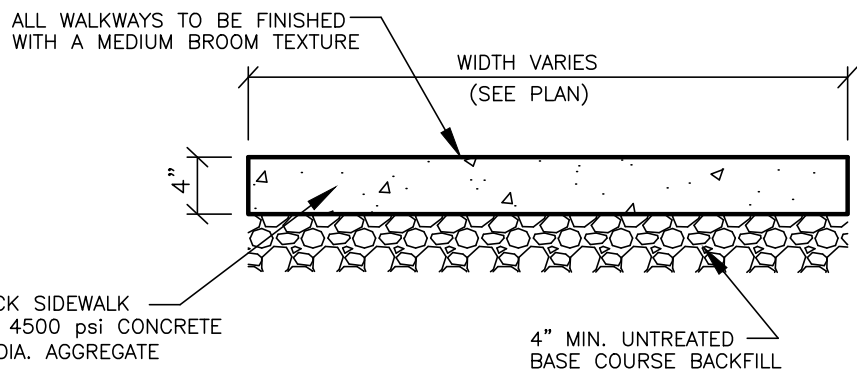
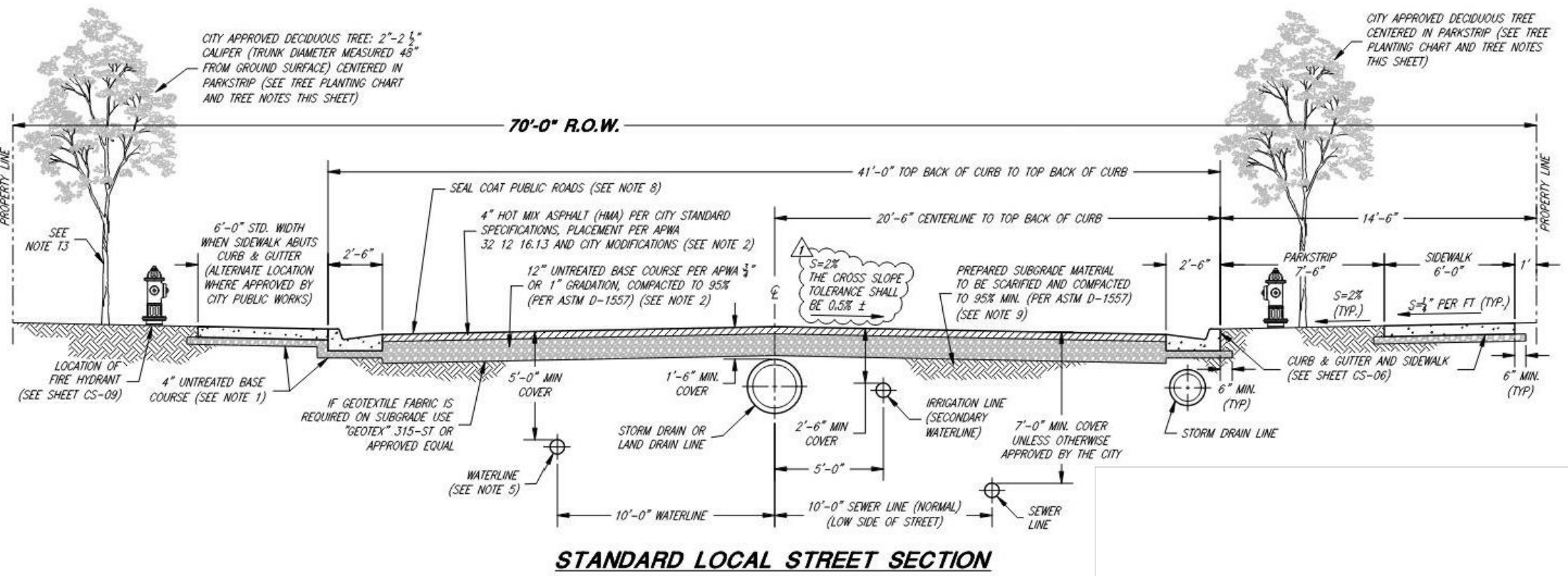
Preliminary Plan

Project Info.

Engineer: N. Reeve
Designer: C. Cave
Begin Date: 4-14-21
Name: THE MEADOWS
Number: 4359-04

Sheet	3
1	Sheets

- GENERAL NOTES:**
1. PROVIDE 4" THICKNESS OF 3/4" OR 1" UNTREATED BASE COURSE UNDER SIDEWALK, DRIVEWAY APPROACHES AND CURB & GUTTER, COMPACTED TO 95% PER ASTM D-1557.
 2. THESE PAVEMENT THICKNESS SHALL BE CONSIDERED AS CITY MINIMUMS AND MAY BE INCREASED BY THE CITY ENGINEER WHEN A GREATER DEPTH IS NECESSARY TO PROVIDE SUFFICIENT STABILITY. DESIGNER AND/OR DEVELOPER MAY SUBMIT AN ALTERNATIVE PAVEMENT DESIGN BASED ON A DETAILED SOILS ANALYSIS FOR APPROVAL BY THE CITY ENGINEER. WHEN ANY ALTERNATIVE PAVEMENT THICKNESS, BUT IN NO CASE SHALL THE MINIMUM SUBGRADE COURSE BE LESS THAN 4" AND UNTREATED BASE COURSE LESS THAN 12" THICK.
 3. ALL ROAD CUTS SHALL BE FINISHED PER CS-15 AND CS-13.
 4. CURB & GUTTER AND SIDEWALKS SHALL BE CONSTRUCTED USING FIBER REINFORCED CONCRETE AND IN COMPLIANCE WITH SOUTH WEBER CITY TECHNICAL SPECIFICATIONS AND THESE DRAWINGS.
 5. ALL CULINARY WATER MAINS AND SERVICES MUST MAINTAIN A MINIMUM SEPARATION FROM ALL SEWER MAINS AND LATERALS OF 10'-0" HORIZONTAL AND 12" VERTICAL IN ACCORDANCE WITH THE STATE OF UTAH DESIGN OF LANDING MINIMUM RULES SECTION 6309-550-7.
 6. THE 6'-0" SIDEWALK SHOWN ABOVE IS TO BE CONSIDERED THE "CITY STANDARD." OTHER LOADINGS AND TYPES OF SIDEWALKS AS REQUESTED BY THE DEVELOPER MUST BE APPROVED BY THE CITY. IF SIDEWALK IS LOCATED AGAINST THE TIE, IT MUST BE A MINIMUM OF 6 FEET IN WIDTH.
 7. NATURAL GAS TYPICALLY LOCATED IN THE PARKSTRIP. POWER AND COMMUNICATION LINES TYPICALLY LOCATED BEHIND PROPERTY LINES OR IN LOT EASEMENTS.
 8. "SEAL COAT" CONSISTS OF THE FOLLOWING:
a. ONE SEAL PER APRIL 15 TO 13.64 AND CITY MODIFICATIONS; AND
b. TWO SEAL PER APRIL 15 TO 13.52 AND CITY MODIFICATIONS.
 9. IMPORTED FILL UNDER ROADWAY SHALL BE GRANULAR BORROW 2" MAX. PRIOR TO THE INSTALLATION OF PAVEMENT, THE CITY INSPECTOR MUST OBTAIN WRITTEN PERMISSION TO PROCEED.



Concrete Walkway
SCALE: NONE

BASIN NOTES

REQUIRED VOLUME	= 22,670 c.f.
REQUIRED LID	= 8,583 c.f.
REQUIRED TOTAL	= 31,253 c.f.
PROVIDED LID	= 9,796 c.f.
PROVIDED TOTAL	= 72,239 c.f.
FUTURE DEVELOPMENT ALLOTMENT	= 41,007 c.f.
TOP/BERM	= 4441.00 Elev.
HIGH WATER	= 4440.00 Elev.
BOTTOM/INVERT	= 4437.60 Elev.
3:1 SLOPE FROM TOP TO BOTTOM	

SEE SHEET 3 FOR PIPE CALCULATIONS & BASEMENT TABLE



Storm Runoff Calculations The Meadows 4359-04 11/17/2021 NRP

The following runoff calculations are based on the Rainfall - Intensity - Duration Frequency Curve for the South Weber area taken from the NOAA Atlas 14 database. Calculations have been completed for the 100-yr 1-hr storm event. Storm water runoff has been calculated for a fully developed site.

The calculations are as follows:

Proposed Development			
Drainage Area:			
Total Area =	13.89 acre or	604,881 ft ²	
Runoff Coefficients			
Paved Area	198,350		C = 0.9
Roof	102,000		C = 0.9
Landscaped Area	304,531		C = 0.2
Weighted Runoff Coefficient			C = 0.47

LID Retention:			
80 th Percentile Rainfall Event	0.45	in	
Is the site Feasible for LID?	Yes		
Site Imperviousness	0.50		
NRCS Soil Group	C/D	(USDA)	
Rv Equation	0.83/1.122		
R _h	0.38		
V _{pond}	8583	c.f.	

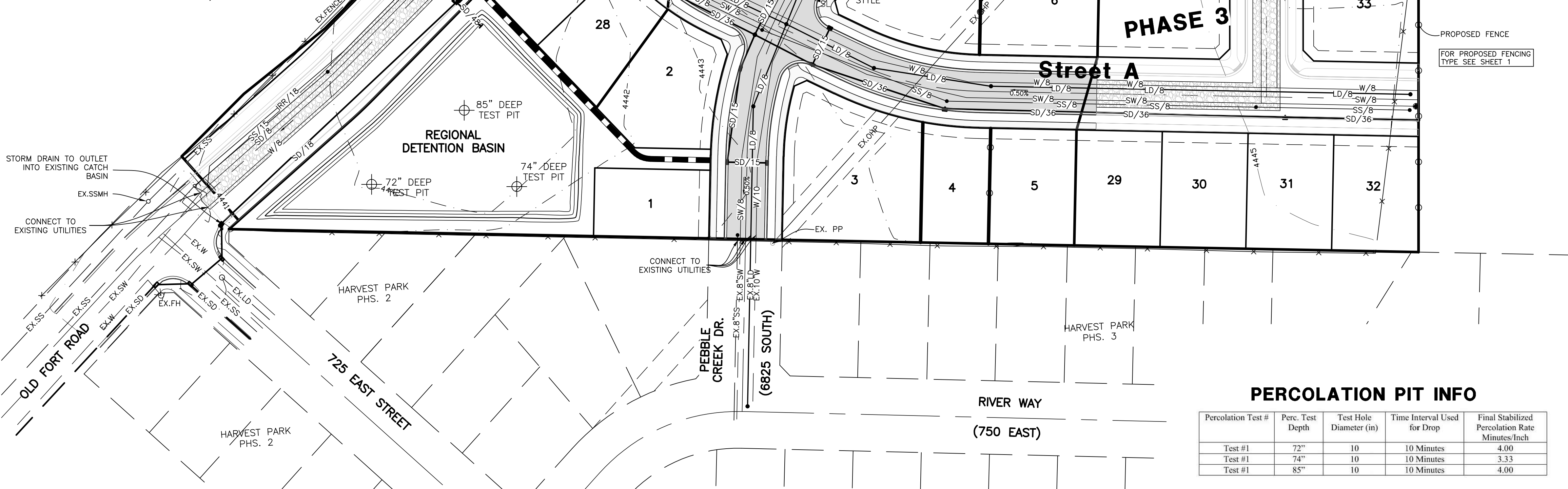
Volume of Run-off for 100-year Storm Event:						
C =	0.47					
I =	See Below in/hr					
A =	604881.32 ft ²					
Q(out) =	7.48 ft ³ /s	(City's Request + Percolation Out)				
time	time	i	Q	Vol. in	Vol. out	Difference
(min)	(sec)	(in./hr.)	(cfs)	(cf)	(cf)	(cf)
0	0	0.00	0.00	0	0	0
5	300	7.21	47.45	14234	2243	11991
10	600	5.48	36.06	21638	4486	17152
15	900	4.53	28.81	26830	6730	20101
30	1800	3.05	20.07	36129	13459	22670
60	3600	1.89	12.44	44776	26919	17858

Orifice Sizing:			
Q =	3.70	cfs	(City's Request)
2g =	64.4	ft/s ²	
H =	3.00	ft	
Cd =	0.62		for circular openings
R =	SQRT(Q/pi*(0.7*(64.4*H)*0.5))		
R =	0.37	feet	
D =	4.44	inches	
D =	8.87	inches	
A =	61.86	inches ²	0.4296 ft ²

Aboveground Basin			
Basin Design Capacity	72,260	ft ³	
Orifice Diameter	9	in	
Drainage Time:			
Drainage Area	27,197	s.f.	
Factor of Safety	2		
Perc Rate	5.00	mpi (Field Measured)	
Percolation out	3.78	cfs	
Basin Drainage Time	1.67	Hours	

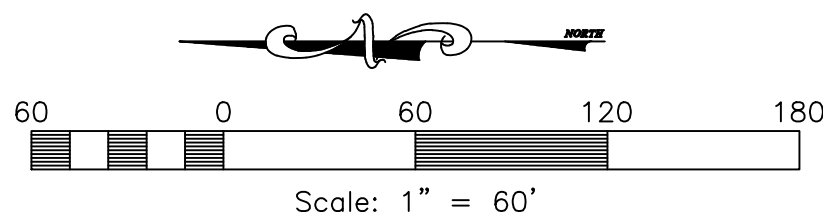
Proposed Development Summary			
The required 100-yr storage volume is	22,670	cubic feet	
The required LID Retention volume is	8,583	cubic feet	
The total proposed development storage is	31,253	cubic feet	
The total future development storage allotment is	41,007	cubic feet	

TEMPORARY TURNAROUND (FOR INSIDE SUBDIVISION BOUNDARY TO BE MAINTAINED BY PROPERTY OWNER)



BASIN STORAGE TABLE

STAGE STORAGE TABLE						
ELEV.	AREA (sq. ft.)	DEPT H (ft.)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)
4,437.60	27,988.75	N/A	N/A	0.00	N/A	0.00
4,437.95	27,989.91	0.35	9796.27	9796.27	9796.27	9796.27
4,438.00	28,105.05	0.65	1402.37	11198.64	1402.37	11198.64
4,439.00	28,490.08	1.00	29297.57	40496.21	29299.48	40499.11
4,440.00	33,029.60	1.00	31759.84	72256.05	31751.38	72239.49
4,441.00	35,658.80	1.00	34344.20	106600.25	34325.81	106575.20
4,442.00	1,497.95	1.00	18578.37	125178.62	14821.77	121397.06



NOTES

1. REGIONAL DETENTION BASIN IS TO BE GRASSED AND SPRINKLED
2. REGIONAL DETENTION BASIN IS TO BE FENCED ALONG ANY PRIVATE PROPERTY LINE.
3. ALL STORM DRAIN PIPE SIZES SHOWN ARE PRELIMINARY DESIGN AND SUBJECT TO CHANGE WITH FINAL GRADES AND DESIGN.
4. EXISTING IRRIGATION ALONG OLD FORT ROAD TO BE REPLACED WITH TRAFFIC RATED 18" C-900

Developer:

Duane Johnson
P.O. Box 643
Layton, UT. 84041
(801) 644-3436

PERCOLATION PIT INFO

Percolation Test #	Perc. Test Depth	Test Hole Diameter (in)	Time Interval Used for Drop	Final Stabilized Percolation Rate Minutes/Inch
Test #1	72"	10	10 Minutes	4.00
Test #1	74"	10	10 Minutes	3.33
Test #1	85"	10	10 Minutes	4.00

Reeve & Associates, Inc.
5160 SOUTH 1500 WEST RIVERDALE, UTAH 84405
TEL: (801) 621-3100 FAX: (801) 621-3666 www.reeve-assoc.com
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DESCRIPTION
DATE	

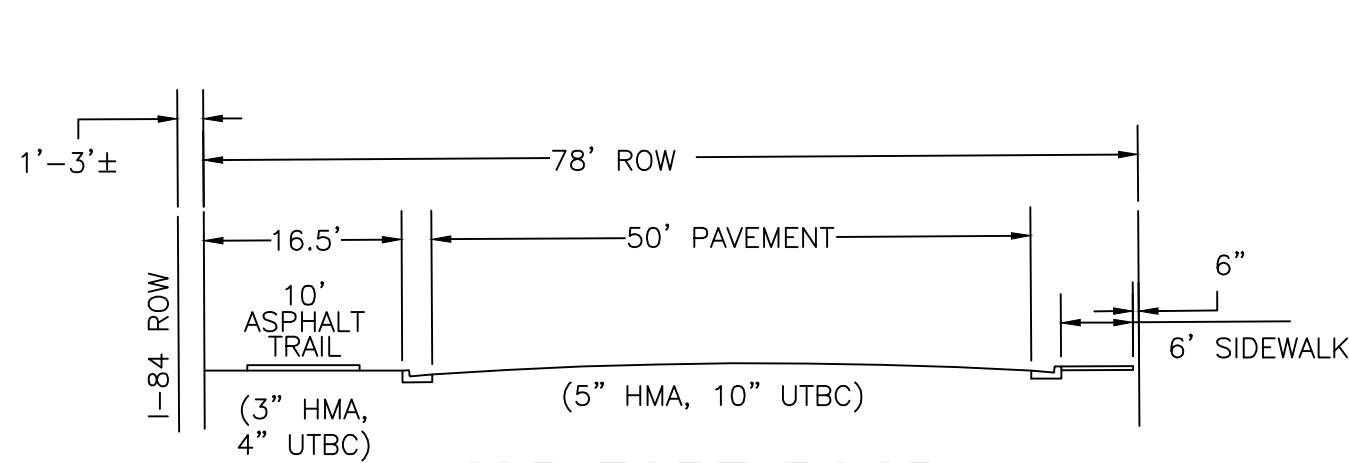
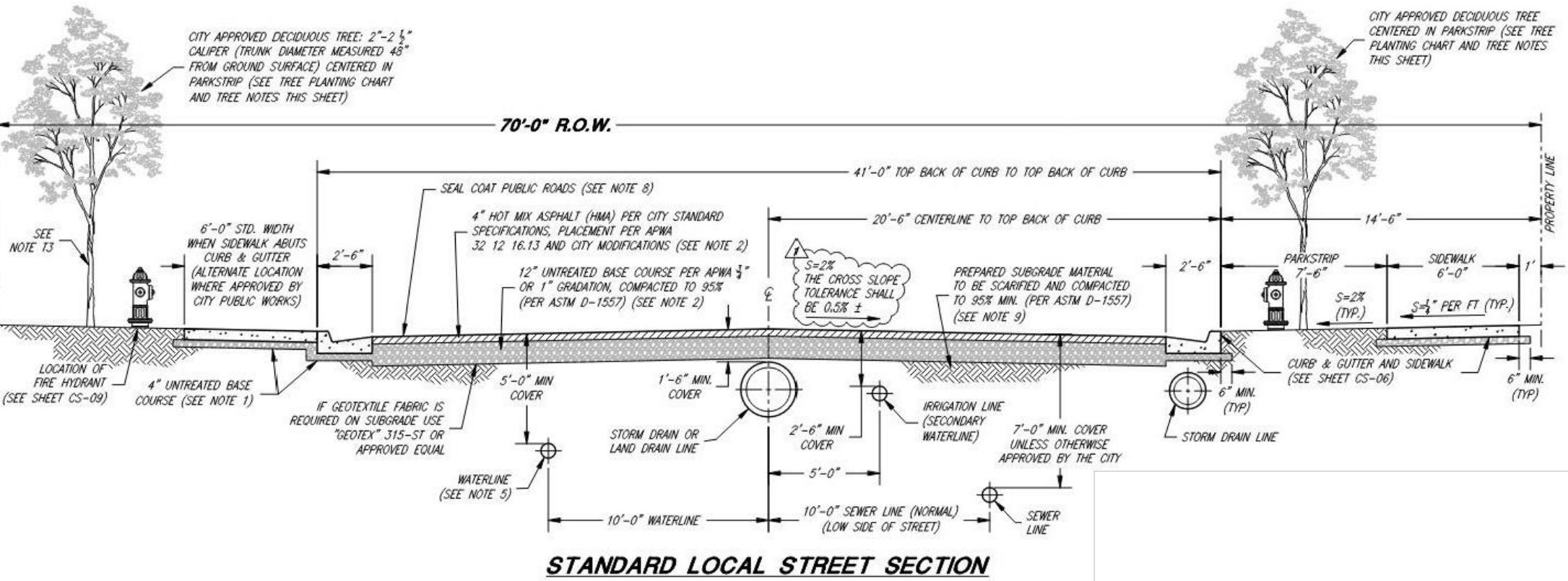
The Meadows Subdivision
PART OF THE NORTH HALF OF SECTION 28, T.5N., R.1W., S.1B. & M., U.S. SURVEY
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Preliminary Utility Plan Phase 1

Project Info.
Engineer: N. Reeve
Designer: N. Ficklin
Begin Date: 4-14-21
Name: THE MEADOWS
Number: 4359-04

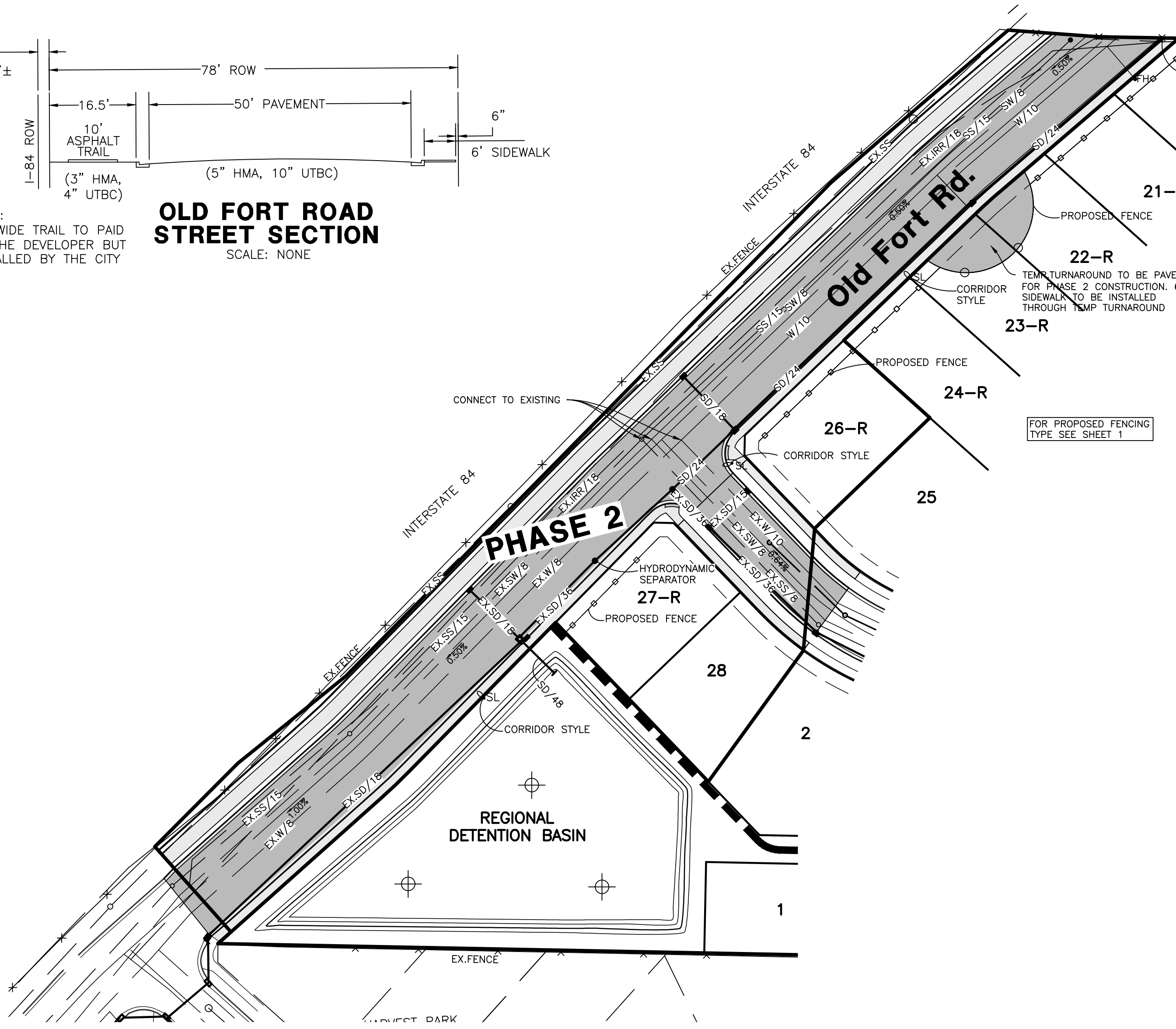
Sheet **3**
2 Sheets

GENERAL NOTES:
1. PROVIDE 4" THICKNESS OF 1/4" OR 1" UNTREATED BASE COURSE UNDER SIDEWALK, DRIVEWAY APPROACHES AND CURB & GUTTER, COMPACTED TO RISE PER ASTM D-1557.
2. THESE PAVEMENT THICKNESS SHALL BE CONSIDERED AS CITY MINIMUMS AND MAY BE INCREASED BY THE CITY ENGINEER WHEN A GREATER DEPTH IS NECESSARY TO PROVIDE SUFFICIENT STABILITY. DESIGNER AND/OR DEVELOPER MAY SUBMIT AN ALTERNATIVE PAVEMENT DESIGN BASED ON A DETAILED ANALYSIS FOR APPROVAL BY THE CITY ENGINEER WHICH MAY MODIFY PAVEMENT THICKNESS, BUT IN NO CASE SHALL THE BITUMINOUS SURFACE COURSE BE LESS THAN 4" AND UNTREATED BASE COURSE LESS THAN 12" THICK.
3. ALL ROAD CUTS SHALL BE PARKEED PER CS-05 AND CS-13.
4. CURB & GUTTER AND SIDEWALKS SHALL BE CONSTRUCTED USING FIBER REINFORCED CONCRETE AND IN COMPLIANCE WITH SOUTH WEBER CITY TECHNICAL SPECIFICATIONS AND THESE DRAWINGS.
5. ALL CULINARY WATER MAINS AND SERVICES MUST MAINTAIN A MINIMUM SEPARATION FROM ALL SEWER MAINS AND LATERALS OF 10'-0" HORIZONTAL AND 18" VERTICAL IN ACCORDANCE WITH THE STATE OF UTAH DIVISION OF DRINKING WATER RULES SECTION 8309-550-7.
6. THE 6'-0" SIDEWALK SHOWN ABOVE IS TO BE CONSIDERED THE "CITY STANDARD." OTHER LOCATIONS AND TYPES OF SIDEWALK AS REQUESTED BY THE DEVELOPER MUST BE APPROVED BY THE CITY. IF SIDEWALK IS LOCATED AGAINST THE TIS, IT MUST BE A MINIMUM OF 6 FEET IN WIDTH.
7. NATURAL GAS TYPICALLY LOCATED IN THE PARKSTRIP, POWER AND COMMUNICATION LINES TYPICALLY LOCATED BEHIND PROPERTY LINES OR IN LOT EASEMENTS.
8. "SEAL COAT" CONSISTS OF THE FOLLOWING:
a. CHIP SEAL PER APMA 32.01.13.64 AND CITY MODIFICATIONS; AND
b. F50 SEAL PER APMA 32.01.13.50 AND CITY MODIFICATIONS.
9. IMPORTED FILL UNDER ROADWAY SHALL BE GRANULAR BORROW 2" MAX.
10. PRIOR TO THE INSTALLATION OF PAVEMENT, THE CITY INSPECTOR MUST GIVE WRITTEN CONSENT TO PROCEED.



NOTE:
10' WIDE TRAIL TO PAID BY THE DEVELOPER BUT INSTALLED BY THE CITY

OLD FORT ROAD STREET SECTION
SCALE: NONE



Phase 2
Scale: 1" = 60'

LEGEND

- = BOUNDARY LINE
- = LOT LINE
- = ADJOINING PROPERTY
- = EASEMENTS
- = SECTION TIE LINE
- EX.OHP = OVERHEAD POWER LINE
- = ROAD CENTERLINE
- SS = PROPOSED SANITARY SEWER LINE
- EX.SS = EXISTING SANITARY SEWER LINE
- W = PROPOSED CULINARY WATER LINE
- EX.W = EXISTING CULINARY WATER LINE
- SD = PROPOSED STORM DRAIN (SIZE VARIES)
- EX.SD = EXISTING STORM DRAIN
- EX.IRR = EXISTING IRRIGATION WATER LINE (SIZE VARIES)

Construction Notes:

- ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF SOUTH WEBER CITY.
 - CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.
- CULINARY WATER**
NOTE: 5' MIN. COVER REQUIRED OVER CW LINES
W/8 - 8" DIP W/POLY WRAP WATER LINE
W/10 - 10" DIP W/POLY WRAP WATER LINE
LAT - 1" TYPE K POLY PIPE SERVICE LATERAL W/ 1" METER
- SANITARY SEWER**
SS/8 - 8" PVC SDR-35 SEWER LINE
SS LAT - 4" PVC SDR 35 SERVICE LATERAL W/ 1" METER
- STORM DRAIN**
SD/15 - 15" RCP CLASS III STORM DRAIN
SD/18 - 18" RCP CLASS III STORM DRAIN
SD/36 - 36" RCP CLASS III STORM DRAIN
- SECONDARY WATER**
SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE
SW - SECONDARY SERVICE LATERAL W/METER PER SWIC STANDARDS
- LAND DRAIN**
LD/8 - 8" PVC LAND DRAIN PIPE SECONDARY WATER LINE
LD - 4" PVC SERVICE LATERAL
- LAND DRAIN**
IRR/18 - 18" C-900 PIPE



Basement Table Calculations

The Meadows
4359-04 12/8/2021 JFL

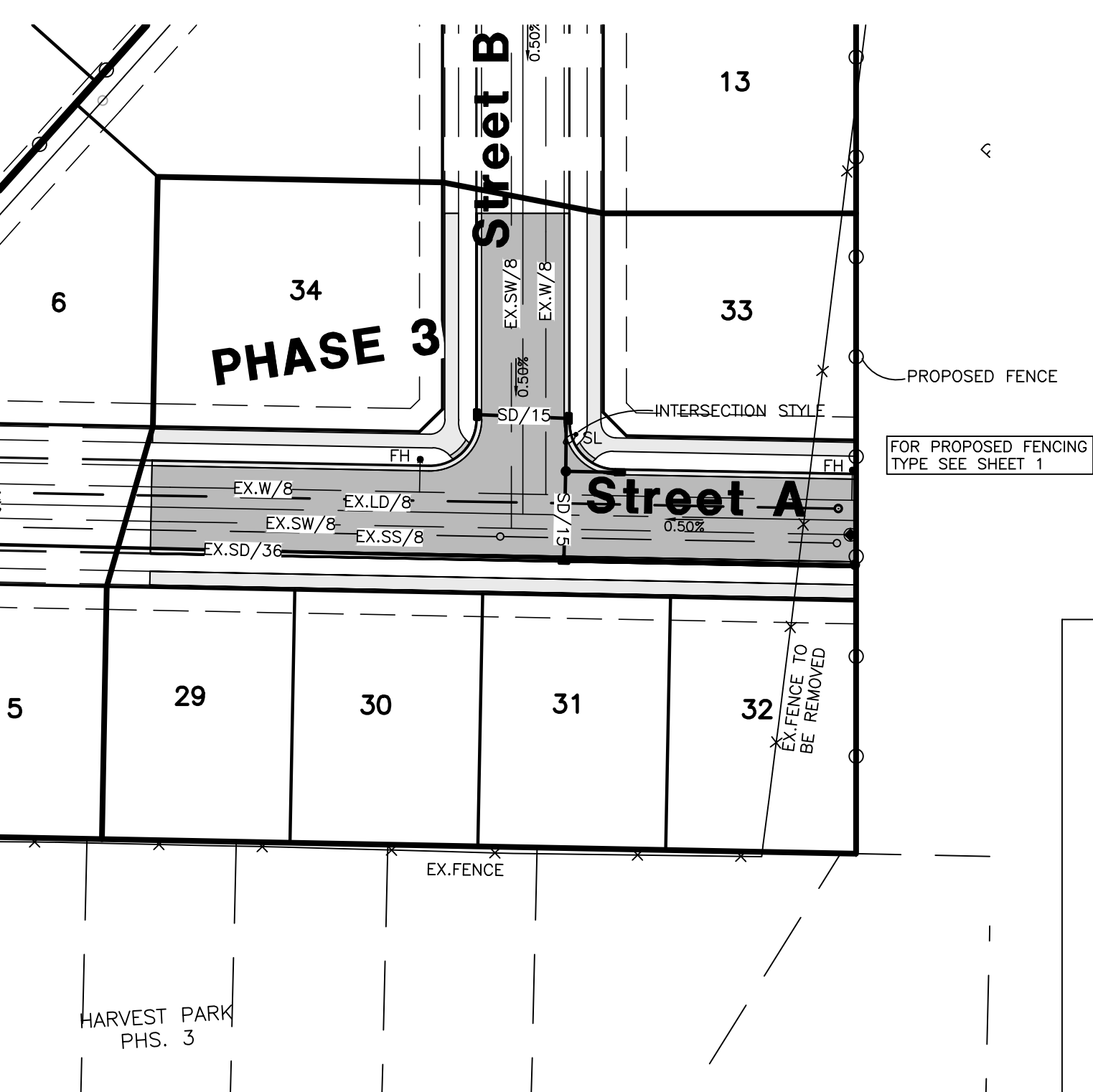
The following basement FFE calculations are based off the geotechnical engineering study completed by CMT Engineering Laboratories.

The calculations are as follows:

Pipe Sizing:		Distance Above Groundwater	3 ft
Seasonal Fluctuation		0 ft (Unspecified)	
Max Basement Depth		8 ft	

Lot Number	Basement FFE	TBC EL	Difference	GW / End Bore EL	Test Pit
1	4436.73	4443.88	7.15	4433.73	2
2	4436.73	4443.98	7.25	4433.73	2
3	4437.57	4445.57	8.00	4433.73	2
4	4437.57	4445.57	8.00	4433.73	2
5	4437.85	4445.85	8.00	4433.28	6
6	4437.81	4445.81	8.00	4433.28	6
7	4437.30	4444.89	7.59	4434.30	3
8	4437.30	4444.89	7.59	4434.30	3
9	4437.30	4445.29	7.99	4434.30	3
10	4437.70	4445.70	8.00	4434.30	3
11	4438.99	4446.11	7.12	4435.99	4
12	4438.56	4446.02	7.46	4435.56	5
13	4438.56	4445.95	7.39	4435.56	5
14	4438.56	4446.45	7.89	4435.56	5
15	4439.00	4447.00	8.00	4435.99	4
16	4439.27	4447.27	8.00	4435.99	4
17	4439.40	4447.40	8.00	4435.99	4
18	4438.99	4446.90	7.91	4435.99	4
19	4438.99	4446.55	7.56	4435.99	4
20	4438.99	4446.37	7.38	4435.99	4
21	4438.99	4445.98	6.99	4435.99	4
22	4437.57	4445.57	8.00	4434.30	3
23	4437.30	4445.16	7.86	4434.30	3
24	4437.30	4444.76	7.46	4434.30	3
25	4436.76	4444.76	8.00	4431.82	1
26	4435.55	4443.55	8.00	4431.82	1
27	4435.01	4443.01	8.00	4431.82	1
28	4435.77	4443.77	8.00	4431.82	1
29	4438.21	4446.21	8.00	4433.28	6
30	4437.80	4445.80	8.00	4433.28	6
31	4437.80	4445.80	8.00	4433.28	6
32	4437.80	4445.80	8.00	4433.28	6
33	4438.56	4445.95	7.39	4435.56	5
34	4438.02	4446.02	8.00	4433.28	6

GROUND WATER ELEVATIONS TO BE FINALIZED WITH FINAL DESIGN



Phase 3
Scale: 1" = 60'



Pipe Sizing Calculations

The Meadows
4359-04 11/17/2021 JFL

The following runoff calculations are based on the Rainfall - Intensity - Duration Frequency Curve for the South Weber area taken from the NOAA Atlas 14 database. Calculations have been completed for the 10-yr storm event. Please note that catch basin numbers in these calculations correspond to the diagram below, and NOT the plan set.

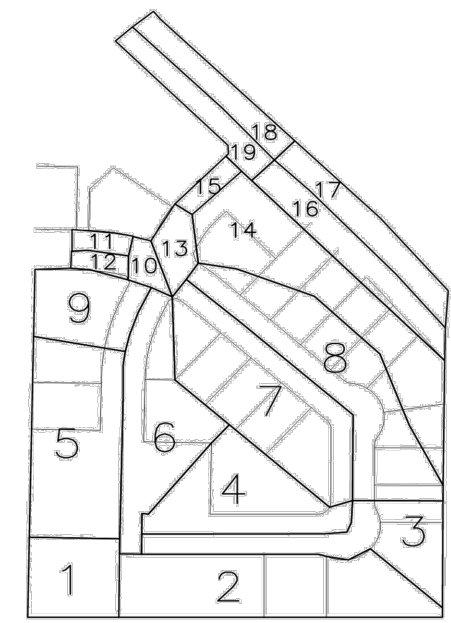
The calculations are as follows:

Proposed Development			
10-yr intensity for a 10 minute TOC - Pipe Capacity	2.75	in/hr	
10-yr intensity for a 30 minute TOC - Pipe Capacity	1.53	in/hr	

Estimated Future Development			
Runoff Coefficient	C =	0.47	
Rainfall Intensity	I =	1.53 IN./HR.	
Area	A =	17.32 ACRES	
Flow	Q =	12.45 cfs	

Pipe Sizing	CB	C	I (in/hr)	A (ft ²)	Flow (cfs)
1	0.47	2.75	20117	0.80	
2	0.47	2.75	51919	1.54	
3	0.47	2.75	30839	0.92	
4	0.47	2.75	35880	1.06	
5	0.47	2.75	49185	1.46	
6	0.47	2.75	39321	1.17	
7	0.47	2.75	54410	1.61	
8	0.47	2.75	54094	1.61	
9	0.47	2.75	20886	0.82	
10	0.47	2.75	4113	0.12	
11	0.47	2.75	3367	0.10	
12	0.47	2.75	3284	0.10	
13	0.47	2.75	7340	0.22	
14	0.47	2.75	52847	1.57	
15	0.47	2.75	3909	0.12	
16	0.47	2.75	20925	0.82	
17	0.47	2.75	17650	0.52	
18	0.47	2.75	13593	0.40	
19	0.47	2.75	13248	0.39	

Required	Description	Pipe Size (in)	Slope	Cap. (cfs)	Req. Cap. (cfs)
Future Dev. to CB1					
30		0.20%	18.52	12.45	
CB4 to CB3					
15		0.50%	4.61	1.06	
CB3 to MH3					
15		0.50%	4.61	1.98	
CB2 to MH3					
15		0.50%	4.61	1.54	
MH3 to CB1					
15		0.51%	4.66	3.52	
CB1 to CB5					
30		0.20%	18.52	15.98	
CB5 to CB9					
30		0.40%	26.19	17.43	
CB6 to CB9					
15		0.50%	4.61	1.17	
CB9 to MH2					
30		1.03%	42.02	18.80	
CB7 to CB8					
15		0.50%	4.61	1.81	
CB8 to MH2					
15		0.50%	4.61	3.22	
CB12 to CB11					
15		0.40%	4.12	0.10	
CB11 to CB10					
15		0.40%	4.12	0.20	
CB10 to MH2					
15		0.40%	4.12	0.32	
MH2 to CB13					
36		0.20%	30.11	22.14	
CB13 to CB15					
36		0.20%	30.11	22.36	
CB14 to CB15					
15		0.50%	4.61	1.57	
CB15 to MH1					
36		0.20%	30.11	23.93	
CB17 to CB16					
15		0.50%	4.61	0.52	
CB16 to MH1					
15		0.40%	4.12	1.14	
MH1 to CB19					
36		0.20%	30.11	25.07	
CB18 to CB19					
18		0.40%	6.71	0.40	
CB19 to basin					
36		0.73%	57.52	25.47	



The Meadows Preliminary Plat 'Not to be Recorded'

South Weber City, Davis County, Utah

Reeve & Associates, Inc.
5160 SOUTH 1500 WEST RIVERDALE, UTAH 84405
TEL: (801) 821-3100 FAX: (801) 821-3666 www.reeve-assoc.com
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DESCRIPTION
DATE	

The Meadows Subdivision
PART OF THE NORTH HALF OF SECTION 28, T.5N., R.1W., S.L.B. & M., U.S. SURVEY
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Preliminary Utility Plan Phase 2

Project Info.
Engineer: N. Reeve
Designer: N. Ficklin
Begin Date: 4-14-21
Name: THE MEADOWS
Number: 4359-04

Sheet **3** of 3 Sheets



Reeve & Associates, Inc.

5160 SOUTH 1500 WEST RIVERDALE, UTAH 84405
TEL: (801) 821-3100 FAX: (801) 821-2666 www.reeve-assoc.com

RA

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

DATE	DESCRIPTION
8-9-21	CITY COMMENTS
11-24-21	CITY COMMENTS

The Meadows Subdivision
PART OF THE NORTH HALF OF SECTION 28, T.5N., R.1W., S.1.B. & M., U.S. SURVEY
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Preliminary Landscape Plan

Sheet	1
1	Sheets

Project Info.
Engineer: N. Reeve
Designer: N. Peterson
Begin Date: 4-14-21
Name: The Meadows
Number: 4359-04

NW Quarter
Section 28
5N 1W

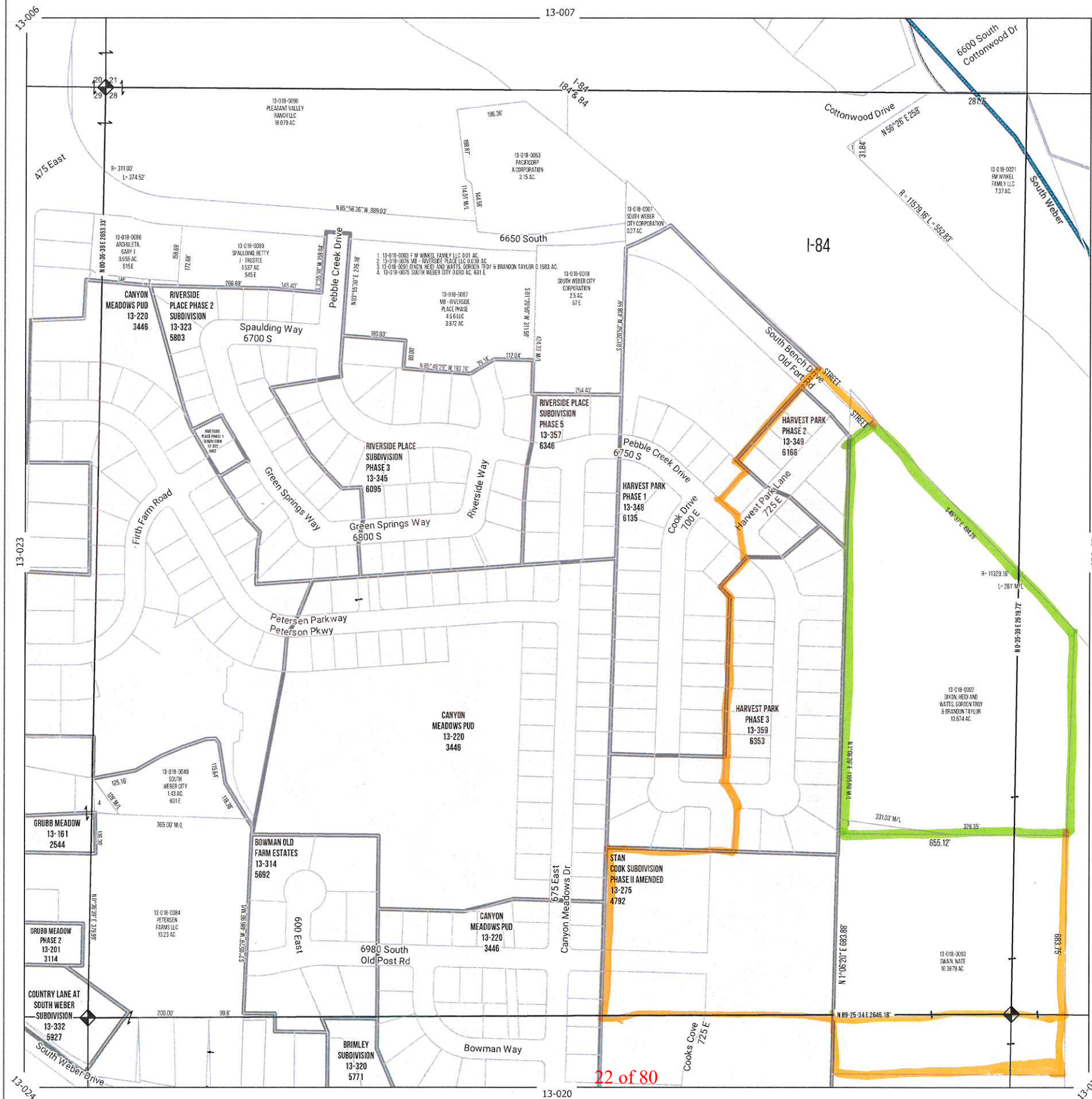
SLB & M

Tax ID Prefix

13 - 018

Sheet 1 of 1

4 The Meadows Preliminary



N

1 inch = 200 feet



NOTE: Distance, bearings and radius values are approximate. User needs to refer to the recorded legal descriptions for exact bearing and distances. For cadastral or technical information see the dedicated plat and/or legal descriptions in recorded documents.



Last update: 4/30/2021

RP ZONE DESCRIPTION

PART OF THE NORTH HALF OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

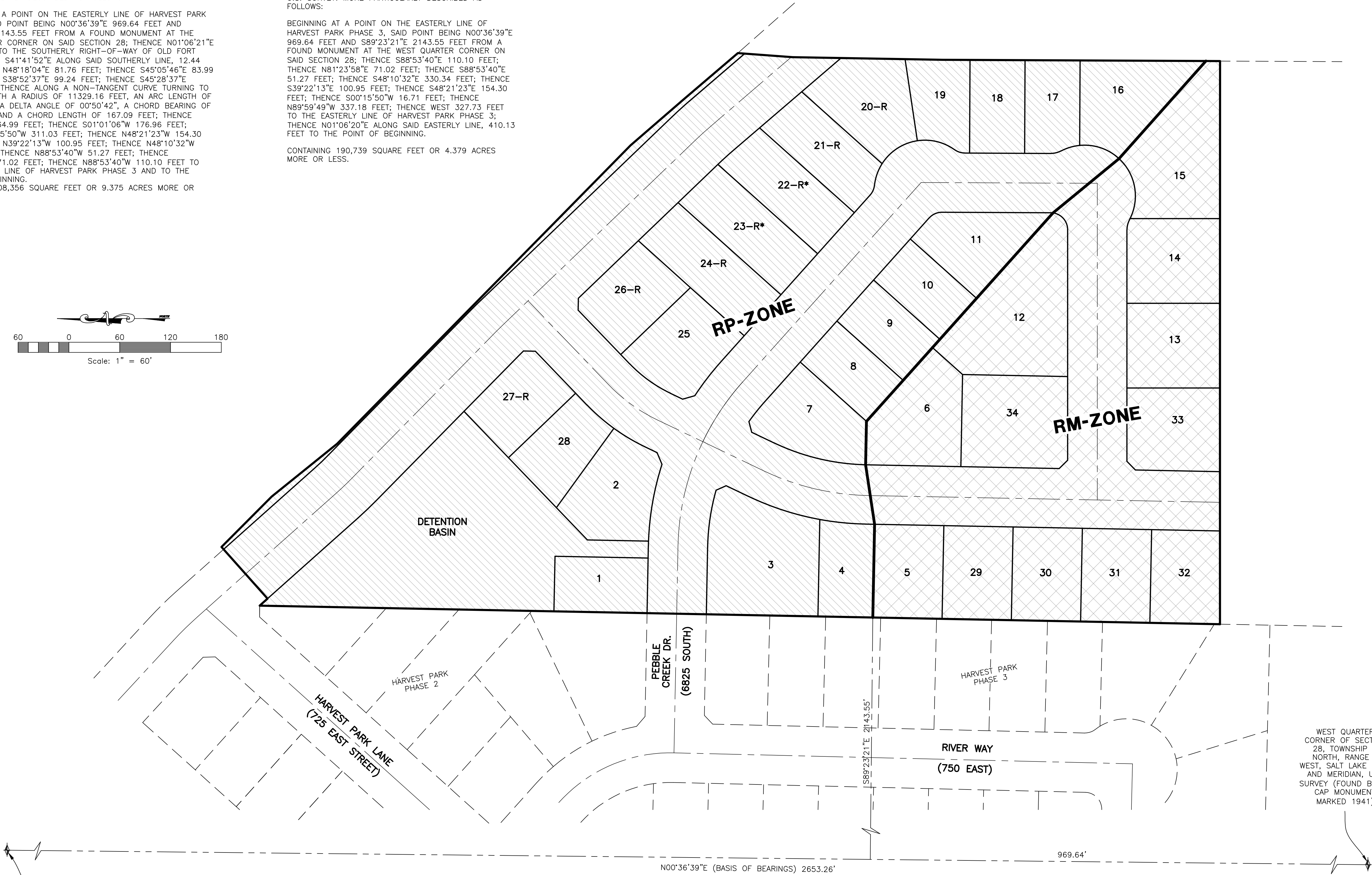
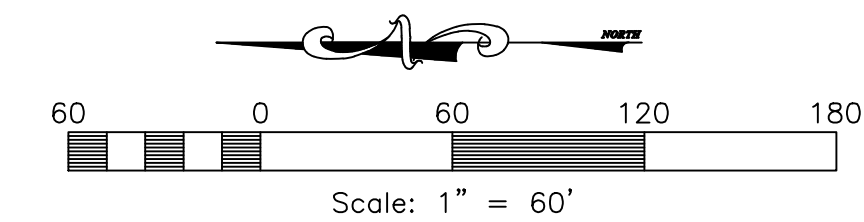
BEGINNING AT A POINT ON THE EASTERLY LINE OF HARVEST PARK PHASE 3, SAID POINT BEING N00°36'39"E 969.64 FEET AND S89°23'21"E 2143.55 FEET FROM A FOUND MONUMENT AT THE WEST QUARTER CORNER ON SAID SECTION 28; THENCE N01°06'21"E 724.28 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF OLD FORT ROAD; THENCE S41°41'52"E ALONG SAID SOUTHERLY LINE, 12.44 FEET; THENCE N48°18'04"E 81.76 FEET; THENCE S45°05'46"E 83.99 FEET; THENCE S38°52'37"E 99.24 FEET; THENCE S45°28'37"E 494.26 FEET; THENCE ALONG A NON-TANGENT CURVE TURNING TO THE RIGHT WITH A RADIUS OF 11329.16 FEET, AN ARC LENGTH OF 167.09 FEET, A DELTA ANGLE OF 00°50'42", A CHORD BEARING OF S40°41'16"E, AND A CHORD LENGTH OF 167.09 FEET; THENCE S04°11'09"W 64.99 FEET; THENCE S01°01'06"W 176.96 FEET; THENCE S00°15'50"W 311.03 FEET; THENCE N48°21'23"W 154.30 FEET; THENCE N39°22'13"W 100.95 FEET; THENCE N48°10'32"W 330.34 FEET; THENCE N88°53'40"W 51.27 FEET; THENCE S81°23'58"W 71.02 FEET; THENCE N88°53'40"W 110.10 FEET TO THE EASTERLY LINE OF HARVEST PARK PHASE 3 AND TO THE POINT OF BEGINNING. CONTAINING 408,356 SQUARE FEET OR 9.375 ACRES MORE OR LESS.

RM ZONE DESCRIPTION

PART OF THE NORTH HALF OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERLY LINE OF HARVEST PARK PHASE 3, SAID POINT BEING N00°36'39"E 969.64 FEET AND S89°23'21"E 2143.55 FEET FROM A FOUND MONUMENT AT THE WEST QUARTER CORNER ON SAID SECTION 28; THENCE S88°53'40"E 110.10 FEET; THENCE N81°23'58"E 71.02 FEET; THENCE S88°53'40"E 51.27 FEET; THENCE S48°10'32"E 330.34 FEET; THENCE S39°22'13"E 100.95 FEET; THENCE S48°21'23"E 154.30 FEET; THENCE S00°15'50"W 16.71 FEET; THENCE N89°59'49"W 337.18 FEET; THENCE WEST 327.73 FEET TO THE EASTERLY LINE OF HARVEST PARK PHASE 3; THENCE N01°06'20"E ALONG SAID EASTERLY LINE, 410.13 FEET TO THE POINT OF BEGINNING.

CONTAINING 190,739 SQUARE FEET OR 4.379 ACRES MORE OR LESS.



NORTHWEST CORNER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY (FOUND BRASS CAP MONUMENT MARKED 1941)

WEST QUARTER CORNER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY (FOUND BRASS CAP MONUMENT MARKED 1941)

The Meadows Subdivision

South Weber City, Davis County, Utah

Developer:

Duane Johnson
P.O. Box 643
Layton, UT. 84041
(801) 644-3436

Reeve & Associates, Inc.

TRA

5160 SOUTH 1500 WEST RIVERDALE, UTAH 84405
TEL: (801) 621-3100 FAX: (801) 621-2666 WWW.REEVE-ASSOC.COM

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DATE	DESCRIPTION
	8-1-21	CITY COMMENTS
	10-26-21	CITY COMMENTS
	12-14-21	CITY COMMENTS

The Meadows Subdivision

PART OF THE NORTH HALF OF SECTION 28, T.5N., R.1W., S.12B. & M., U.S. SURVEY
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Zoning Legal Description Exhibit

Project Info.
Engineer: N. Reeve
Designer: C. Gave
Begin Date: 8-13-21
Name: THE MEADOWS SUBD.
Number: 4359-04

Sheet	1
1	Sheets

Storm Water Quality Report

Date: November 17, 2021

Project Name: The Meadows

Project ID: 4359-04

Design Engineer: Jeremy Draper

Is the project within a watershed that is 303(d) listed? No

If yes:

Name of receiving water(s): Weber River

Listed Impairment(s): N/A

Does the watershed that has an approved TMDL? No

If yes:

Approved TMDL(s): N/A

I have reviewed the storm water quality design and find this report to be complete, accurate, and current.



Jeremy Draper
Jeremy Draper, Project Manager

Nathan C Peterson
Nathan Peterson, Landscape Architect or Equivalent

[stamp required at final design phase]

Project Information80th Percentile Storm Depth (in): 0.45New DevelopmentArea of Land Disturbance (ac): 13.89Project Impervious Area (ac): 6.90Project Imperviousness (%): 50%Project Volumetric Runoff Coefficient, R_v : 0.3880th Percentile Volume (cf): 8.583

Predevelopment Hydrologic Condition (cf): _____

Project Volume Retention Goal, V_{goal} (cf): 8.583Redevelopment

Existing Project Impervious Area (ac): _____

Proposed Project Impervious Area (ac): _____

Change in Impervious Area (%): _____

If change in impervious area > 10%:

Existing Project Conditions

Imperviousness (%): _____

Volumetric Runoff Coefficient, R_v : _____80th Percentile Volume, V_1 (cf): _____

Proposed Project Conditions

Imperviousness (%): _____

Volumetric Runoff Coefficient, R_v : _____80th Percentile Volume, V_2 (cf): _____ $V_{\text{goal}} = V_2 - V_1 =$ _____**Subsurface Information****Groundwater**Depth to Groundwater (ft): 9.3

Historical High Depth to Groundwater if known (ft): _____

Source: CMT Engineering LaboratoriesGroundwater Contamination at Site: No**Soil Information**Infiltration Rate (in/hr): 15 in/hr (Field Measurement)Hydrologic Soil Group: CSource: USDA Soil Survey MapSoil Contamination at Site: No

Drinking WaterWithin Drinking Water Source Area Protection: No**Additional Relevant Site Information**

The site will be developed into residential lots with associated driving and walking areas. The improvements will be designed to properly convey and store the required 100-yr storm event, as well as the Project Volume Retention Goal.

LID Drainage Areas

Add additional rows as needed.

Contributing Drainage Area	Area (ac)	Impervious Area (ac)	Imperviousness (%)	Volumetric Runoff Coefficient, R_v	Water Quality Volume, WQV (cf)
CDA 1	13.89	6.90	50%	0.38	8,583
CDA 2					
CDA 3					
CDA 4					
Total WQV (cf)					8,583

LID BMP Design

Add additional rows as needed.

Contributing Drainage Area	LID BMP Type	Water Quality Volume, WQV (cf)	Runoff Retained (cf)	Percent of Runoff Captured (%)
CDA1	Infiltration Basin	8,583	8,583	100
CDA 2				
CDA 3				
CDA 4				
Total Volume Retained (cf)			8,583	

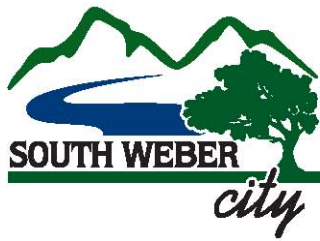
Percent of V_{goal} captured by LID BMPs: 100%

If 100% of V_{goal} is not captured, document and provide narrative of technical infeasibilities and/or alternate compliance measures below:

N/A

Describe additional storm water quality measures incorporated into the site:

A SWPP created by a registered Storm Water Inspector will implemented on site during construction.



STAFF MEMORANDUM

5 The Shops Site Plan Amendment

1600 E. South Weber Drive
South Weber, UT 84405

www.southwebercity.com

801-479-3177
FAX 801-479-0066

To: Planning Commission
From: Trevor Cahoon, Community Services Director

Re: South Weber Drive Commercial - The Shops (Sodalicious & Ski N See)

Project Information	
Project Name	South Weber Drive Commercial - The Shops (Sodalicious & Ski N See)
Site Location	2532 E South Weber Drive
Tax ID Number	133530002
Applicant	Dan Murray
Owner	Dan Murray
Proposed Actions	Site Plan Amendment
Current Zoning	Commercial Highway
General Plan Land Use Classification	Commercial Highway
Gross Site	.68 acres

ACTION

Administrative Action: Consider approval of South Weber Drive Commercial - The Shops (Sodalicious & Ski N See) Site Plan Amendment.

STAFF REVIEW SUMMARY

Trevor Cahoon, Community Services Director, and Brandon Jones, City Engineer, have reviewed the application and found its contents to be consistent with City Code and recommend approval of the site plan amendment.

- This area has been previously approved for site plan. The applicant had a tenant remove their interest in the property and was approached by a new tenant. The developer now wishes to maintain ownership of the property and adjust the site to accommodate for the new tenant.
- An Encroachment Permit from UDOT will be required prior to construction for connection to UDOT's storm drain infrastructure in South Weber Drive.
 - The plans show the water service as existing. If not, it will need to be part of the UDOT encroachment permit.
- Culinary water will be used for outdoor use. The required backflow preventer on the culinary service line to the sprinkler system is being provided.
- Developer has proposed to xeriscape the property which equates to 13.7% of total landscaped area which is under the 15% required. The code does allow the planning commission to approve landscaping down to 10% for exceptional design.

- Access to the site will function off of the main entrance that is already in place, however, the developer is proposing the creation of a secondary outlet for the property further down on the property. The developer will obtain a cross access agreement with the neighboring property owner to place the access. This secondary access will allow for better queuing in and out of the property.

PLANNING COMMISSION RECOMMENDATION OPTIONS

After careful consideration of the information presented, the South Weber Planning Commission moves to:

1. Approve the South Weber Drive Commercial - The Shops (Sodalicious & Ski N See) Site Plan Amendment.
2. Approve the South Weber Drive Commercial - The Shops (Sodalicious & Ski N See) Site Plan Amendment with the following conditions or recommendations:
 - a. *(Any other conditions that need to be met)*
3. Deny the South Weber Drive Commercial - The Shops (Sodalicious & Ski N See) Site Plan Amendment for the following reasons:
 - a. *(List reasons based upon City Code.)*
4. Continue the South Weber Drive Commercial - The Shops (Sodalicious & Ski N See) Site Plan Amendment for consideration at a future date.



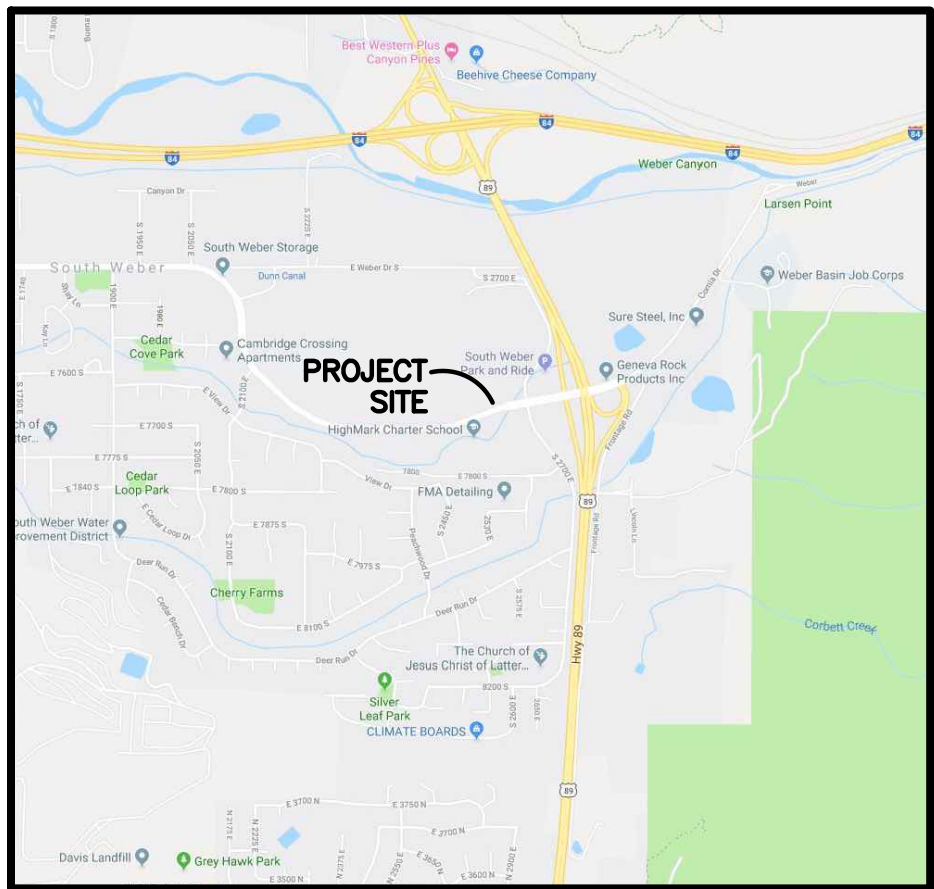


Project Narrative/Notes/Revisions

1. 12/22/2021 JM – COMPLETED DESIGN FOR CLIENT & CITY REVIEW.

Ski N See & Sodalicious Improvement Plans

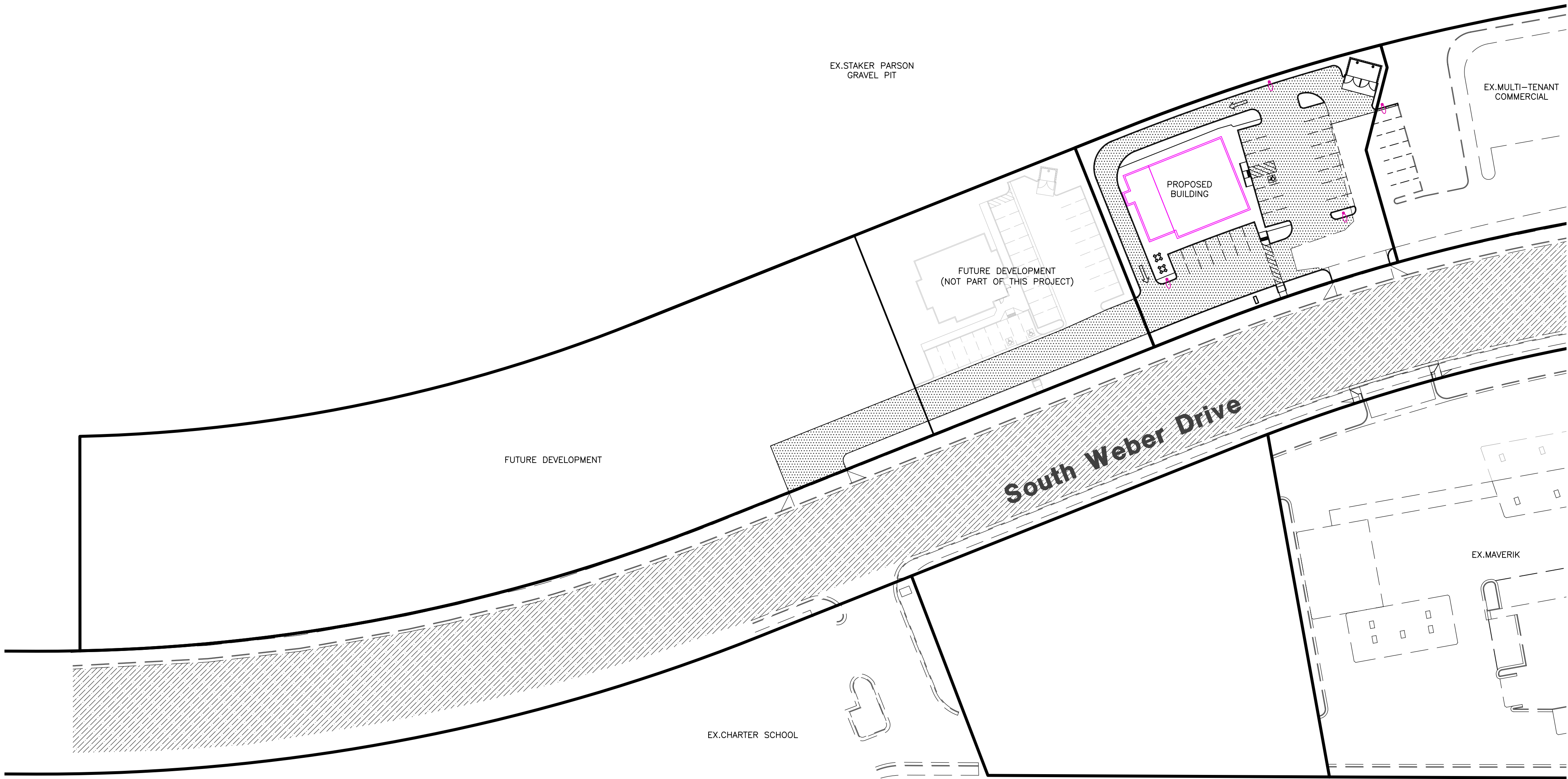
SOUTH WEBER CITY, WEBER COUNTY, UTAH
DECEMBER 2021



Vicinity Map



REVISIONS	DESCRIPTION
DATE	



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- Sheet 6 - Detention Basin Plan
- Sheet 7 - Civil Details
- Sheet 8 - Storm Water Pollution Prevention Plan Exhibit
- Sheet 9 - Storm Water Pollution Prevention Plan Details
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- Sheet 11 - Irrigation Plan
- Sheet 12 - Irrigation Details

Engineer's Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

Elevation Datum:

THE BASIS OF BEARING WAS ESTABLISHED BETWEEN THE SECTION MONUMENTS: NORTH 1/4, SECTION 35 T.5N., R.1W., S.L.B.&M. EAST 1/4, SECTION 35 (WEST 1/4, SECTION 36), AND MATCHES THE BASIS OF BEARING OF THE HIGHMARK SUBDIVISION AND DAVIS COUNTY SURVEY



Architect:

Brent Murray
E4H Architecture
833 S 200 E
Salt Lake City, UT 84111
PH: 888-781-8441

Geotechnical Report:

Dated: 08/31/2015
Gordan Geotechnical Engineering, inc
4426 S. Century Drive suite 100
Salt Lake City, Utah 84123
801-327-9600

Surveyor:

Trevor Hatch
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

Landscape Architect:

Nathan Peterson
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

Developer Contact:

Dan Murray
Murray Family Investments
1907 N 400 W
Centerville, UT 84014
801-295-5393

Project Contact:

Nate Reeve
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

Notice:

THESE PLANS WERE CREATED UTILIZING COLORS FOR UTILITIES & OTHER INFRASTRUCTURE. IF PRINTED IN, OR COPIED TO BLACK & WHITE, SOME LINE WORK MAY NOT SHOW UP PROPERLY.

Ski N See & Sodalicious
SOUTH WEBER CITY, DAVIS COUNTY, UTAH
Cover/Index Sheet



Project Info.

Engineer:
J. NATE REEVE, P.E.
Drafter:
J. MEYERS
Begin Date:
NOVEMBER 2021
Name:
SKI N SEE
SODALICIOUS
Number: 6195-09

General Notes:

1. ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: GOVERNING UTILITY MUNICIPALITY, GOVERNING CITY OR COUNTY (IF UNINCORPORATED), INDIVIDUAL PRODUCT MANUFACTURER, AMERICAN PUBLIC WORKS ASSOCIATION (APWA), AND THE DESIGN ENGINEER. THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
2. CONTRACTOR TO STRICTLY FOLLOW GEOTECHNICAL RECOMMENDATIONS FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT/FILL, COMPACTION, ASPHALT, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, RETAINING WALLS AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH THE PROJECT GEOTECHNICAL ENGINEER.
3. TRAFFIC CONTROL, STRIPING & SIGNAGE TO CONFORM TO CURRENT GOVERNING AGENCIES TRANSPORTATION ENGINEER'S MANUAL AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
4. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
5. CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
6. AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
7. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
8. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
9. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
10. ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD, INCLUDING OBTAINING REQUIRED INSPECTIONS.
11. ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
12. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND.
13. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH BY THE GEOTECHNICAL ENGINEER.
14. CATCH SLOPES SHALL BE GRADED AS SPECIFIED ON GRADING PLANS.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FLAGGING, CAUTION SIGNS, LIGHTS, BARRICADES, FLAGMEN, AND ALL OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
16. CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED AND SHALL BE BONDED FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.
17. CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY HIMSELF BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS HE MAY PREFER OF THE LOCATIONS OF THE PROPOSED WORK AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK. IF, DURING THE COURSE OF HIS EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO HIM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, HE SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING HIS BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL BE CONSIDERED AN ACKNOWLEDGMENT THAT, IN ADVANCING THE CONTRACT, HE HAS RELIED ON HIS OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON HIS OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS EITHER NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT HE HAS NOT RELIED SOLELY UPON OWNER- OR ENGINEER-FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING HIS BID.
18. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
19. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
20. CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
21. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
23. IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
24. WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
25. CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
26. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE HIGHEST QUALITY ARE TO BE USED.
27. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THE TRUE INTENT AND PURPOSE OF THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS IN THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR UNFAMILAR CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
28. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO TIE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.
29. CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4 FEET OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH LOCAL, STATE AND NATIONAL SAFETY CODES, ORDINANCES, OR REQUIREMENTS FOR EXCAVATION AND TRENCHES.
30. ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE

Utility Notes:

1. CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE SERVICE, GAS SERVICE, CABLE, POWER, INTERNET.
2. EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS USING A COMBINATION OF ON-SITE SURVEYS (BY OTHERS), PRIOR TO COMMENCING ANY WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD, THEIR MAIN AND SERVICE LINES 48 HOURS IN ADVANCE OF EXCAVATION WORK. EXCAVATION WORKER, THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS, NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
3. CONTRACTOR SHALL POT HOLE ALL UTILITIES TO DETERMINE IF CONFLICTS EXIST PRIOR TO BEGINNING ANY EXCAVATION. NOTIFY ENGINEER OF ANY CONFLICTS. CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING UTILITIES TO WHICH NEW UTILITIES WILL BE CONNECTED. PRIOR TO COMMENCING ANY EXCAVATION WORK THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE REQUIRED PROCEDURES.
4. CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT HIS EXPENSE.
5. ALL VALVES AND MANHOLE COVERS SHALL BE RAISED OR LOWERED TO MEET FINISHED GRADE.
6. CONTRACTOR SHALL CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE.
7. CONTRACTOR SHALL GROUT AT CONNECTION OF PIPE TO BOX WITH NON-SHRINKING GROUT, INCLUDING PIPE VOIDS LEFT BY CUTTING PROCESS, TO A SMOOTH FINISH.
8. CONTRACTOR SHALL GROUT WITH NON-SHRINK GROUT BETWEEN GRADE RINGS AND BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX
9. SILT AND DEBRIS IS TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
10. CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
11. EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DE-WATERED CONDITIONS.
12. CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
13. MAINTAIN A MINIMUM 18" VERTICAL SEPARATION DISTANCE BETWEEN ALL UTILITY CROSSINGS.
14. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
15. ALL BOLTED FITTINGS MUST BE GREASED AND WRAPPED.
16. UNLESS SPECIFICALLY NOTED OTHERWISE, MAINTAIN AT LEAST 2 FEET OF COVER OVER ALL STORM DRAIN LINES AT ALL TIMES (INCLUDING DURING CONSTRUCTION).
17. ALL WATER LINES SHALL BE INSTALLED A MINIMUM OF 60" BELOW FINISHED GRADE.
18. ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, PIPE EDGE TO PIPE EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, THE SEWER LINE AND WATER LINE SHALL BE LAID IN SEPARATE TRENCHES AND THE BOTTOM OF THE WATER LINE SHALL BE AT LEAST 18" ABOVE THE TOP OF THE SEWER LINE.
19. CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
20. ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
21. CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.
22. THRUST BLOCKS & RESTRAINED JOINTS WITH MEKA-LUG ADAPTERS REQUIRED ON ALL BENDS AND FITTINGS USING BLUE BOLTS. PROTECT ALL BOLTS FROM BEING ENCASED IN CONCRETE. INSTALL PER MANUFACTURER RECOMMENDATIONS.

Notice to Contractor:

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON RECORDS OF THE VARIOUS UTILITY COMPANIES AND/OR MUNICIPALITIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

THE CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

- NOTE:
1. SAWCUT EXISTING ASPHALT INSIDE FROM OUTER EDGE FOR TACK SEAL OF NEW ASPHALT.
2. CONTRACTOR TO VERIFY 2% MIN. AND 5% MAX SLOPE FROM EDGE OF ASPHALT TO LIP OF GUTTER

Survey Control Note:

THE CONTRACTOR OR SURVEYOR SHALL BE RESPONSIBLE FOR FOLLOWING THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS (NSPS) MODEL STANDARDS FOR ANY SURVEYING OR CONSTRUCTION LAYOUT TO BE COMPLETED USING REEVE & ASSOCIATES, INC. SURVEY DATA OR CONSTRUCTION IMPROVEMENT PLANS. PRIOR TO PROCEEDING WITH CONSTRUCTION STAKING, THE SURVEYOR SHALL BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON AN ALTA SURVEY, IMPROVEMENT PLAN, OR ANY ELECTRONIC DATA PROVIDED. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN FIVE (5) EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY REEVE & ASSOCIATES, INC. AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION STAKING.

Erosion Control General Notes:

THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL EROSION CONTROL MEASURES, INCLUDING BEST MANAGEMENT PRACTICES (BMP'S) SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.

WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GRASS IS LEFT OPEN FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A "NOTICE OF INTENT" WITH THE GOVERNING AGENCIES.

Maintenance:

ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.

THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.

SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.

EXPPOSED SLOPES:

- ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:
- A) SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED
 - B) TRACKING STRAW PERPENDICULAR TO SLOPES
 - C) INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

UDOT Notes:

1. ALL CONSTRUCTION WITHIN THE UDOT RIGHT-OF-WAY SHALL CONFORM TO THE MOST CURRENT UDOT STANDARD (INCLUDING SUPPLEMENTAL) DRAWINGS AND SPECIFICATIONS.
2. THE CONTRACTOR IS TO OBTAIN AN ENCROACHMENT PERMIT FROM THE APPLICABLE UDOT REGION PERMIT OFFICE PRIOR TO COMMENCING WORK WITHIN UDOT RIGHT-OF-WAY. WORKING HOUR LIMITATIONS WILL BE LISTED IN THE LIMITATION SECTION OF THE ENCROACHMENT PERMIT.
3. UDOT RESERVES THE RIGHT, AT ITS OPTION, TO INSTALL A RAISED MEDIAN ISLAND OR RESTRICT THE ACCESS TO A RIGHT-IN OR RIGHT-OUT AT ANY TIME.
4. OWNER, DEVELOPER, AND CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGES DIRECTLY OR INDIRECTLY WITHIN THE UDOT RIGHT-OF-WAY AS A RESULT OF DEVELOPMENT ACTIVITIES.
5. OWNER, DEVELOPER, AND/OR CONTRACTOR IS REQUIRED TO HIRE AN INDEPENDENT COMPANY FOR ALL TESTING WITHIN THE UDOT RIGHT-OF-WAY.
6. ALL SIGNS INSTALLED ON THE UDOT RIGHT-OF-WAY MUST BE HIGH INTENSITY GRADE (TYPE XI SHEETING) WITH A B3 SLIP BASE. INSTALL ALL SIGNS PER UDOT SN SERIES STANDARD DRAWINGS.
7. COMPLY WITH THE REQUIREMENTS OF UTAH CODE 17-23-14 (DISTURBED CORNERS - COUNTY SURVEYOR TO BE NOTIFIED - COORDINATION WITH CERTAIN STATE AGENCIES).

Legend

	= PROPOSED SECONDARY WATER LATERAL		= PROPOSED WATER METER	PP	= POWER/UTILITY POLE
	= PROPOSED LAND DRAIN LATERAL		= EXISTING WATER METER	P.U.E.	= PUBLIC UTILITY BASEMENT
	= PROPOSED WATER LATERAL		= PROPOSED CATCH BASIN	RCP	= REINFORCED CONCRETE PIPE
	= PROPOSED SEWER LATERAL		= EXISTING CATCH BASIN	RIM	= RIM OF MANHOLE
	= PROPOSED CULINARY WATER LINE		= DRAINAGE SWALE	R.O.W.	= RIGHT-OF-WAY
	= EXISTING CULINARY WATER LINE		= PLUG W/ 2" BLOW-OFF	SD	= STORM DRAIN
	= PROPOSED SECONDARY WATER LINE		= PLUG & BLOCK	SS	= SANITARY SEWER
	= EXISTING SECONDARY WATER LINE		= STREET LIGHT	TBC	= TOP BACK OF CURB
	= PROPOSED SANITARY SEWER LINE		= SIGN	TOA	= TOP OF ASPHALT
	= EXISTING SANITARY SEWER LINE		= BUILDING	TOC	= TOP OF CONCRETE
	= PROPOSED STORM DRAIN LINE		= CURB & GUTTER	TOFF	= TOP OF FINISHED FLOOR
	= EXISTING STORM DRAIN LINE		= CATCH BASIN	TOI	= TOP OF PUMP ISLAND
	= PROPOSED LAND DRAIN LINE		= CUBIC FEET	TSW	= TOP OF SIDEWALK
	= EXISTING LAND DRAIN LINE		= CUBIC FEET PER SECOND	WM	= CULINARY WATER
	= PROPOSED IRRIGATION LINE		= FENCE CORNER	W	= WATER METER
	= EXISTING IRRIGATION LINE		= FINISH FLOOR		= EXISTING ROADWAY PAVEMENT
	= FENCE LINE		= FINISH FLOOR ELEVATION		= PROPOSED ASPHALT PAVEMENT
	= PROPOSED FIRE HYDRANT		= FINISHED GRADE		= PROPOSED CONCRETE
	= EXISTING FIRE HYDRANT		= FIRE HYDRANT		= PROPOSED GRAVEL
	= PROPOSED MANHOLE		= FLOW LINE		
	= EXISTING MANHOLE		= GRADE BREAK		
	= PROPOSED SEWER CLEAN-OUT		= INVERT	4800	= EXISTING CONTOUR GRADE
	= PROPOSED GATE VALVE		= LINEAR FEET	4800	= PROPOSED CONTOUR GRADE
	= EXISTING GATE VALVE		= NATURAL GRADE		

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DATE	

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SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Notes/Legend



Project Info.

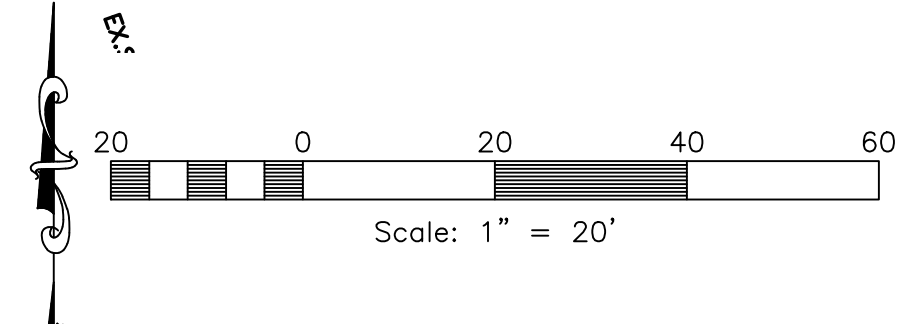
Engineer: J. NATE REEVE, P.E.

Drafter: J. MEYERS

Begin Date: NOVEMBER 2021

Name: SKI N SEE SODALICIOUS

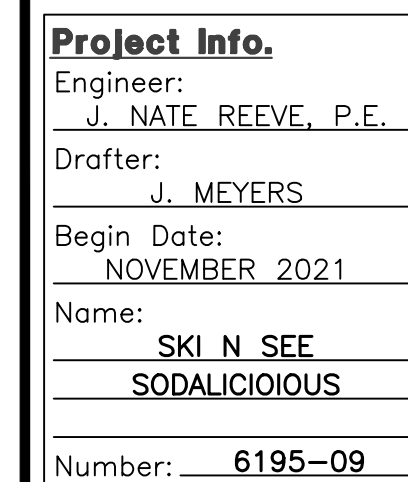
Number: 6195-09

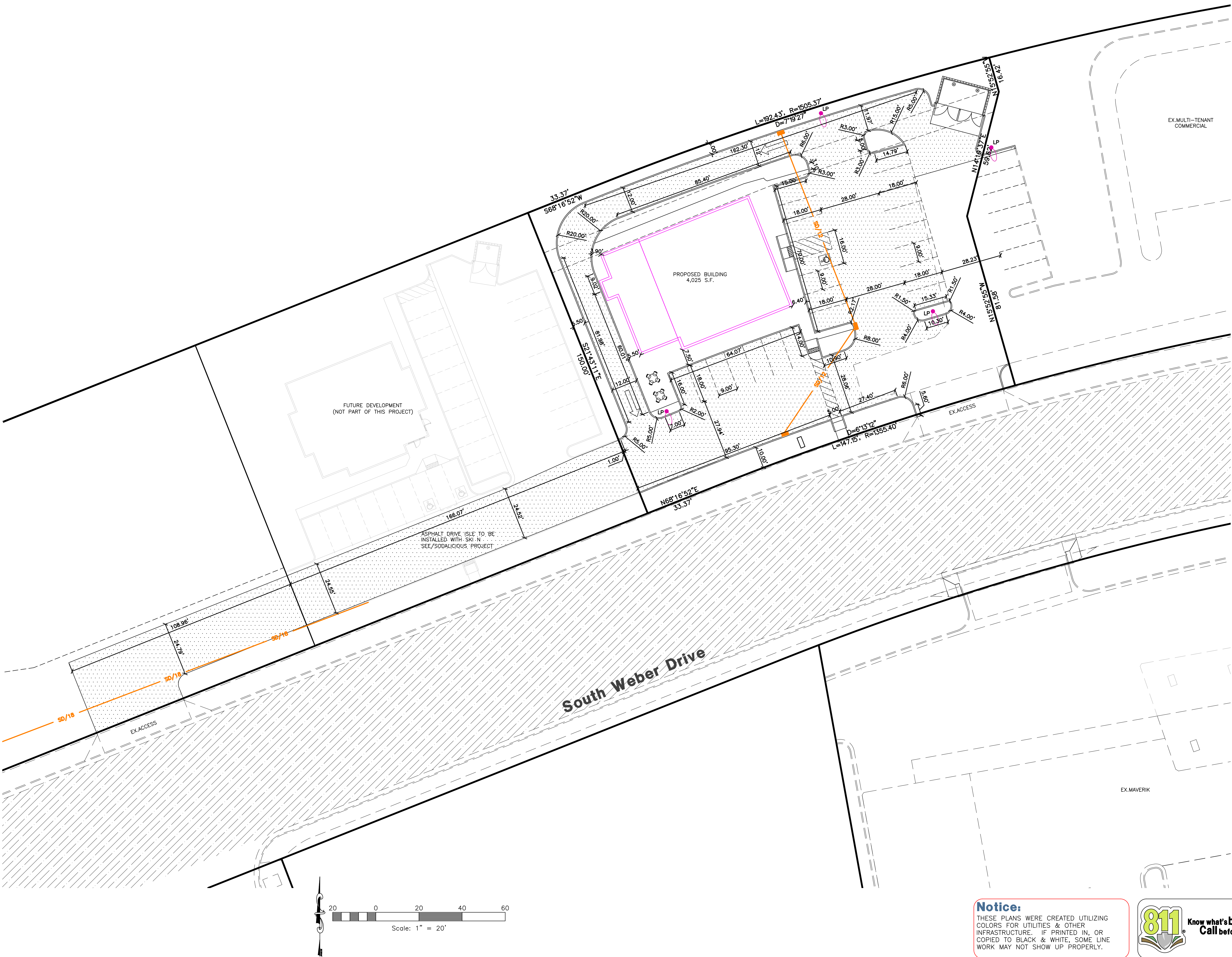


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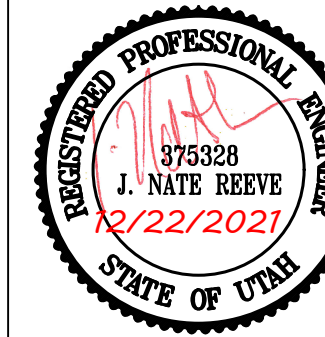
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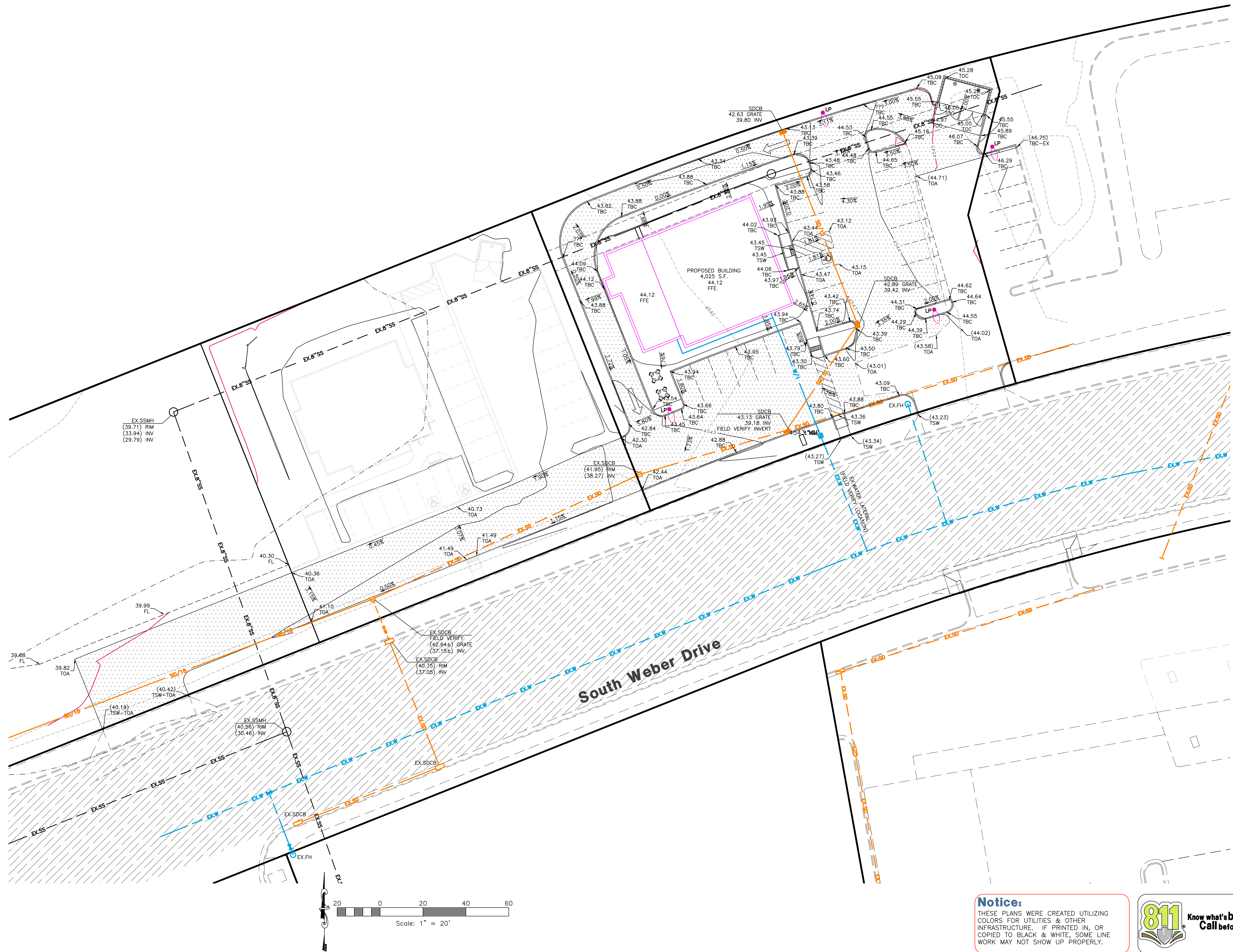
Proposed Site Plan



Project Info.
Engineer: J. NATE REEVE, P.E.
Drafter: J. MEYERS
Begin Date: NOVEMBER 2021
Name: SKI N SEE SODALICIOUS
Number: 6195-09

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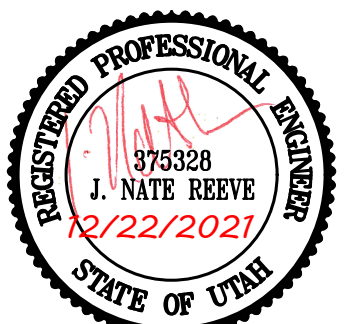




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SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Grading/Utility Plan



Project Info.
Engineer: J. NATE REEVE, P.E.
Drafter: J. MEYERS
Begin Date: NOVEMBER 2021
Name: SKI N SEE SODALICIOIOUS
Number: 6195-09

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Storm Runoff Calculations
Ski N See & Sodalicious
11/19/2021 PEB

The following runoff calculations are based on the Rainfall - Intensity - Duration Frequency Curve for the South Weber City area taken from the NOAA Atlas 14 database. Calculations have been completed for the 100-yr 24-hr storm event. Storm water runoff has been calculated for a fully developed site and limited to a release rate of 0.1 cfs/acre.

The calculations are as follows:

Drainage Area:
Total Area = 0.68 acre or 29,498 ft²
Runoff Coefficients
Hardscape Area 20,882 C = 0.9
Roof 4,025 C = 0.9
Landscaped Area 4,591 C = 0.2
Weighted Runoff Coefficient C = 0.79

LID Retention
80th Percentile Rainfall Event 0.45 in
Is the site Feasible for LID? Yes
Site Imperviousness 0.84
NRCS Soil Group B
Rv Equation 0.84*(1.169)
Rv 0.70
V_{pool} 770 c.f.

Rainfall Intensities:
10-yr intensity for a 15-minute TOC - Pipe Capacity 2.39 in/hr

Peak Run-off:
Runoff Coefficient C = 0.79
Rainfall Intensity i = 2.39 IN./HR.
Acreage A = 0.68 ACRES
Q = 1.28 cfs

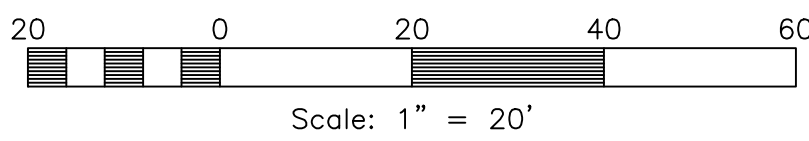
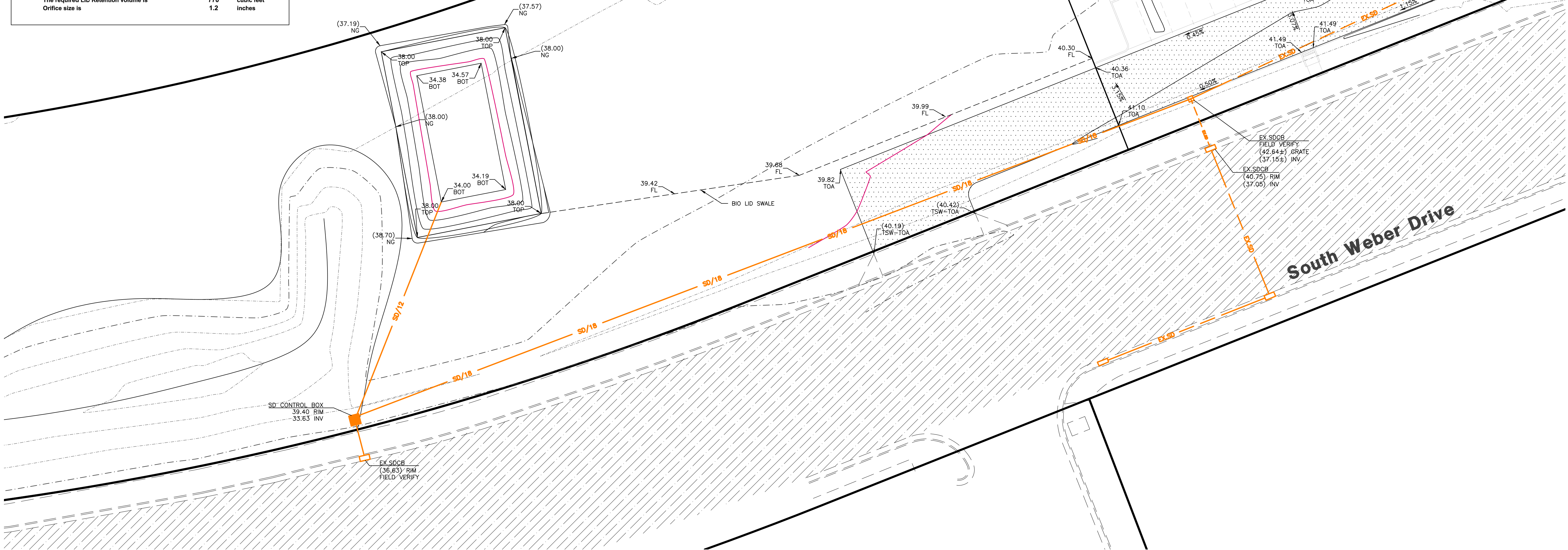
Volume of Run-off for 100-year Storm Event:

I =	See Below in/hr						
A =	29498.00 ft ²						
Q(out) =	0.07 ft ³ /s (0.1 cfs per acre)						
(min)	time (sec)	i (in./hr.)	Q (cfs)	Vol. in (cft)	Vol. out (cft)	Difference (cft)	
0	0	0	0.00	0	0	0	
5	300	7.52	4.06	1219	20	1198	
10	600	5.73	3.10	1857	41	1816	
15	900	4.74	2.56	2304	61	2243	
30	1800	3.19	1.72	3102	122	2980	
60	3600	1.97	1.06	3831	244	3587	
120	7200	1.15	0.62	4472	488	3988	
180	10800	0.791	0.43	4614	731	3883	
360	21600	0.441	0.24	5145	1453	3693	
720	43200	0.276	0.15	6417	2905	3492	
1440	86400	0.16	0.09	7467	5851	1616	

Orifice Sizing
Given: Q = 0.07 cfs
Zp = 64.4 ft²
H = 3.00 ft
Cd = 0.62
R = SQRT(Q/p)(0.77(64.4²H³)/0.5)
R = 0.05 feet
D = 0.60 inches
A = 1.13 inches *2
0.0079 ft *2

SUMMARY:
The required 100-yr storage volume is 3,985 cubic feet
The required LID Retention volume is 770 cubic feet
Orifice size is 1.2 inches

STAGE STORAGE TABLE			
ELEV	AREA (sq. ft.)	DEPT H (ft)	CONIC TOTAL VOL. (cu. ft.)
4,535.00	1,749.89	N/A	0.00
4,536.00	2,392.38	1.00	2062.78
4,537.00 HIGHWATER	3,084.17	1.00	4793.74
4,538.00	4,030.28	1.00	8340.43



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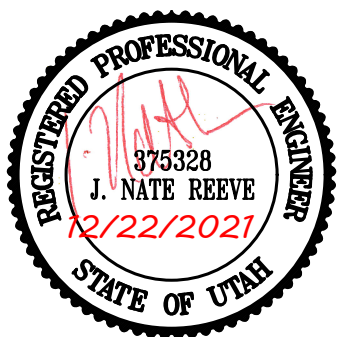
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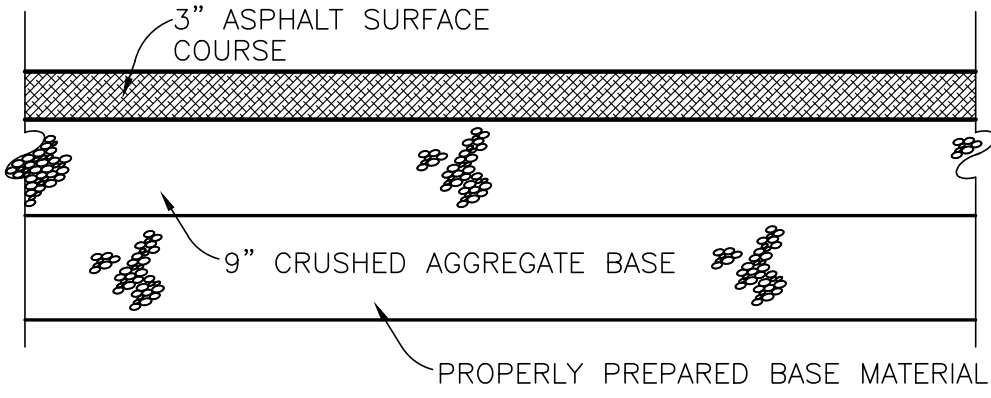
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Detention Basin Plan



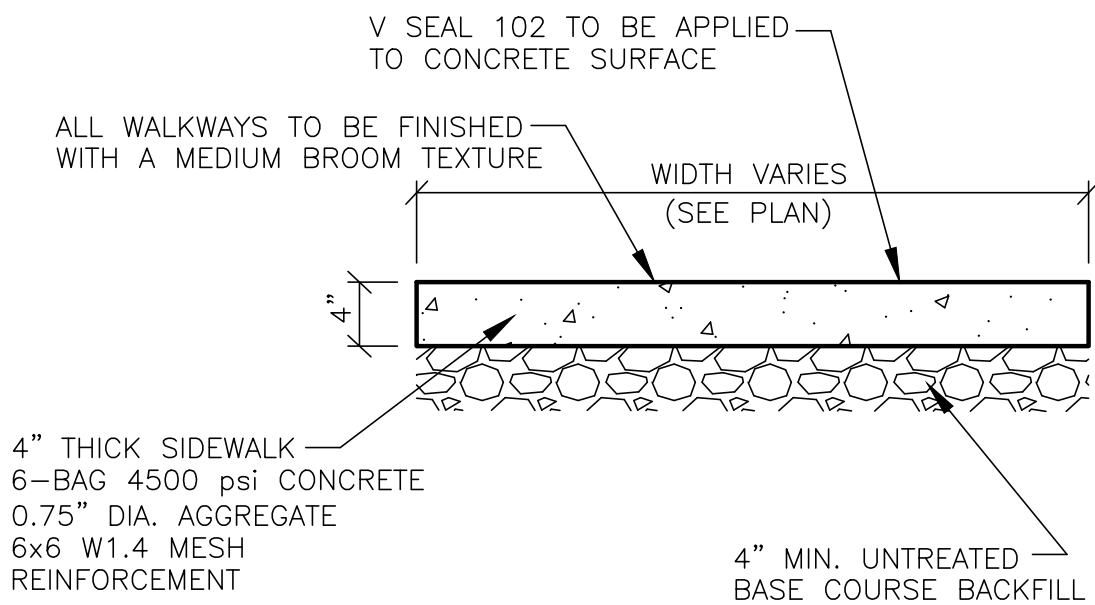
Project Info.
Engineer: J. NATE REEVE, P.E.
Drafted: J. MEYERS
Begin Date: NOVEMBER 2021
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(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT;
GEOTECHNICAL REPORT TO GOVERN & CONTROL.)

Typical On-Site Asphalt Paving

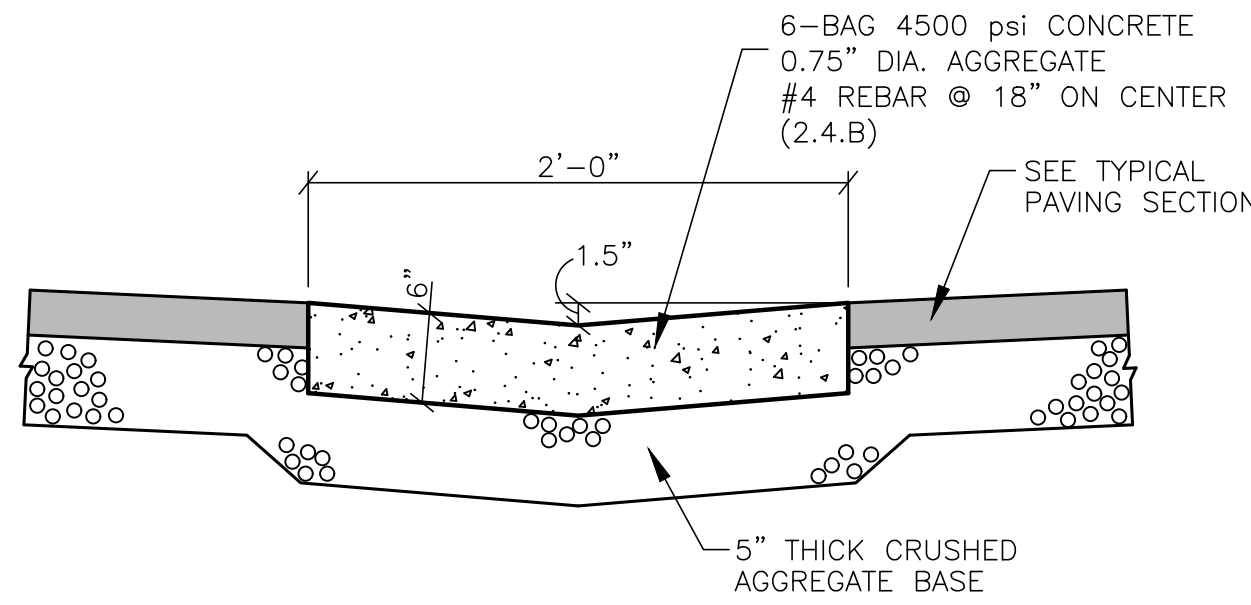
SCALE: NONE



(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT;
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Concrete Walkway

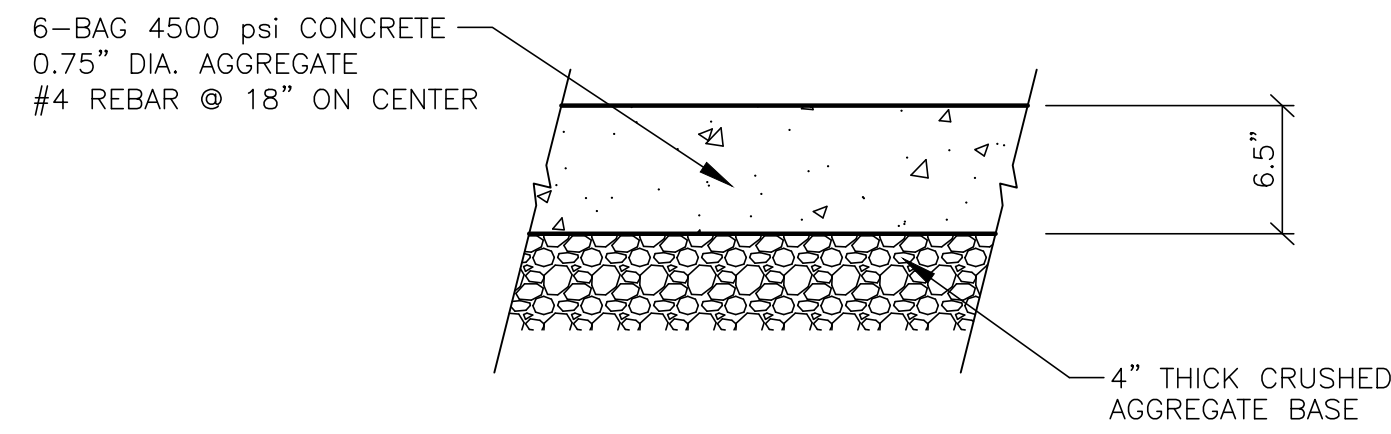
SCALE: NONE



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2' Concrete Waterway

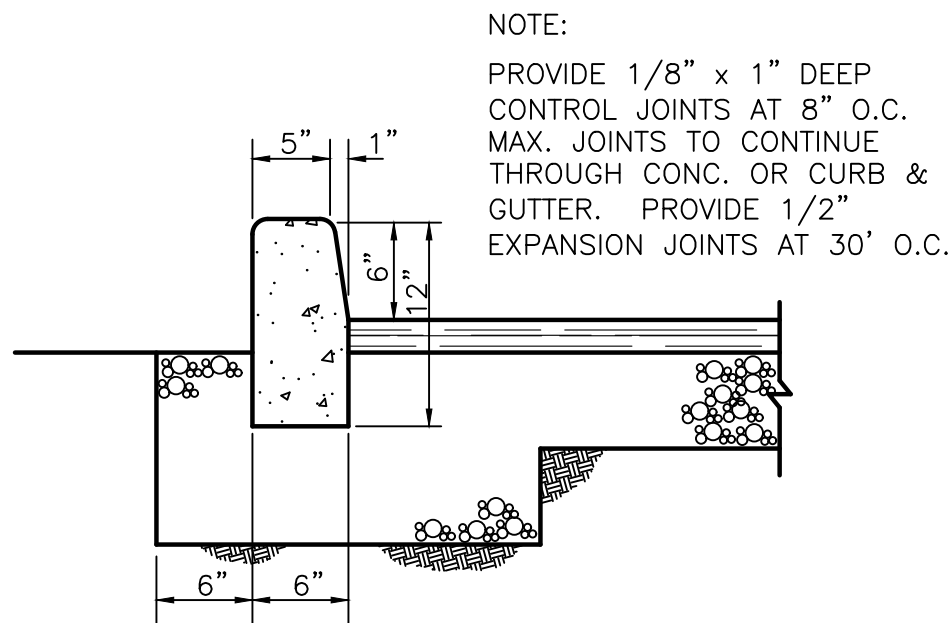
SCALE: NONE



(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT;
GEOTECHNICAL REPORT TO GOVERN & CONTROL.)

Trash Enclosure Concrete Pad

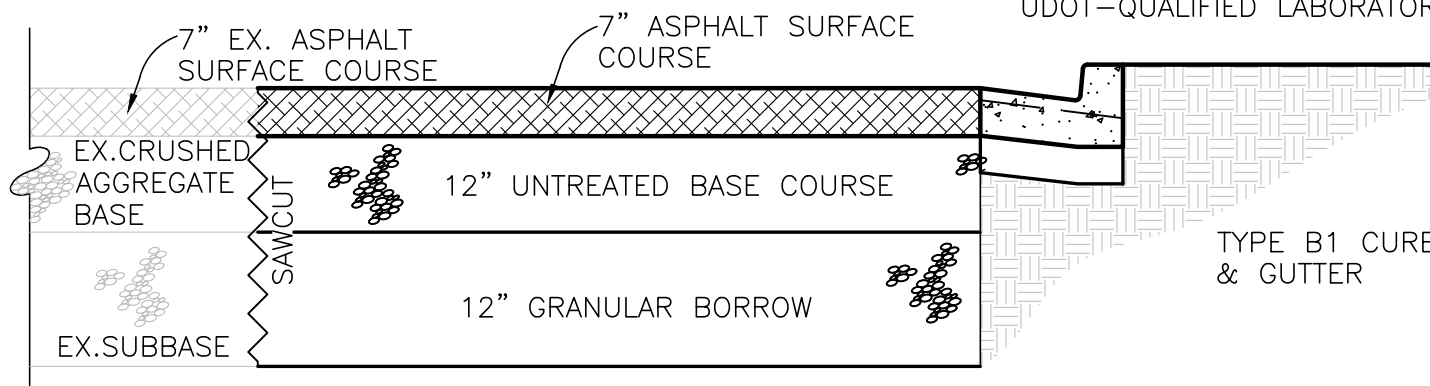
SCALE: NONE



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On-Site 'A' Type Curb Detail

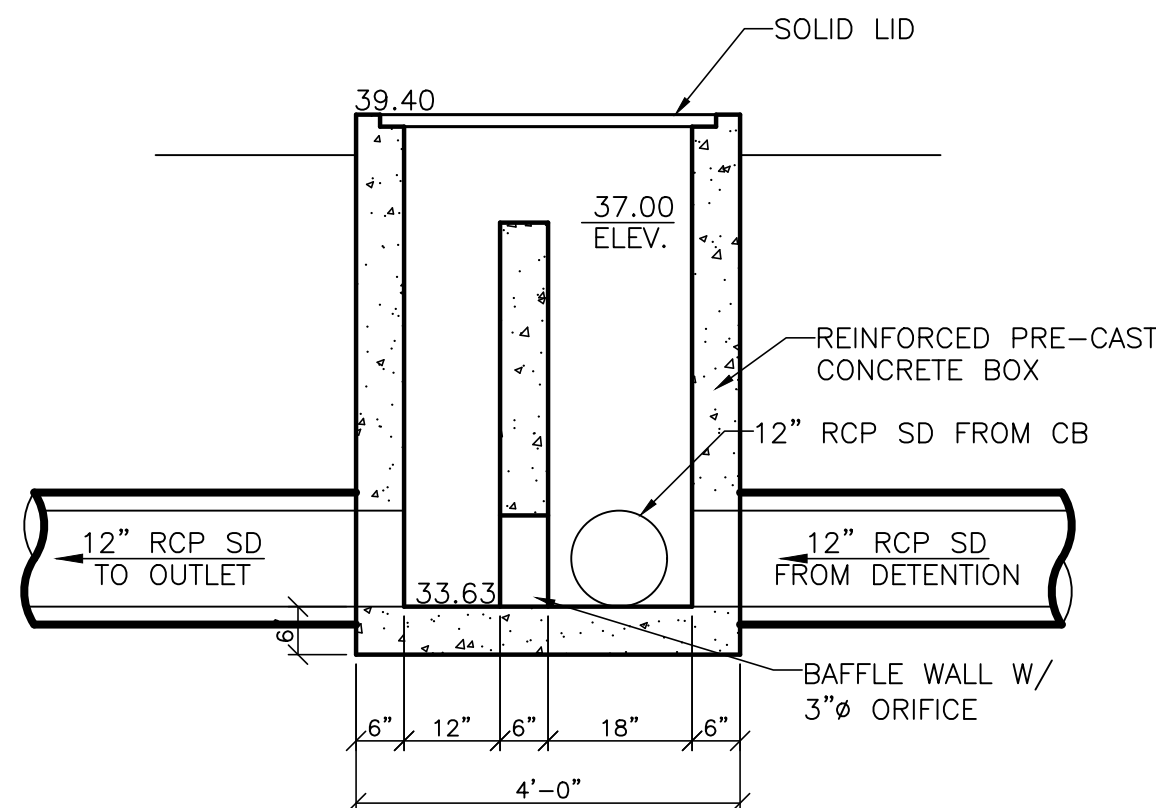
SCALE: NONE



1. MIX DESIGN ASPHALT CONFORMING TO UDOT SPECIFICATIONS 02741
2. SAWCUT AND TACK COAT VERTICAL CUTS IN ASPHALT PER UDOT SPECIFICATION 027055 PAVEMENT CUTTING

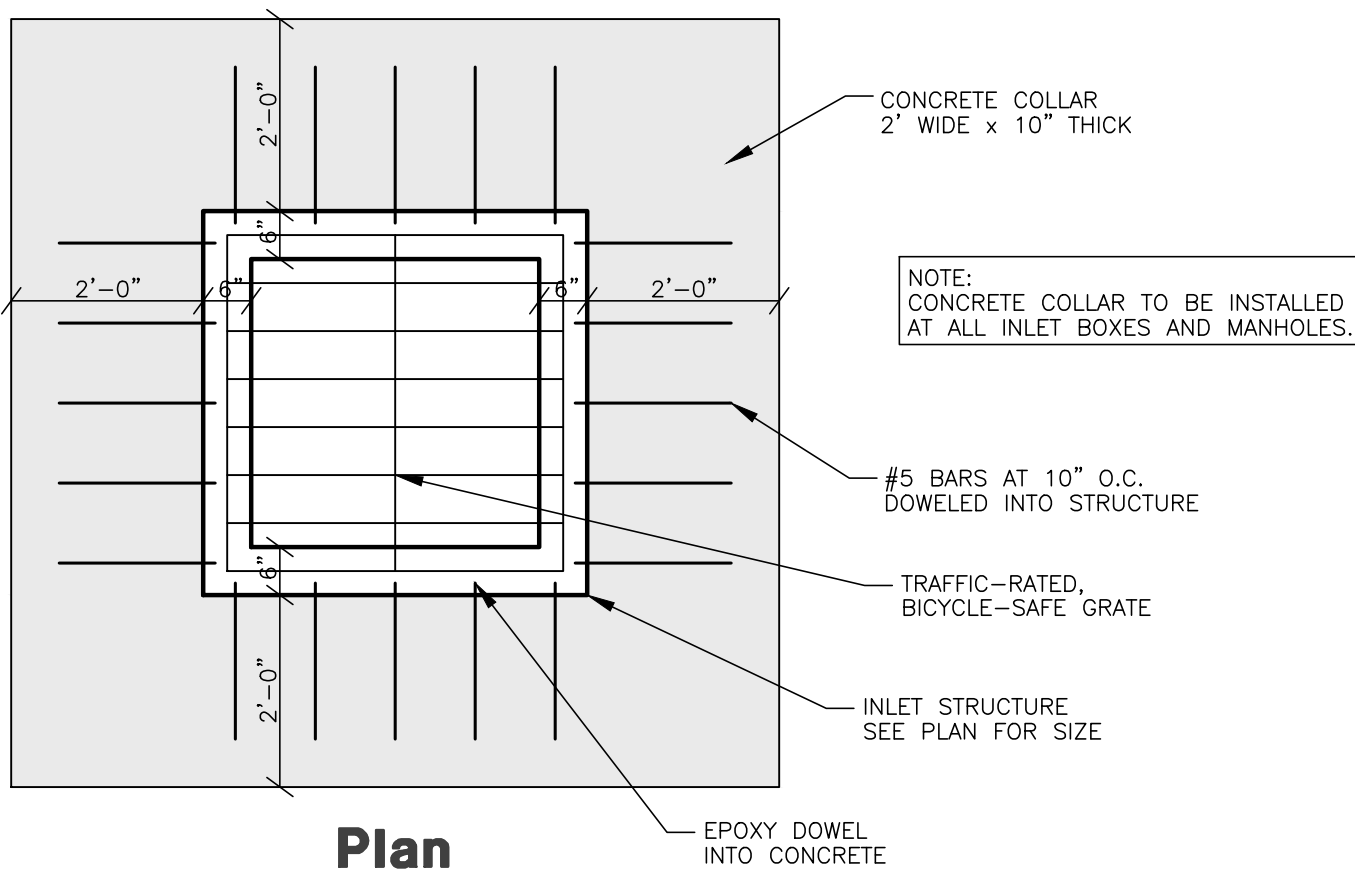
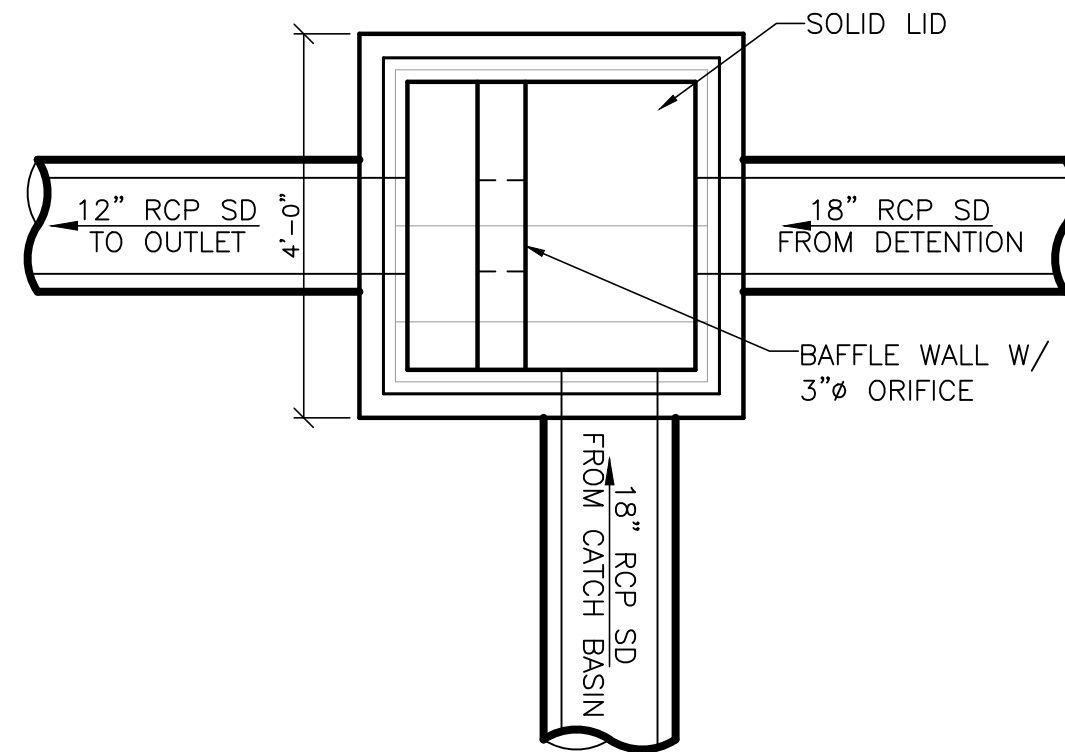
UDOT Street Detail

SCALE: NONE

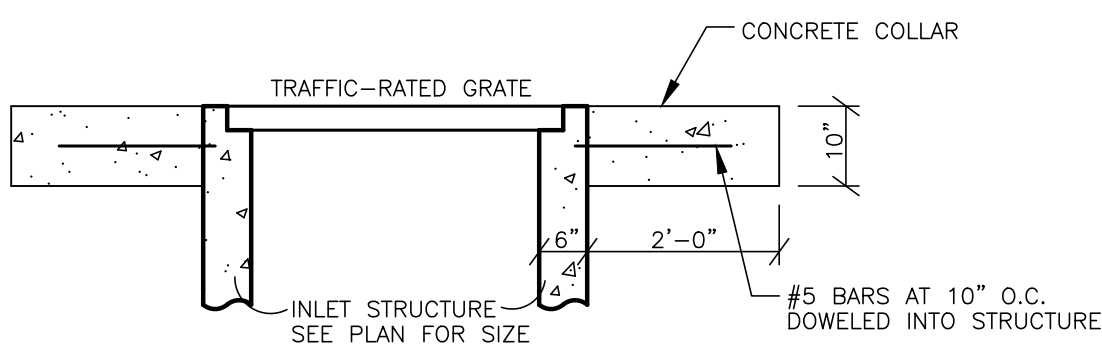


Detention Basin Control Box

SCALES: 1" = 2'



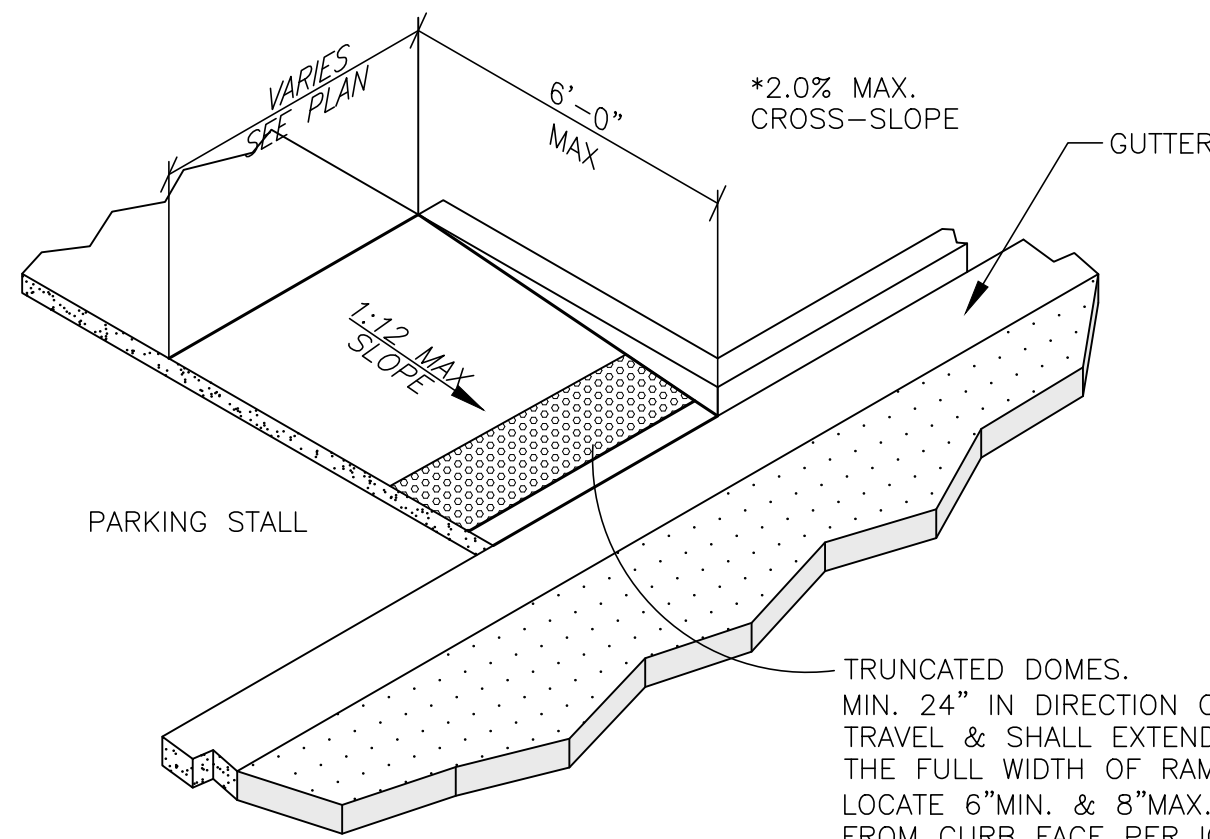
Plan



Section

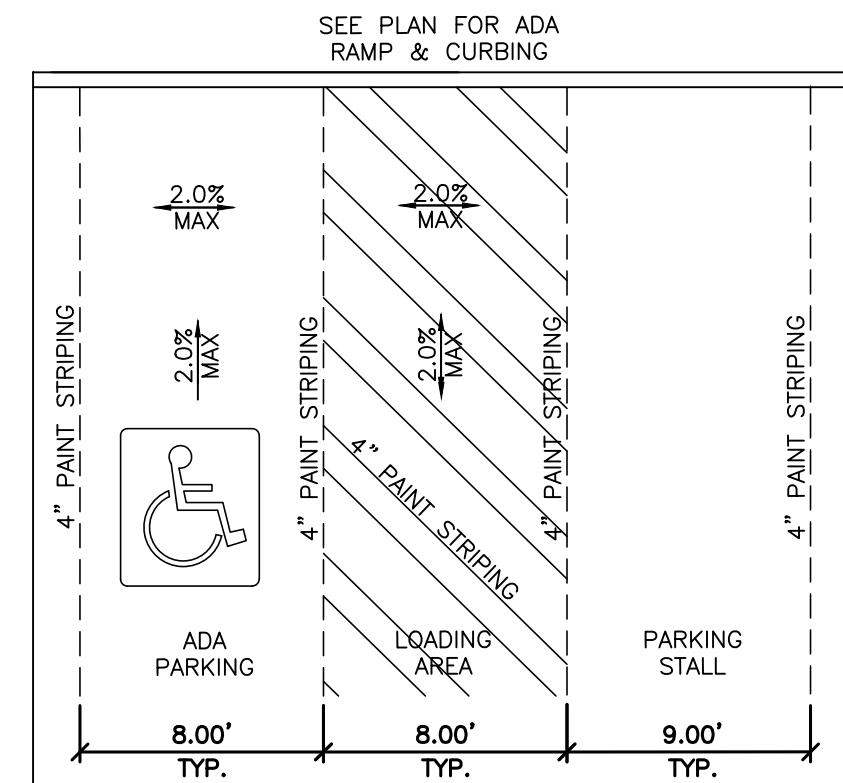
Concrete Collar Detail

SCALE: NONE



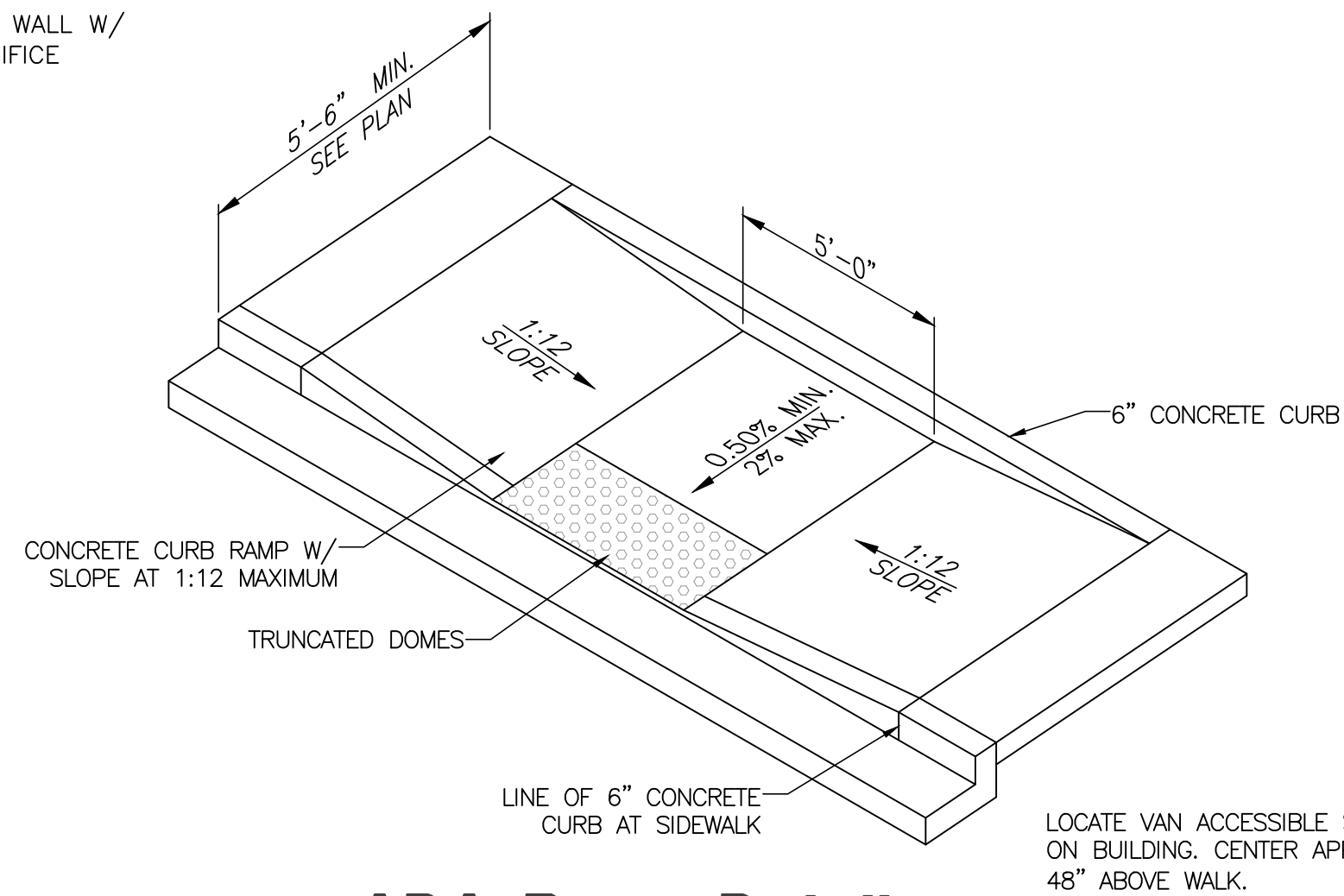
ADA Ramp Detail

SCALE: NONE



Typical ADA Parking Stall Detail

SCALE: NONE



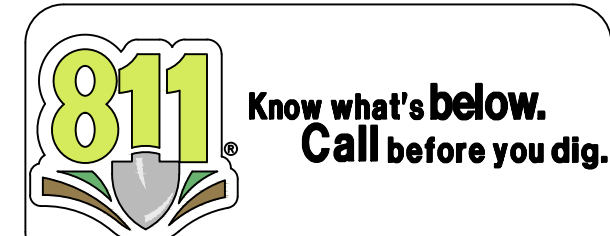
ADA Ramp Detail

SCALE: NONE

REFERENCE APWA STANDARD PLAN NO. 236

Notice:

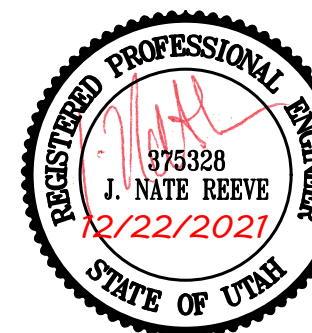
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Civil Details



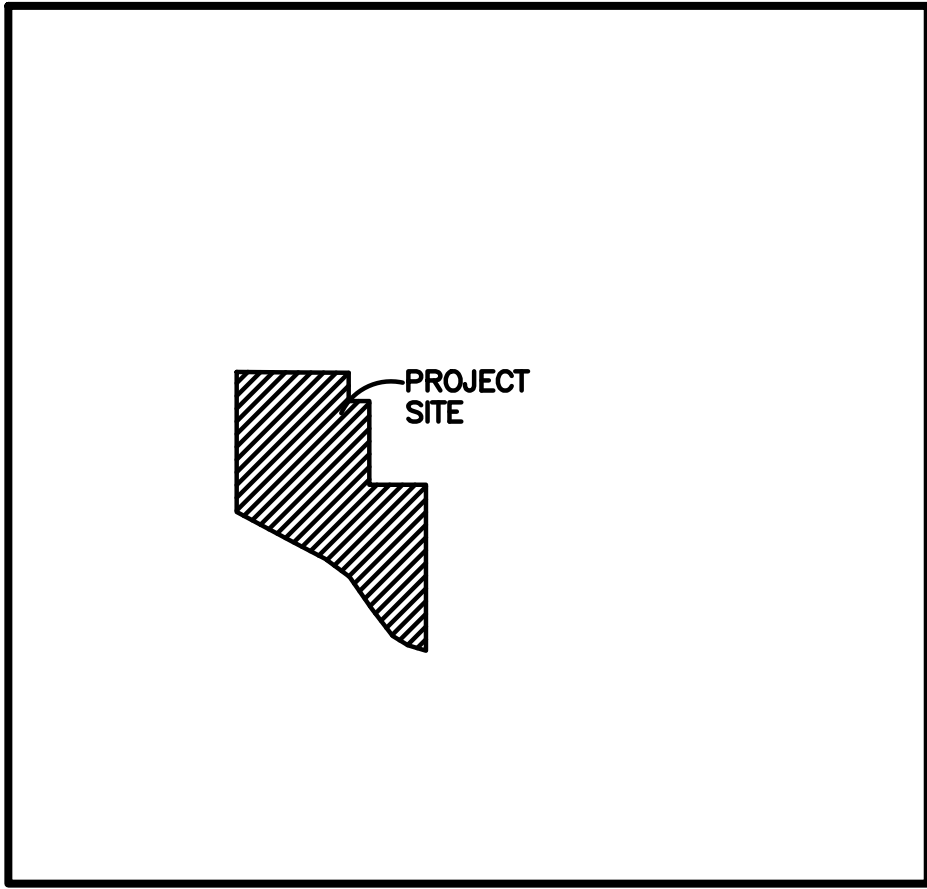
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Drafter: J. MEYERS
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7
12 Total Sheets

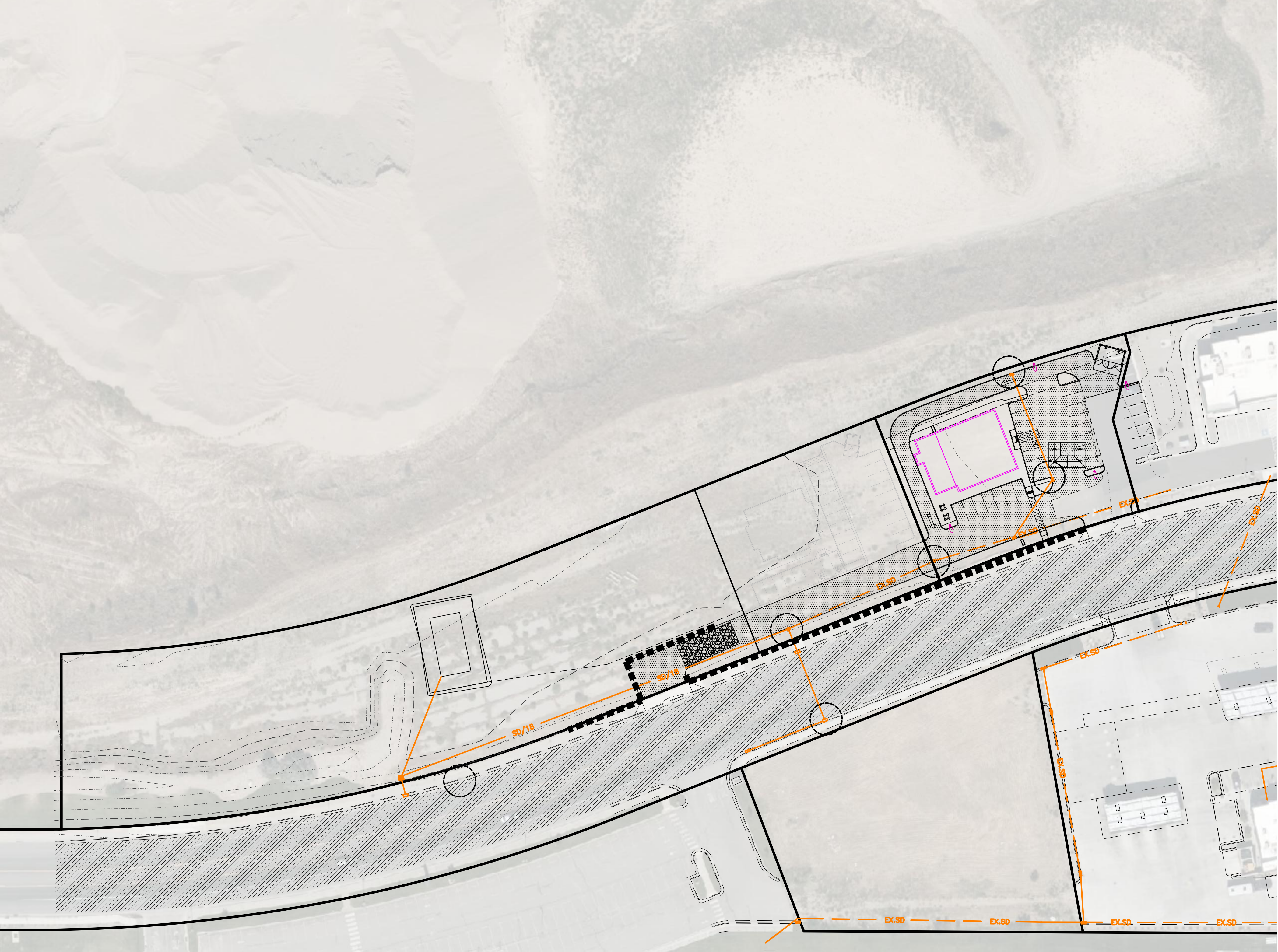
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Storm Water Pollution Prevention Plan Exhibit

SOUTH WEBER CITY, WEBER COUNTY, UTAH
DECEMBER 2021

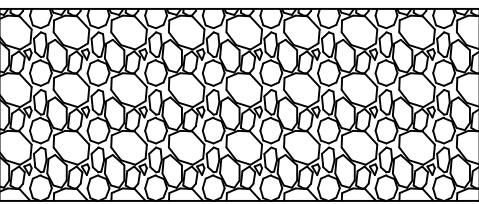


Vicinity Map
NOT TO SCALE



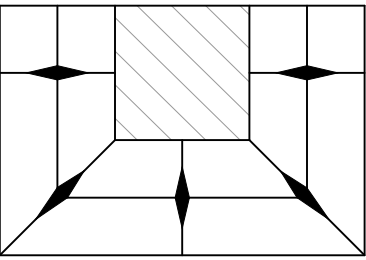
- PORTABLE TOILET
- INLET PROTECTION
TYP. (SEE DETAIL)
- SILT FENCE
(SEE DETAIL)

STREETS TO BE SWEEPED WITHIN
1000 FEET OF CONSTRUCTION
ENTRANCE DAILY IF NECESSARY

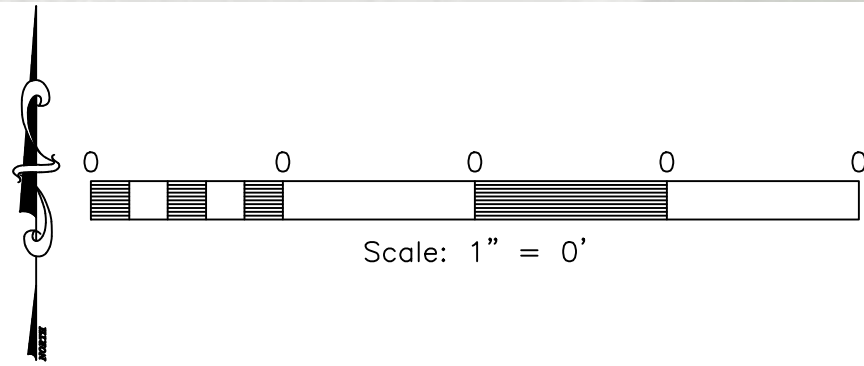


ALL VEHICLES EXITING SITE
TO PROCEED THROUGH
CONSTRUCTION ENTRANCE
TO REDUCE AMOUNTS OF
SEDIMENT TRACKED ONTO
ROADWAYS.

50'x20' CONSTRUCTION
ENTRANCE W/8" CLEAN
GRAVEL



CONCRETE WASH
AREA (SEE DETAIL)
OR AS SELECTED
BY CONTRACTOR



Construction Activity Schedule

- PROJECT LOCATION.....SOUTH WEBER CITY, DAVIS COUNTY, UTAH
- PROJECT BEGINNING DATE.....JANUARY 2022
- BMP'S DEPLOYMENT DATE.....JANUARY 2022
- STORM WATER MANAGEMENT CONTACT / INSPECTOR.....TBD
- SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER

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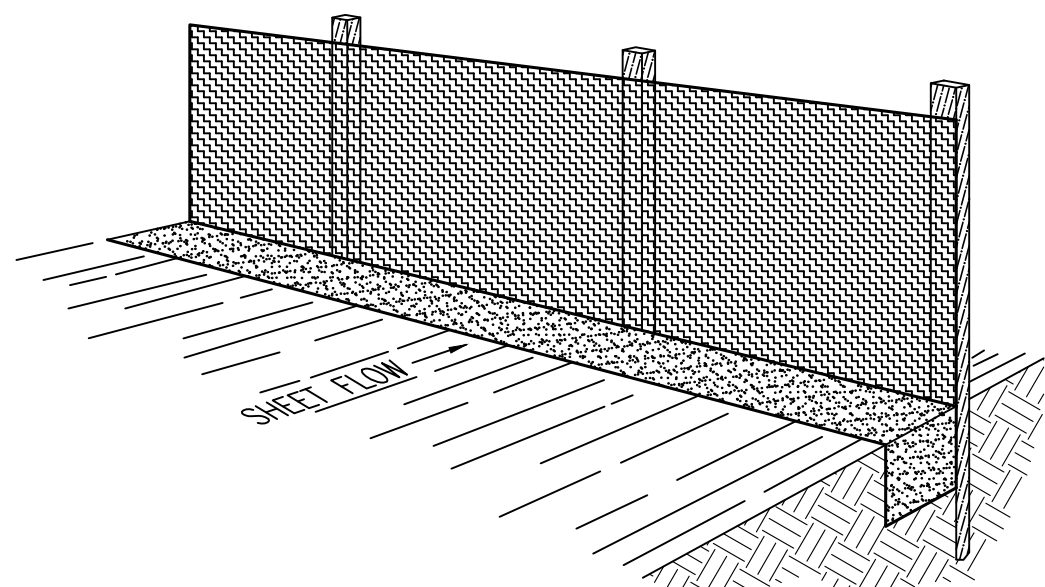
Storm Water Pollution Prevention Plan Exhibit



Project Info.	
Engineer:	J. NATE REEVE, P.E.
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Begin Date:	NOVEMBER 2021
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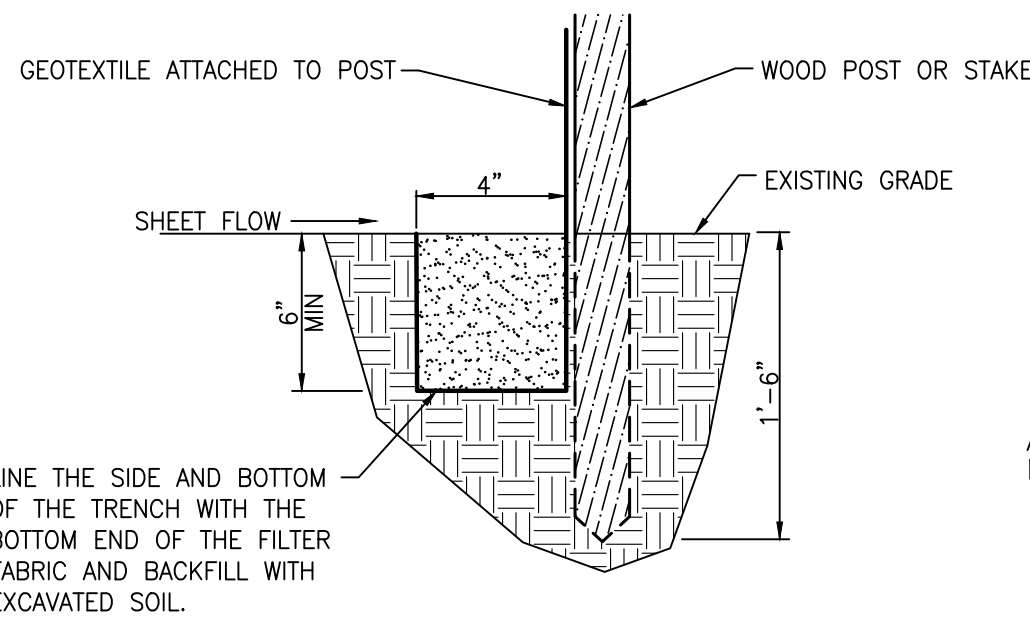
Notes:

- Describe all BMP's to protect storm water inlets:
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
- Describe BMP's to eliminate/reduce contamination of storm water from:
 - Equipment / building / concrete wash areas:
To be performed in designated areas only and surrounded with silt fence barriers.
 - Soil contaminated by soil amendments:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - Areas of contaminated soil:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - Fueling area:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle maintenance areas:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle parking areas:
To be performed in designated areas only and surrounded with silt fence.
 - Equipment storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Materials storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Waste containment areas:
To be performed in designated areas only and surrounded with silt fence.
 - Service areas:
To be performed in designated areas only and surrounded with silt fence.
- BMP's for wind erosion:
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion
- Construction Vehicles and Equipment:
 - Maintenance
 - Maintain all construction equipment to prevent oil or other fluid leaks.
 - Keep vehicles and equipment clean, prevent excessive build-up of oil and grease.
 - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
 - Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
 - Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.
 - Fueling
 - If fueling must occur on-site, use designated areas away from drainage.
 - Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
 - Cover retention area with an impervious material and install in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
 - Use drip pans for any oil or fluid changes.
 - Washing
 - Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
 - If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
 - Use phosphate-free, biodegradable soaps.
 - Do not permit steam cleaning on-site.
- Spill Prevention and Control
 - Minor Spills:
Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
 - Contain the spread of the spill.
 - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
 - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up and properly dispose of contaminated soil.
 - If the spill occurs during rain, cover the impacted area to avoid runoff.
 - Record all steps taken to report and contain spill.
 - Major Spills:
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
- Post Roadway / Utility Construction
 - Maintain good housekeeping practices.
 - Enclose or cover building material storage areas.
 - Properly store materials such as paints and solvents.
 - Store dry and wet materials under cover, away from drainage areas.
 - Avoid mixing excess amounts of fresh concrete or cement on-site.
 - Perform washout of concrete trucks offsite or in designated areas only.
 - Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
 - Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
 - All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
 - Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
- Erosion Control Plan Notes
 - The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
 - A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent.
 - Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
 - Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. This should be confirmed by survey or other means acceptable to the engineer of record.
 - All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
 - Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
 - All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the engineer of record of the governing agency.
 - The placement of additional devices to reduce erosion damage within the site is left to the discretion of the engineer of record.
 - Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
 - Erosion control devices will be modified as need as the project progresses and plans of these changes submitted for approval by the engineer of record and the governing agency.
- Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
 - Part III.D.4 of general permit UTRC00000 identifies the minimum inspection requirements.
 - Part II.D.4.C identifies the minimum inspection report requirements.
 - Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 300000.



Perspective View

Figure 2



Section

INSTALLATION

The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fences), at various site grades for most silt fence applications.

TABLE 1: Recommended Maximum Slope Lengths for Silt Fence (Richardson & Middlebrooks, 1991)		
Slope Steepness (%)	Max. Slope Length m (ft)	
<2%	30.5m (100ft)	
2-5%	22.9m (75ft)	
5-10%	15.2m (50ft)	
10-20%	7.6m (25ft)	
>20%	4.5m (15ft)	

PREFABRICATED SILT FENCE ROLLS

- *Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- *Unroll the silt fence, positioning the post against the downstream wall of the trench.
- *Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then abut the end posts to create a tight seal as shown in Figure 1.
- *Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
- *Bury the loose geotextile at the bottom of the fence in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

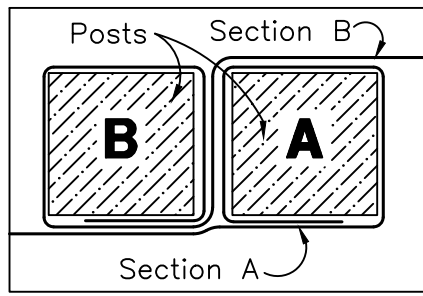


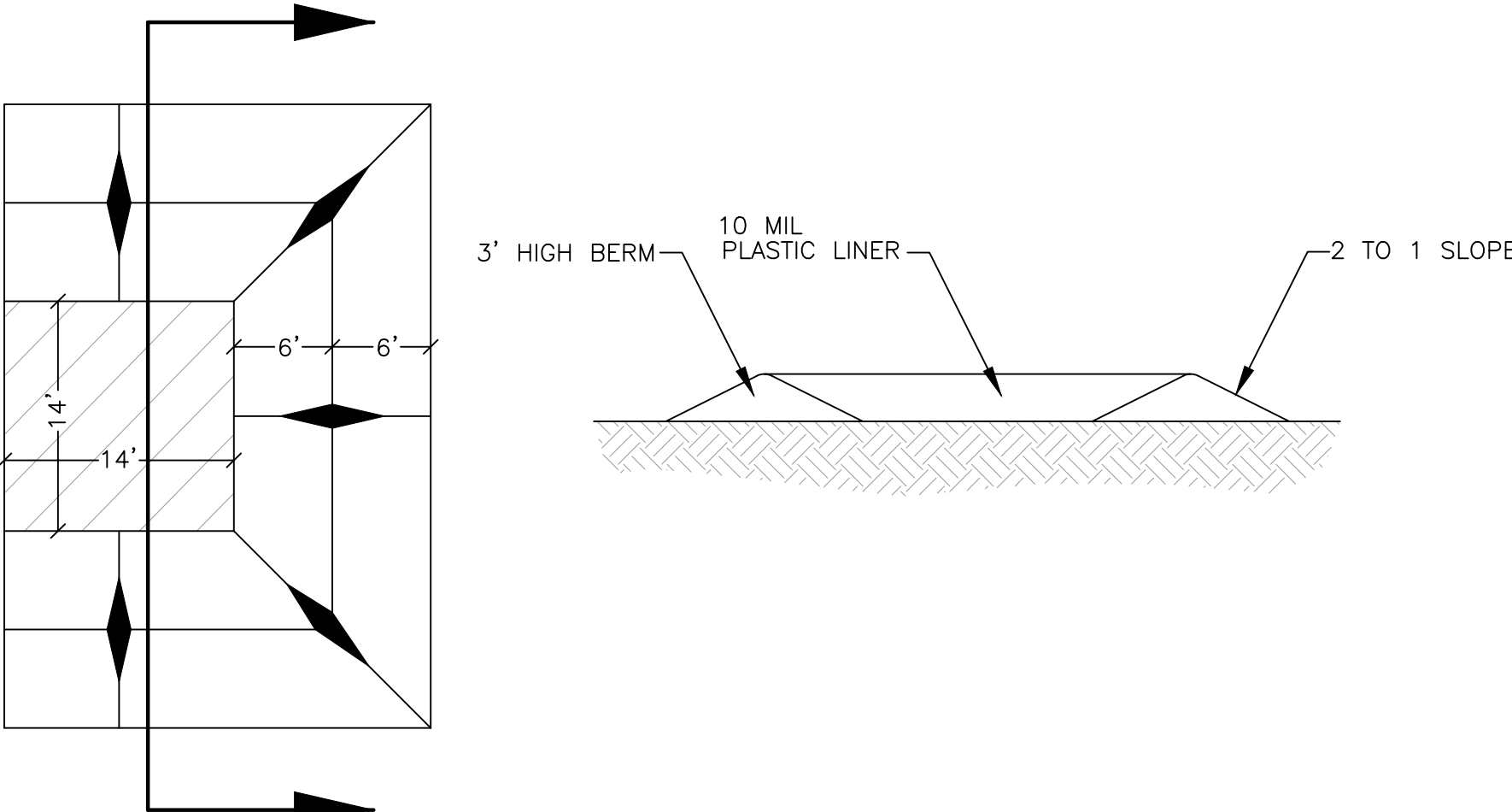
Figure 1:
Top View of
Roll-to-Roll Connection

FIELD ASSEMBLY:

- *Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- *Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8-10ft). Post spacing

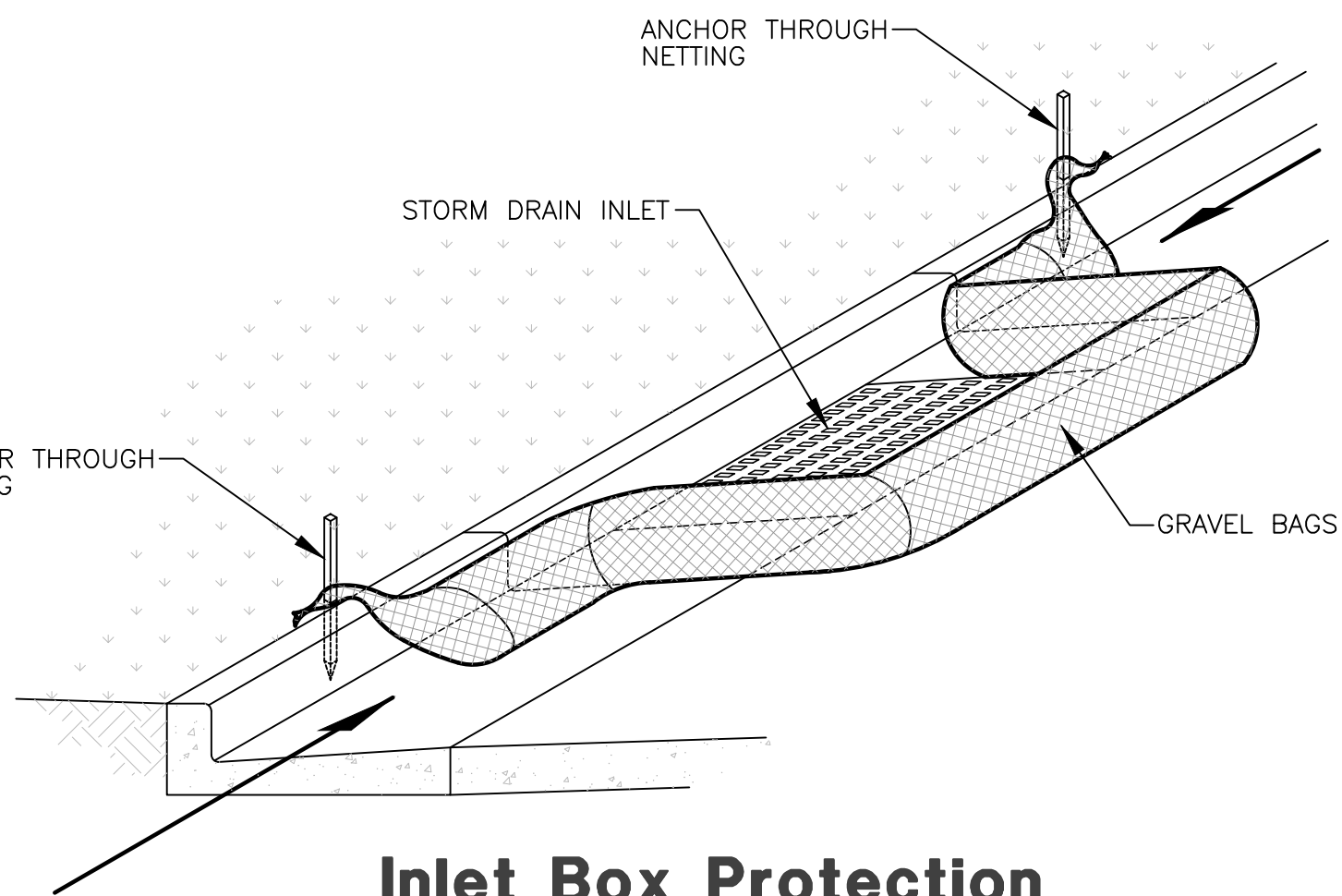
Silt Fence Detail

SCALE: NONE

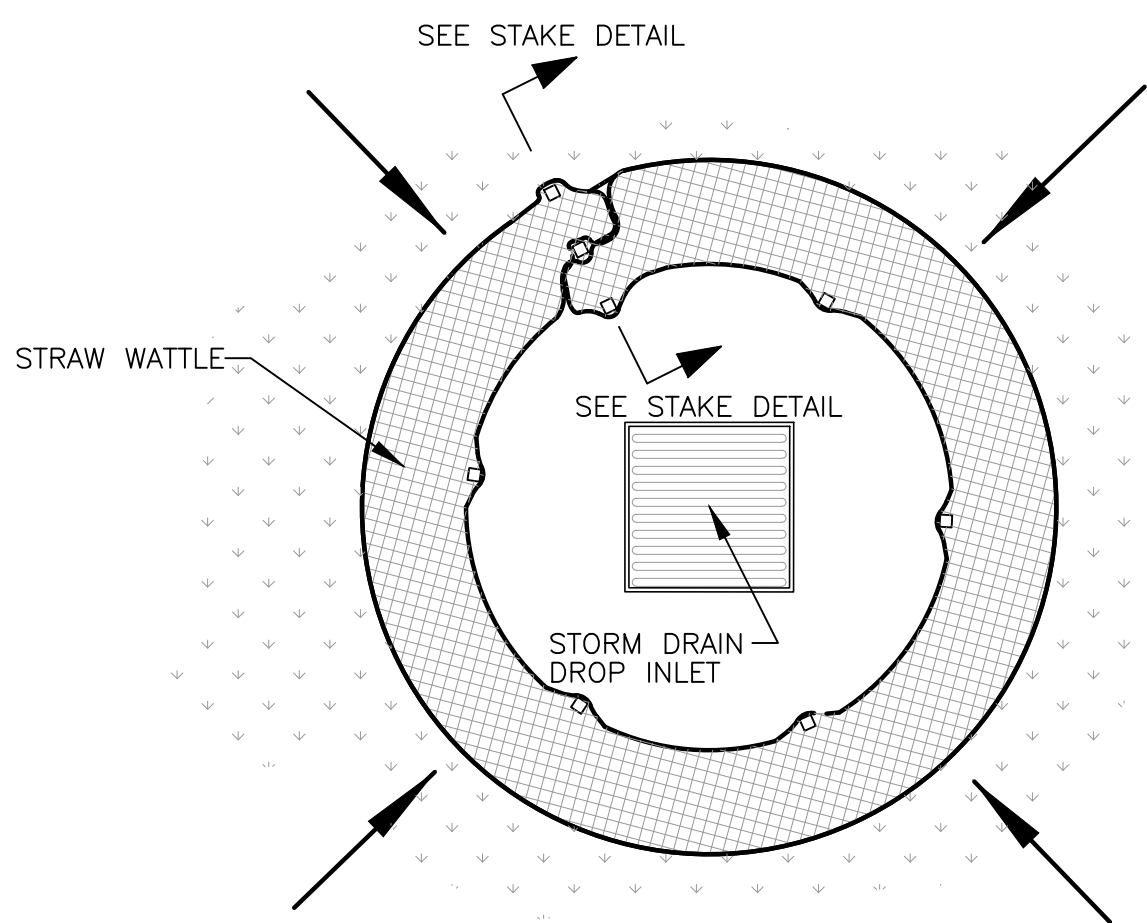


Concrete Washout Area
w/ 10 mil Plastic Liner

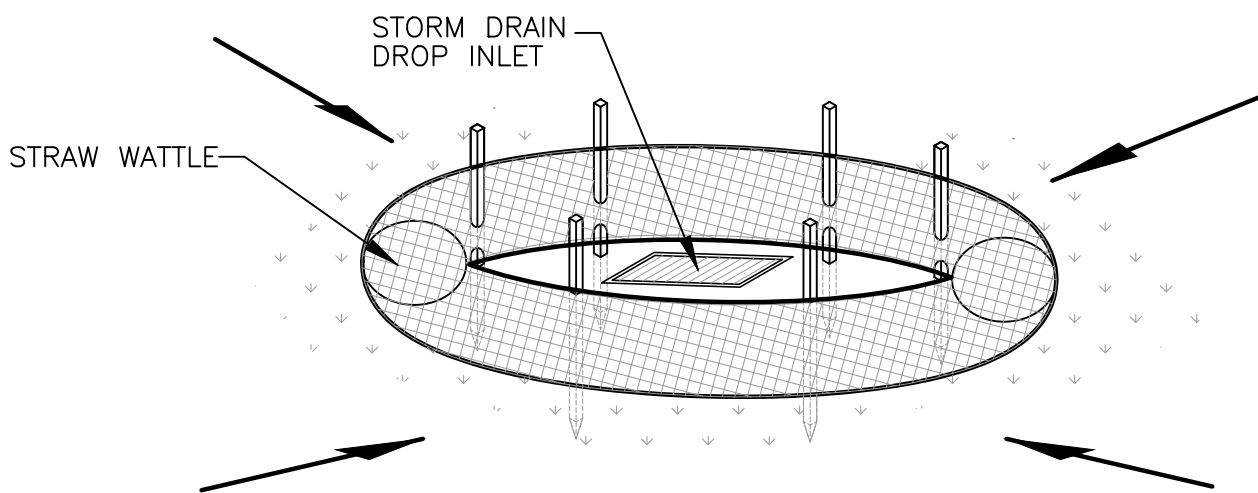
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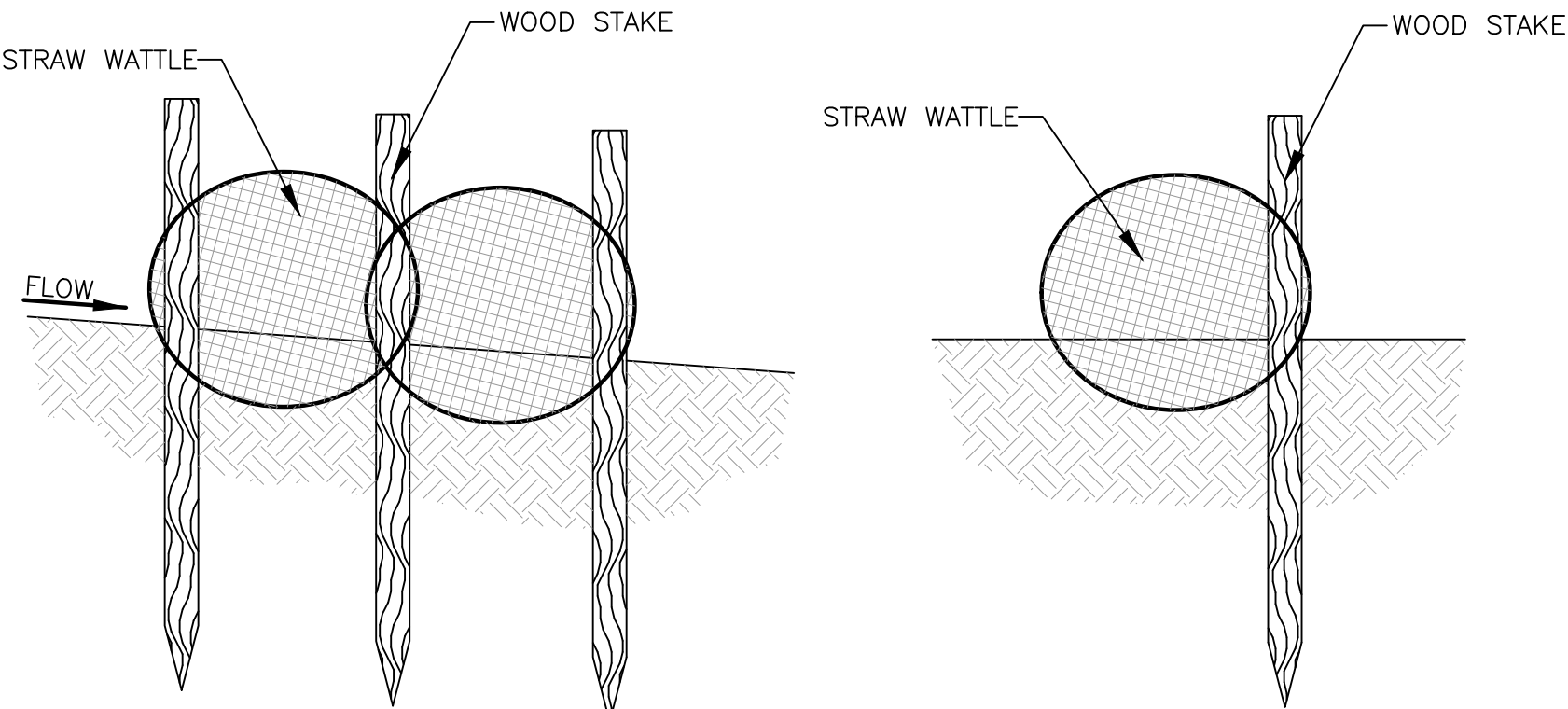
Inlet Box Protection



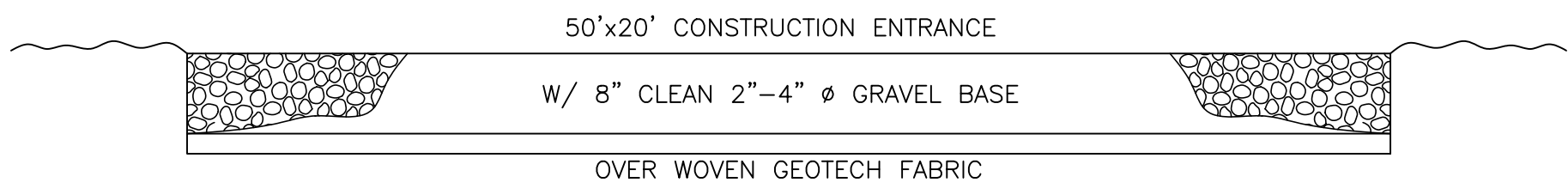
Plan View



Drop Inlet Protection



Stake Detail



Cross Section 50' x 20' Construction Entrance

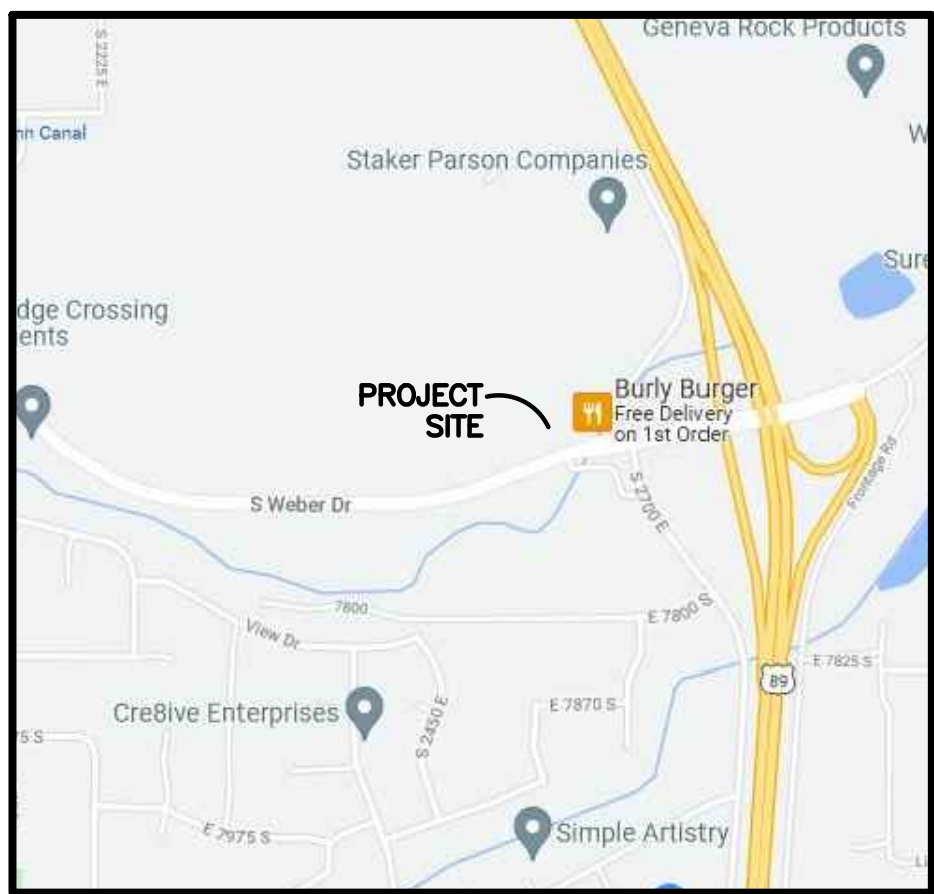
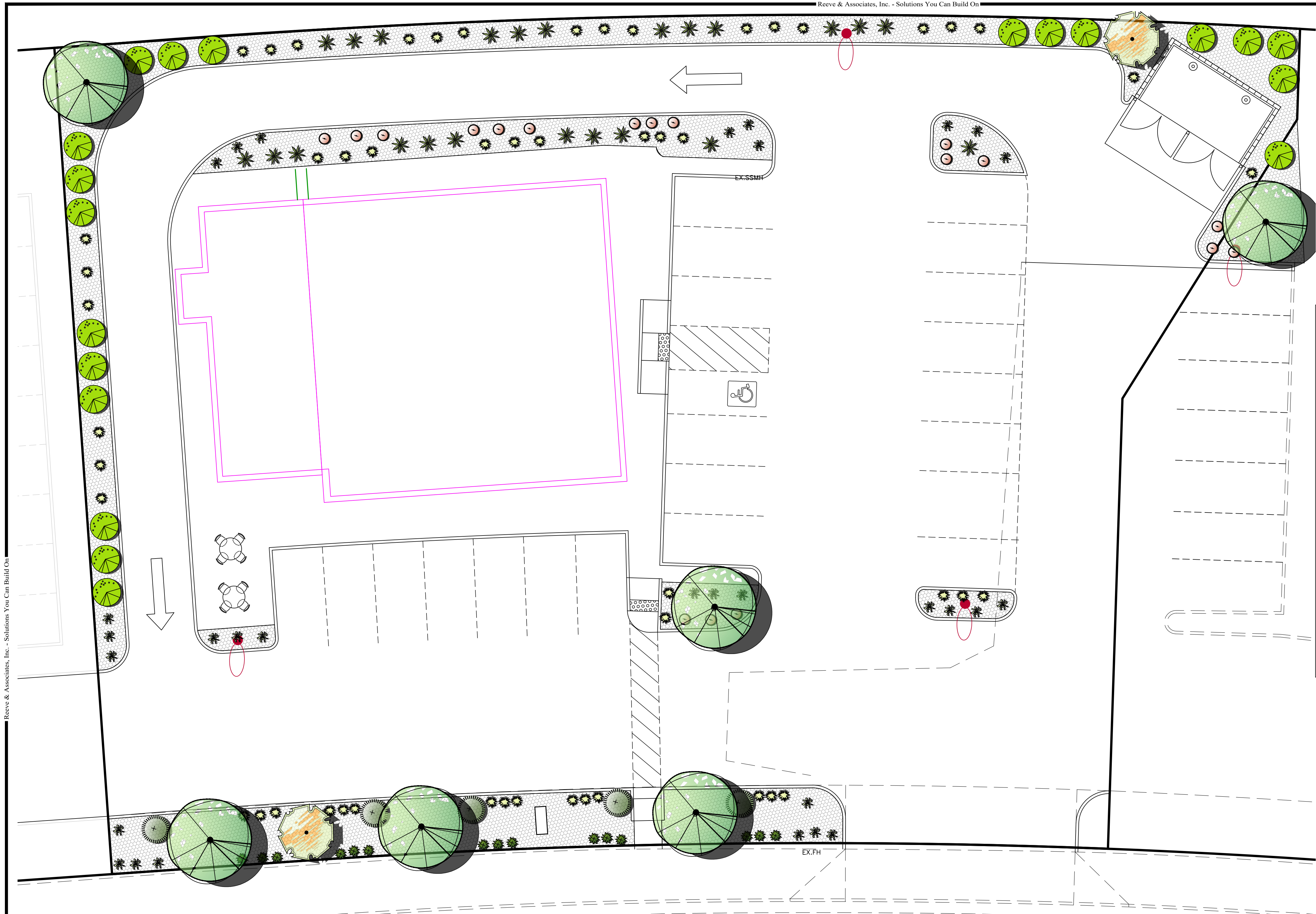


REVISIONS	DESCRIPTION
DATE	

Ski N See & Sodalicioious
SOUTH WEBER CITY, DAVIS COUNTY, UTAH
Storm Water Pollution Prevention Plan Details



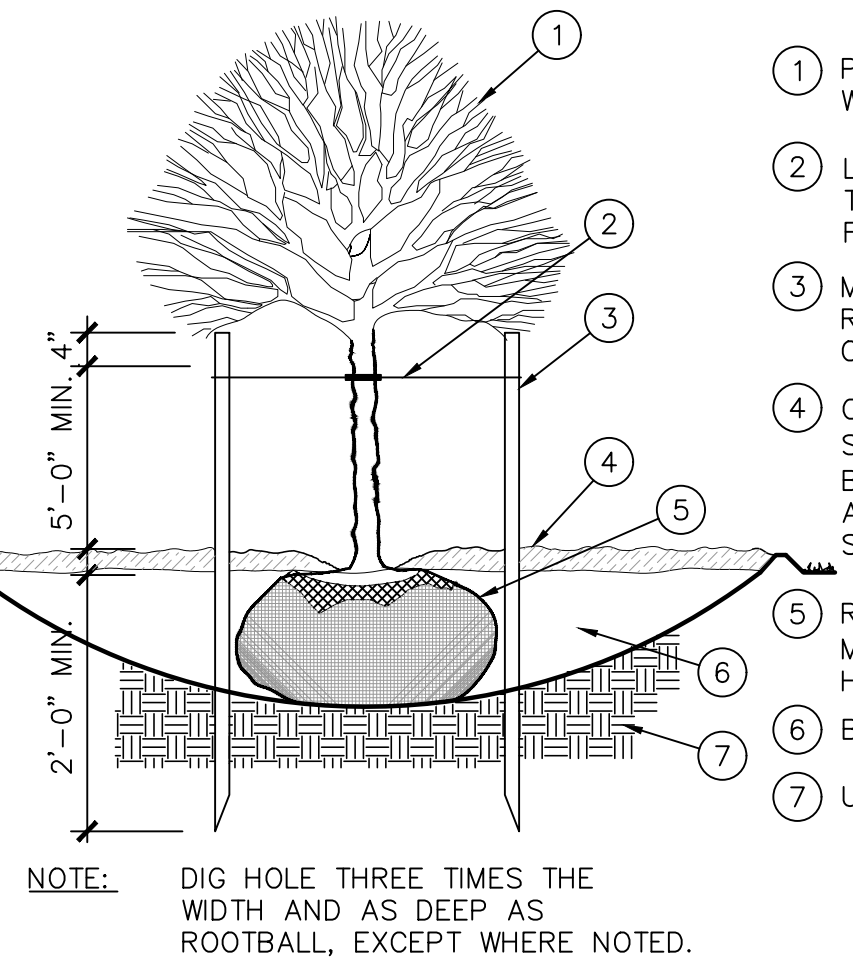
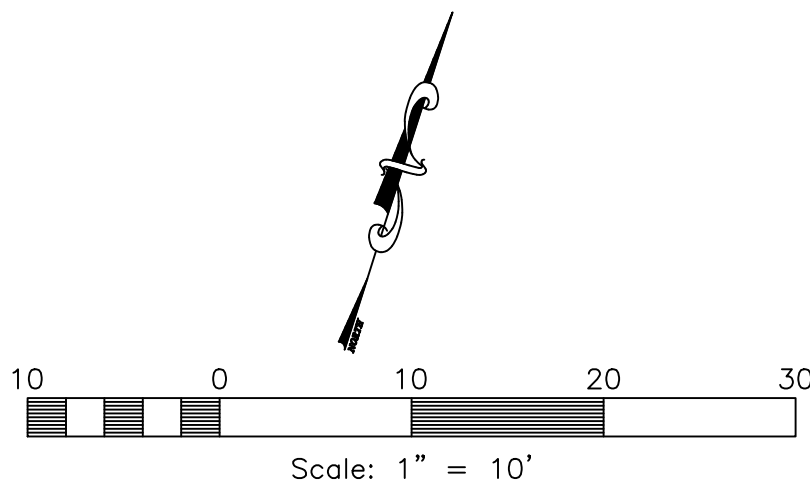
Project Info.
Engineer: J. NATE REEVE, P.E.
Drafter: J. MEYERS
Begin Date: NOVEMBER 2021
Name: SKI N SEE SODALICIOIOUS
Number: 6195-09



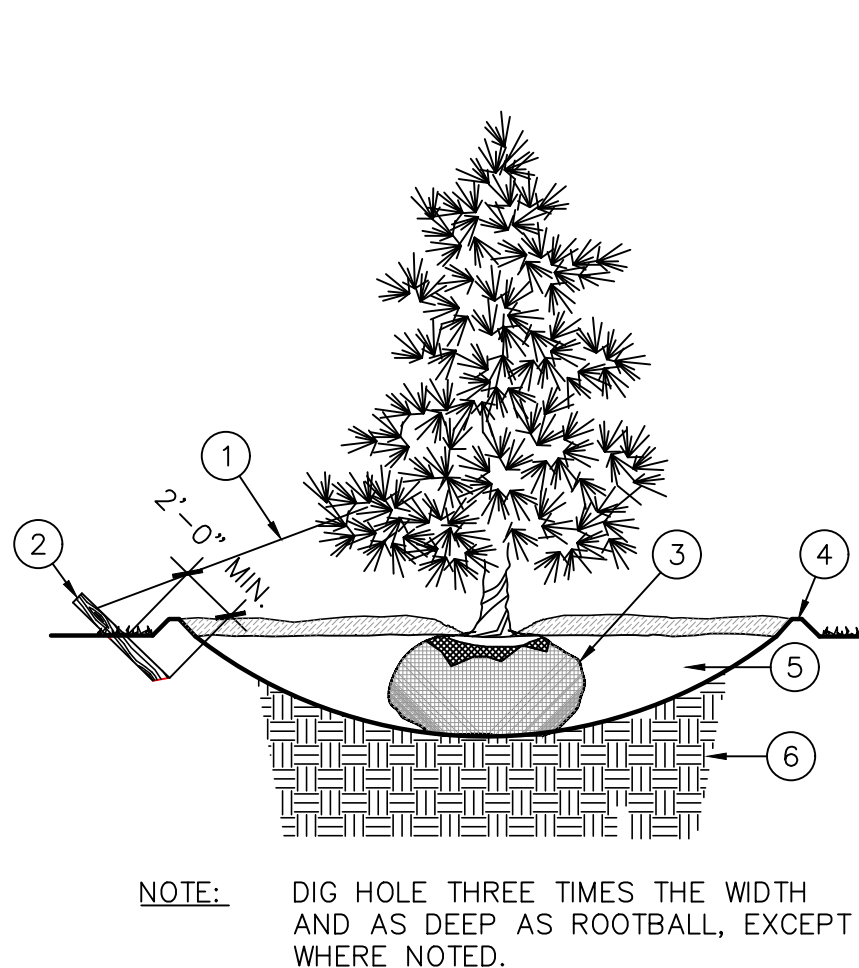
Vicinity Map
NOT TO SCALE

PLANT TABLE

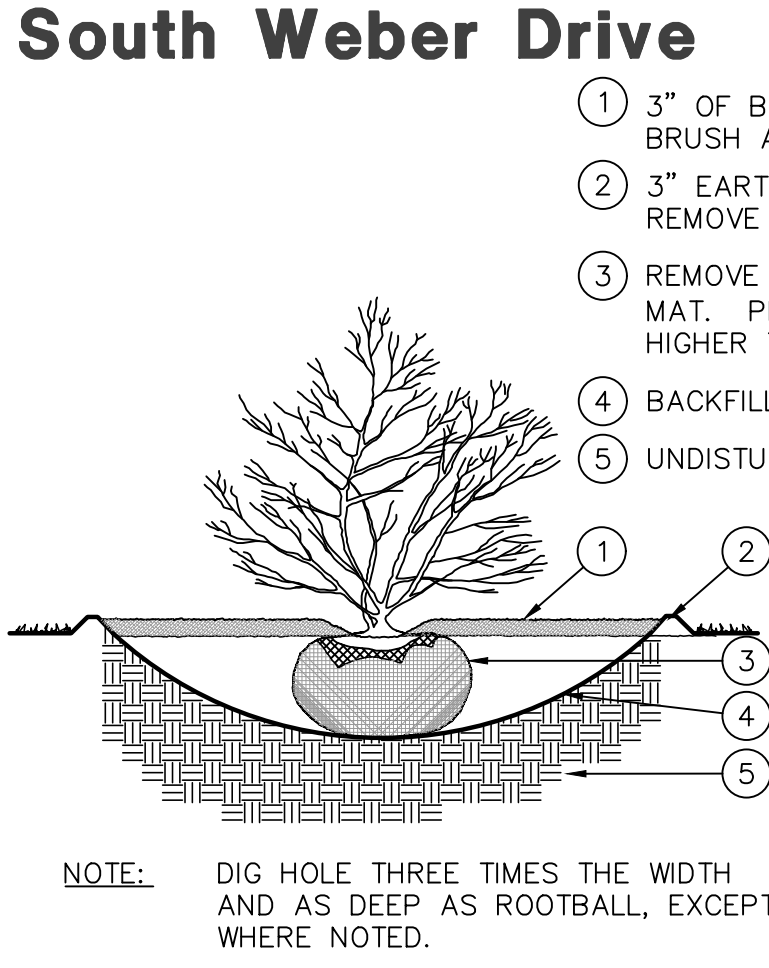
TREES			
Symbol	Scientific Name	Common Name	Size
6	Acer platanoides 'Crimson Sentry'	Crimson Sentry Norway Maple	2" cal.
2	Syringa reticulata 'Ivory Silk'	Ivory Silk Lilac Tree	2" cal.
SHRUBS			
Symbol	Scientific Name	Common Name	Size
20	Forsythia x intermedia 'Lynwood Gold'	Lynwood Gold Forsythia	5 gal.
23	Yucca filamentosa 'Color Guard'	Color Guard Yucca	5 gal.
ORNAMENTAL GRASS			
Symbol	Scientific Name	Common Name	Size
52	Calamagrostis 'Karl Foerster'	Karl Foerster Grass	1 gal.
15	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	1 gal.
OTHER			
Symbol	Description	Size/Type	
	Rock Mulch - 2"-4" Diameter, 3" Depth- Dark Gray Color	2" Minus	
	Place over 5 ounce Professional weed barrier cloth in all planting beds.	3" Depth	
	Contractor to provide samples to owner for approval prior to delivery.		



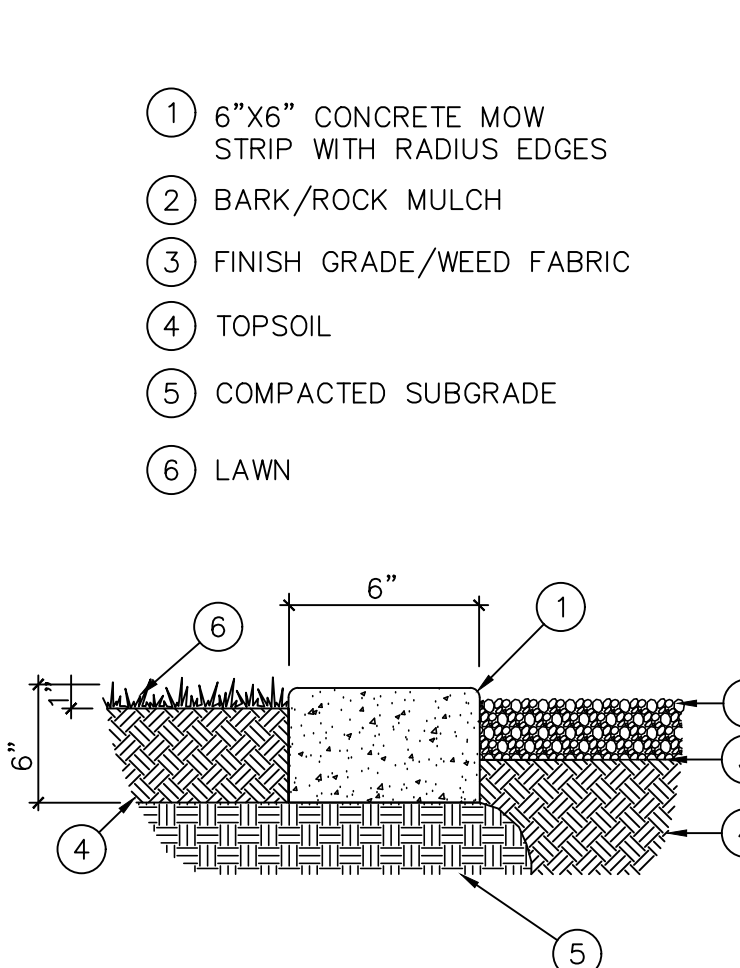
DECIDUOUS TREE PLANTING
NTS



CONIFEROUS TREE PLANTING
NTS



SHRUB PLANTING
NTS



CONCRETE MOW STRIP
NTS

PLANTING NOTES

- This planting plan is diagrammatic and plant locations are approximate.
- Field survey, stake, and string the layout and locations of site construction features for approval before actual construction. The layout shall conform to the exact location and grades of the intended work to be done.
- Coordinate all aspects of the planting plans with the irrigation system and call the attention of the owners representative to any conflict in placement of plants in relation to sprinkler heads, lines and valves at the time the landscape installation phase takes place.
- Finish grade of soil in lawn areas shall be 2" below pads, walks, paving, headers and curbs to accommodate sod. Grades in areas when seeded shall be 1" lower than adjacent edge.
- Native topsoil shall be stockpiled and stored on site whenever possible for use in landscape areas.
- All sod areas shall receive a minimum 4" depth of native topsoil and shrub beds shall receive a minimum of 8" of native topsoil.
- Imported topsoil, when required, shall come from a reputable source, have a loam consistency and be free of weeds and debris.
- Face each shrub to give the most pleasing look as seen from a line perpendicular to the wall or walk to/from which it is viewed.
- Edging or Curbing shall be installed as shown on the plan to separate grass from shrub beds.
- Shrub beds shall drain properly to prevent standing water from occurring. Call improperly draining planters or planting beds to the attention of the owners representative before planting. Provide positive drainage away from all structures and walls. Slope landscape areas 2% minimum.
- Place mulch in all shrub beds and perennial areas. See schedule for depth and type. Do not crowd out small perennial plants with excessive mulch.
- Provide a 3" minimum diameter circle "tree ring" around trees that are placed within lawn areas. Place a 3" min. depth of mulch. Use shredded bark mulch or match mulch being used for shrub beds.
- The contractor shall maintain all work until work is complete and accepted by the Owner. The contractor shall maintain and guarantee all work for a period of THIRTY DAYS from the date of final acceptance by the Owner. Maintenance shall include mowing, weeding, fertilizing and irrigating.

Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co

RA

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

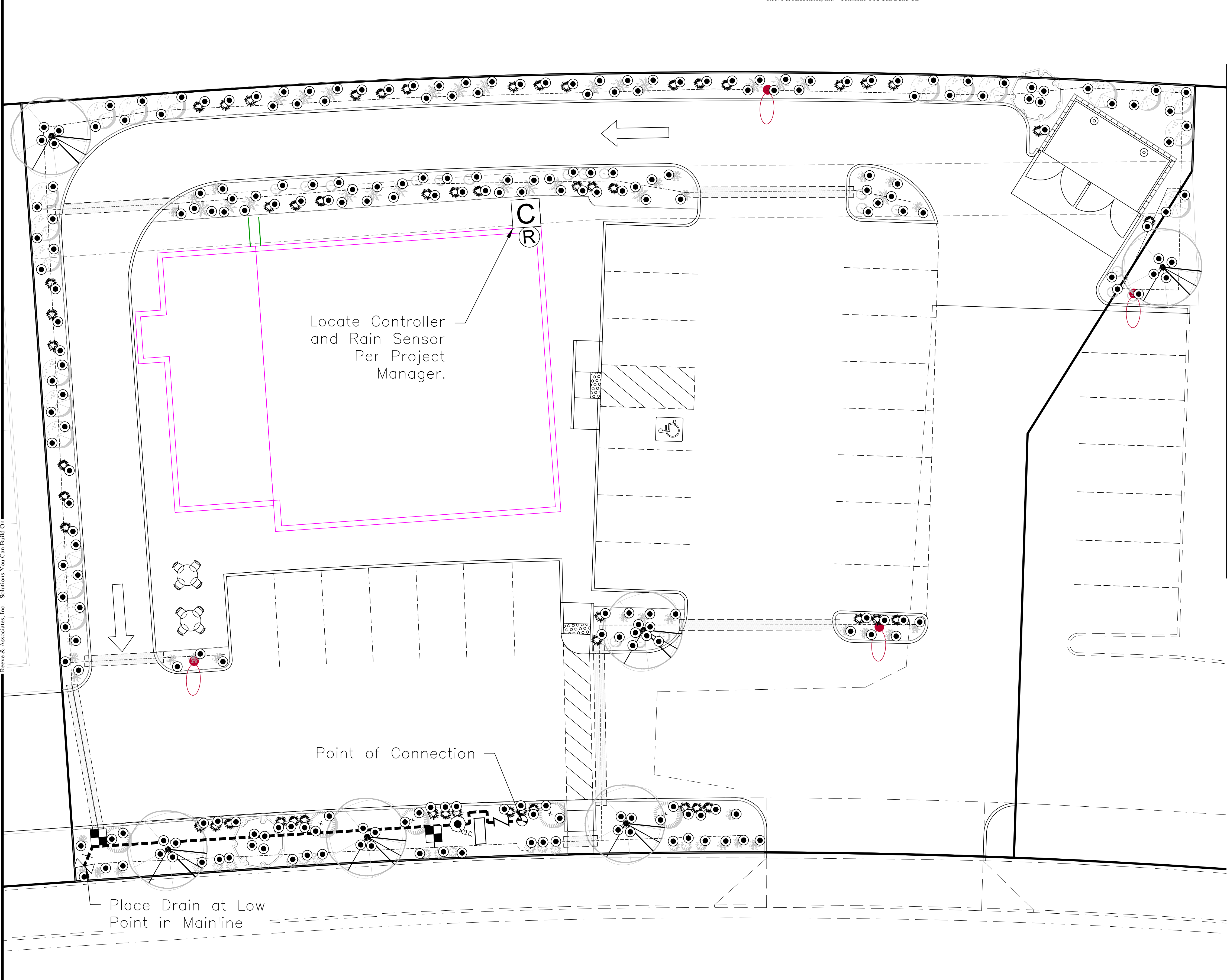
REVISIONS	DESCRIPTION
DATE	

Ski N See & Sodalicioious
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

Landscape Plan



Project Info.
Engineer: NATHAN PETERSON
Drafted: N. PETERSON
Begin Date: NOVEMBER 2021
Name: SKI N SEE SODALICIOIOUS
Number: 6195-09



IRRIGATION SCHEDULE

EQUIP.	SYMBOL	MANUFACT.	CATALOG #	DESCRIPTION
⊖		FORD	BC11-444SWM-NL	STOP AND WASTE
Z		WILKINS	975XL2	BACKFLOW PREVENTION ASSEMBLY
STRONGBOX		STRONGBOX	SBBC-30AL	ALUMINUM BACKFLOW ENCLOSURE
⊕		RAINBIRD	MODEL 44LRC	1" QUICK COUPLING VALVE
⊗		FORD	B111-333-NL 3/4"	MANUAL DRAIN VALVE ASSEMBLY
Ⓢ		RAINBIRD	ESP LXME	120 VAC-INDOOR/OUTDOOR CONTROLLER
Ⓡ		RAINBIRD	WR2-RC	WIRELESS RAIN SENSOR
■		RAINBIRD	XCZ-100-PRB-COM	DRIP REMOTE CONTROL VALVE

PIPE	SYMBOL		CATALOG #	DESCRIPTION
1"	---	SCH. 40	PVC MAIN LINE	PRESSURIZED IRRIGATION MAIN LINE
	---	SCH. 40	PVC LATERAL LINE	IRRIGATION LINE; SIZE AS FOLLOWS: 3/4" (0-8 gpm), 1" (8-12 gpm), 1 1/4" (12-22 gpm), 1 1/2" (22-30 gpm), 2" (30-50 gpm)
	---	SCH. 40	PVC SLEEVE	2 X DIA. - USE UNDER PAVEMENT

DRIP	SYMBOL	MANUFACT.	CATALOG #	DESCRIPTION
	●	RAINBIRD	XB-T-20-PC	XERIBUG DRIP EMITTERS, 2 GAL/HOUR 1 EMITTER PER 1 GALLON PLANT 2 EMITTERS PER 5 GALLON PLANT 4 EMITTERS PER TREE (OUTSIDE TURF AREAS)
	---	PVC/POLY	DRIP LATERAL LINE	1/2"-3/4" LATERAL SUPPLY LINE

LABELS

D1

1" 5

D1

DRIP VALVE NUMBER
GALLONS PER MINUTE
VALVE SIZE
DRIP IRRIGATION ZONE NUMBER

South Weber Drive

10 0 10 20 30

Scale: 1" = 10'

811 Know what's below. Call before you dig.

Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeveco.com
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • LANDSCAPE ARCHITECTS

RA

REVISIONS

DESCRIPTION

DATE

Ski N See & Sodalicious
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

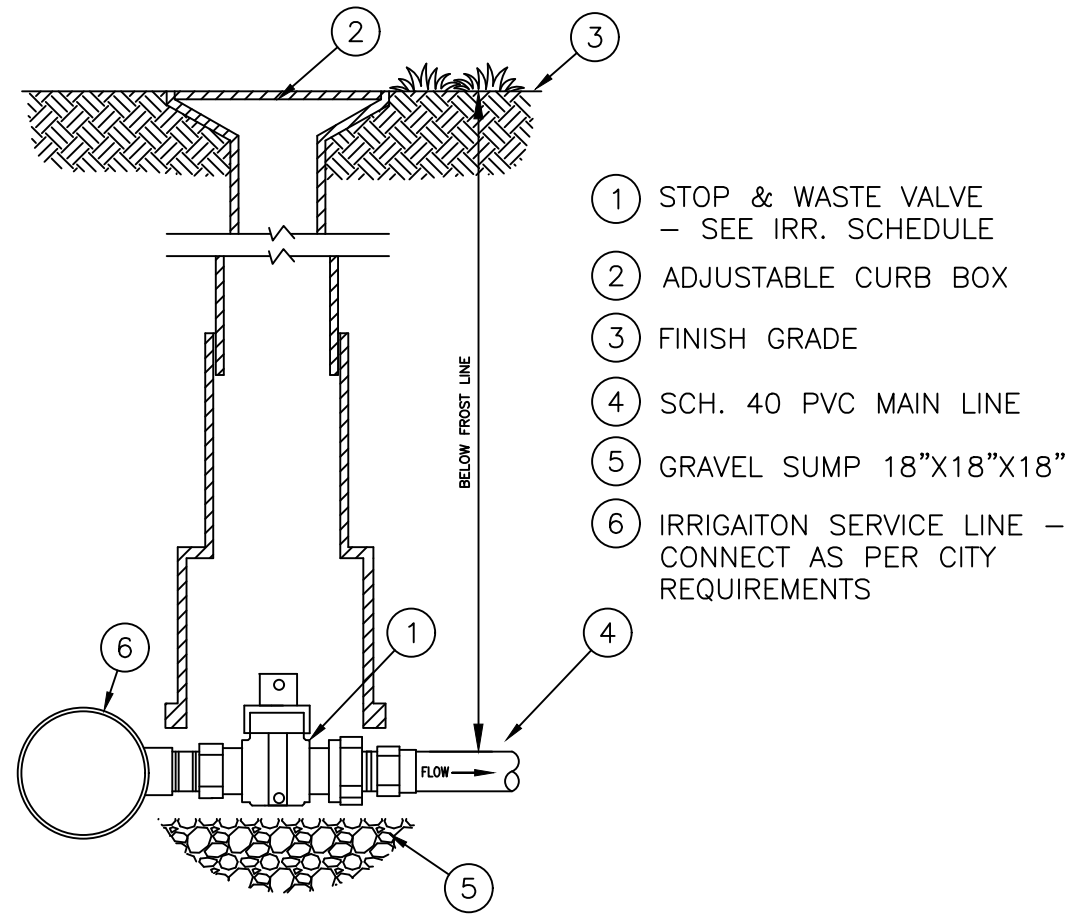
Irrigation Plan

Project Info.
Engineer: NATHAN PETERSON
Drafter: N. PETERSON
Begin Date: NOVEMBER 2021
Name: SKI N SEE SODALICIOUS
Number: 6195-09

11

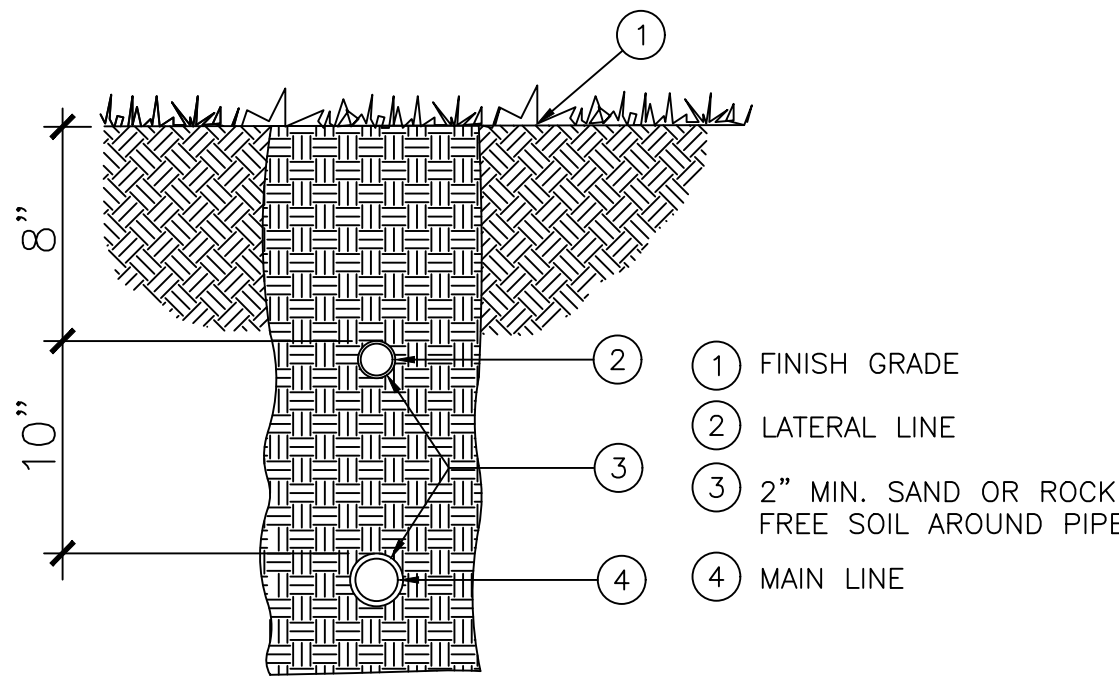
12 Total Sheets

12/22/2021
NATHAN C. PETERSON
STATE OF UTAH



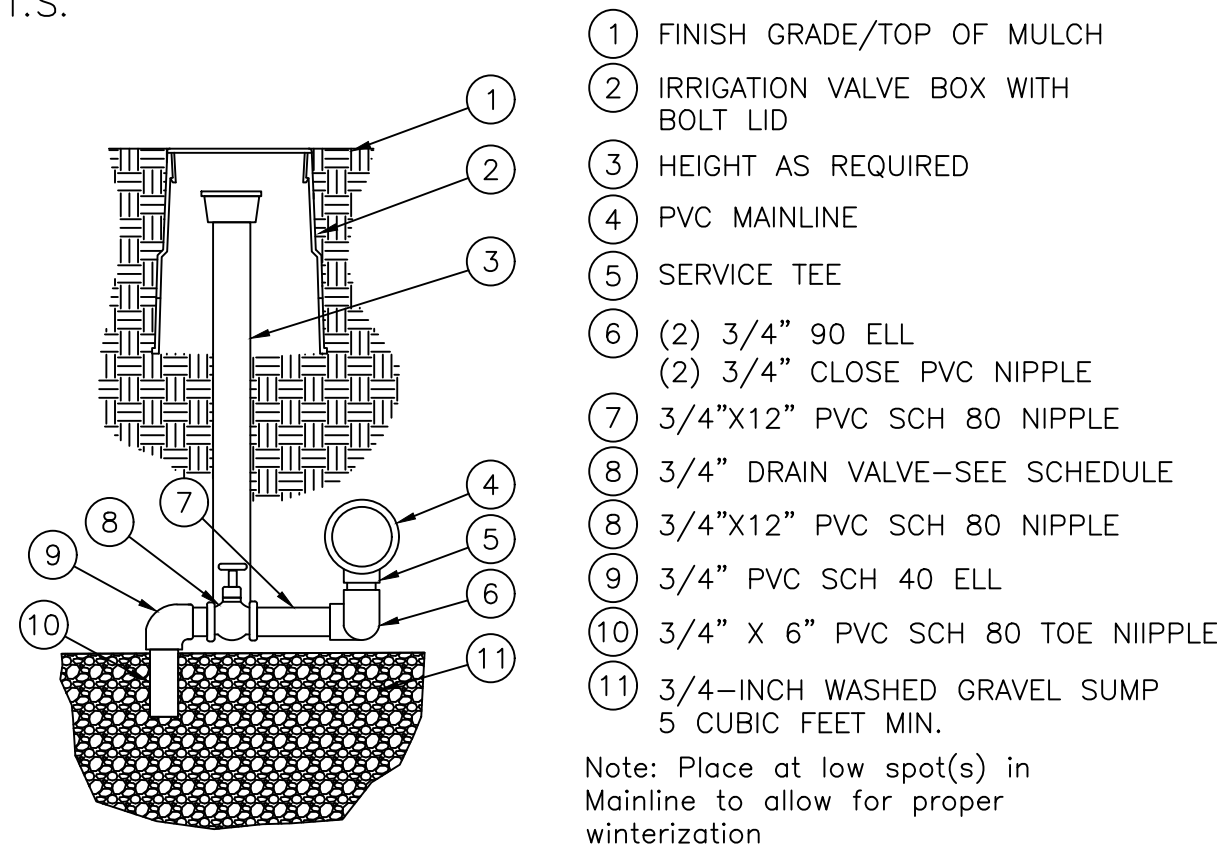
STOP & WASTE ASSEMBLY

N.T.S.



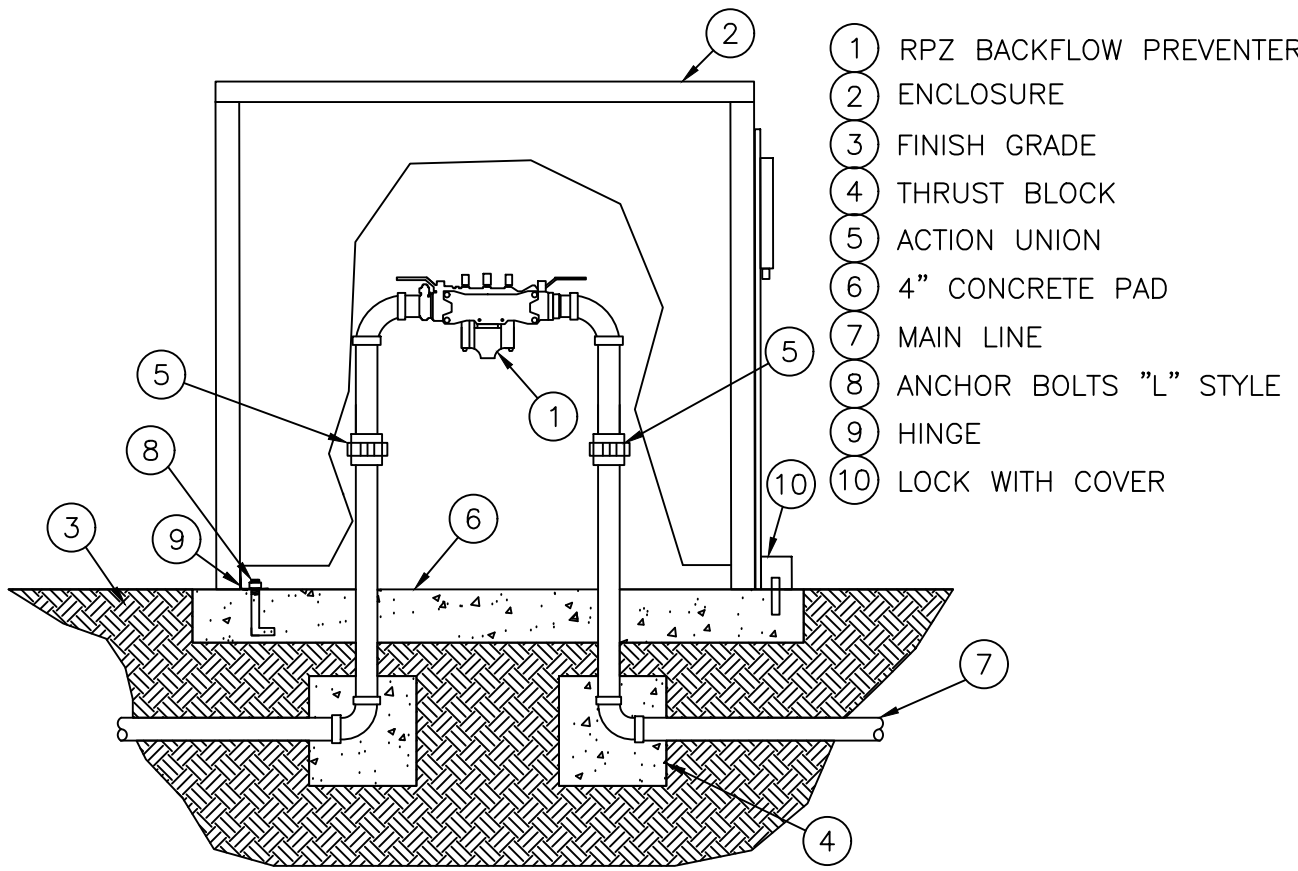
TRENCH SECTION

N.T.S.



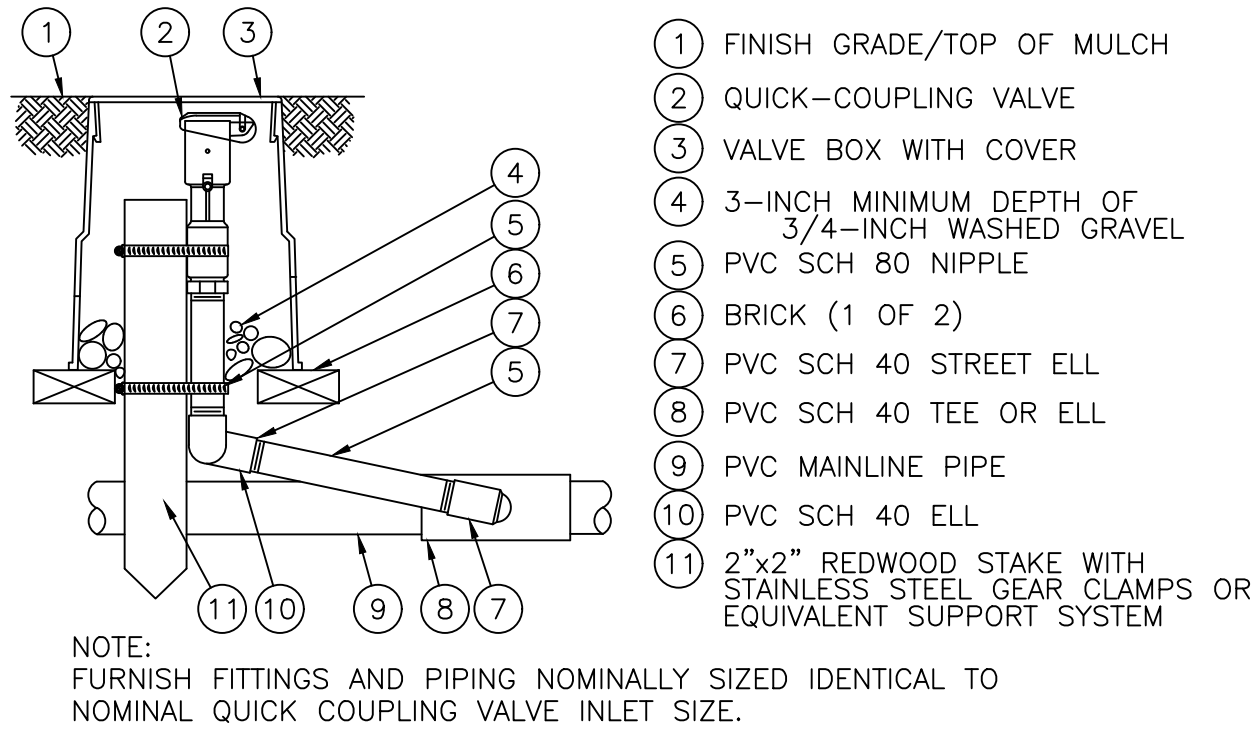
MANUAL DRAIN VALVE

N.T.S.



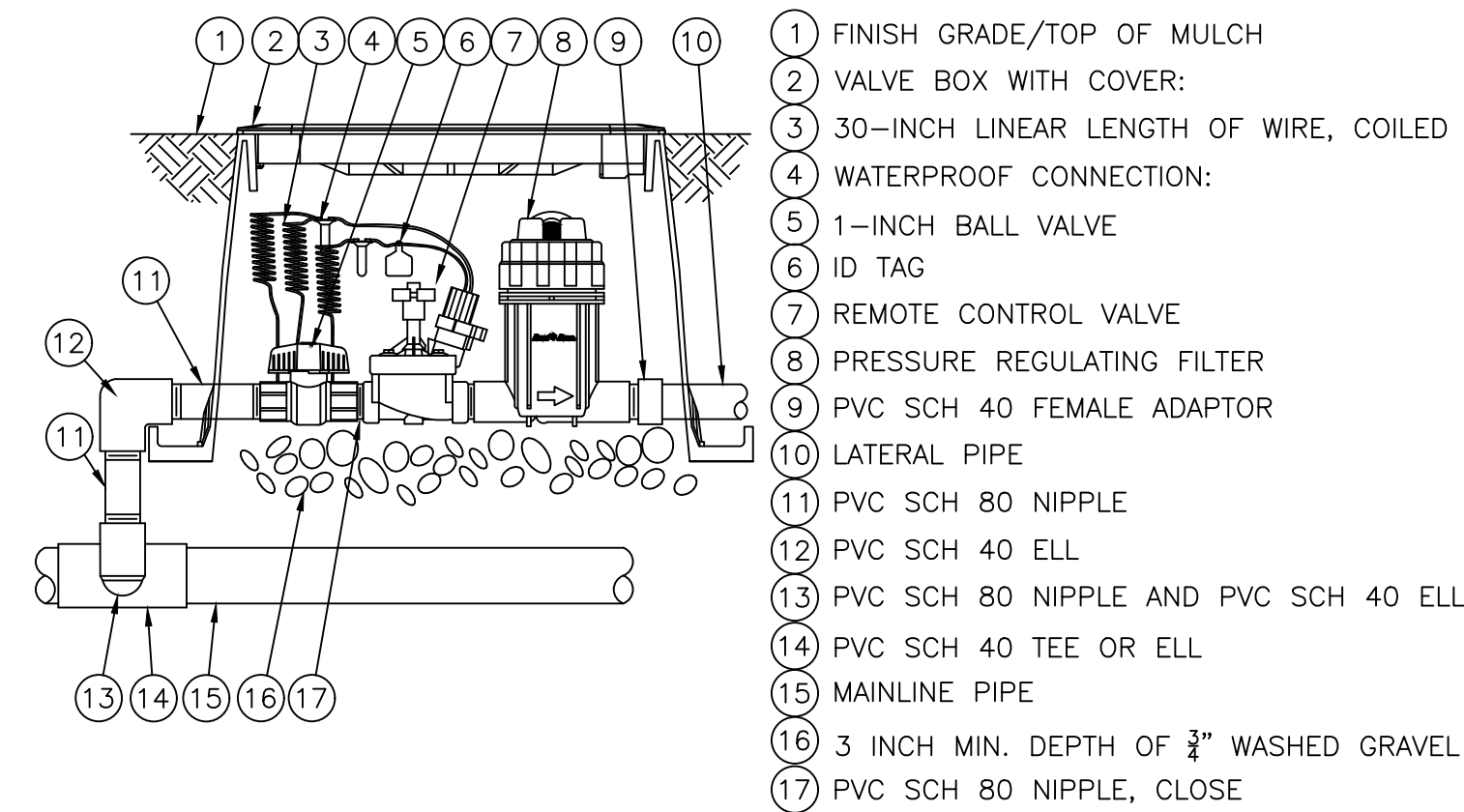
BACKFLOW PREVENTER

N.T.S.



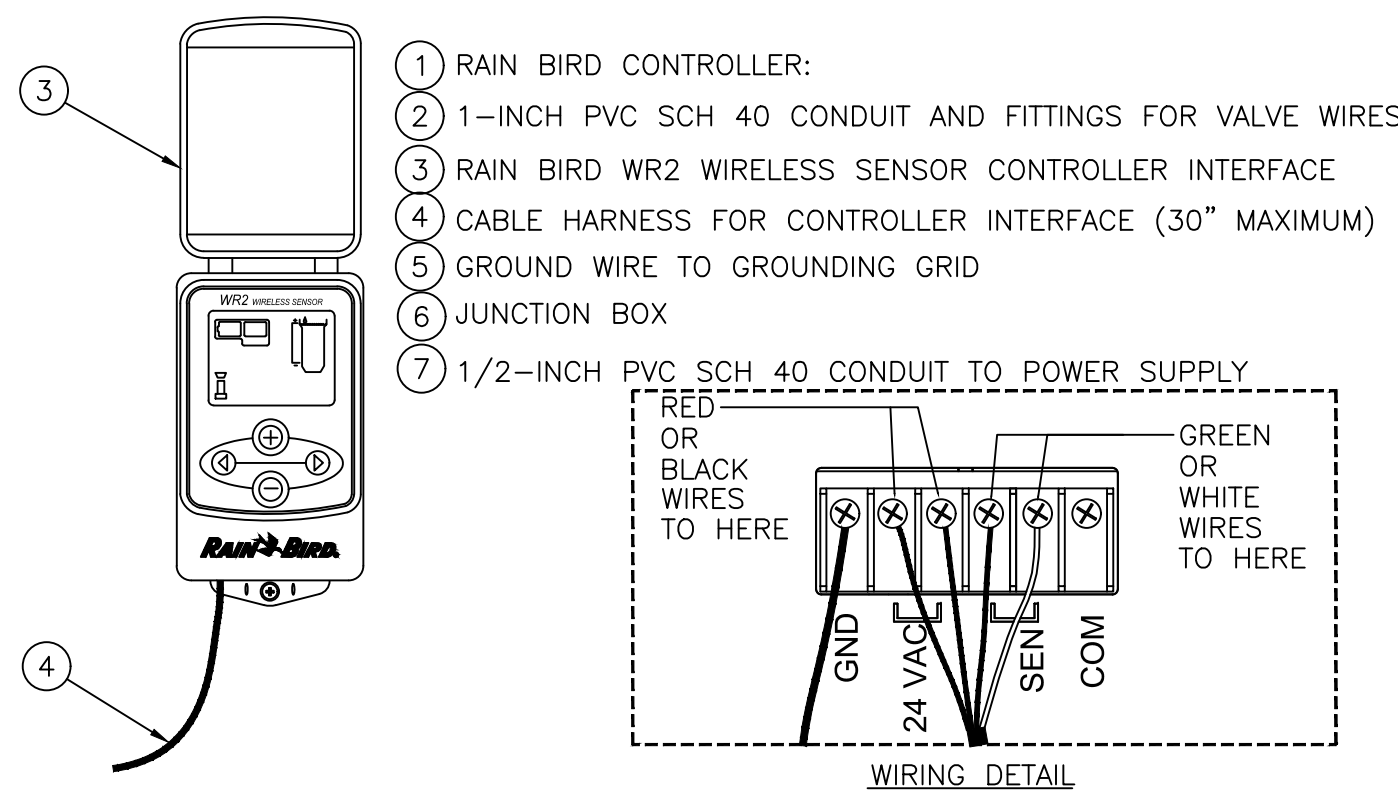
QUICK COUPLING VALVE

N.T.S.



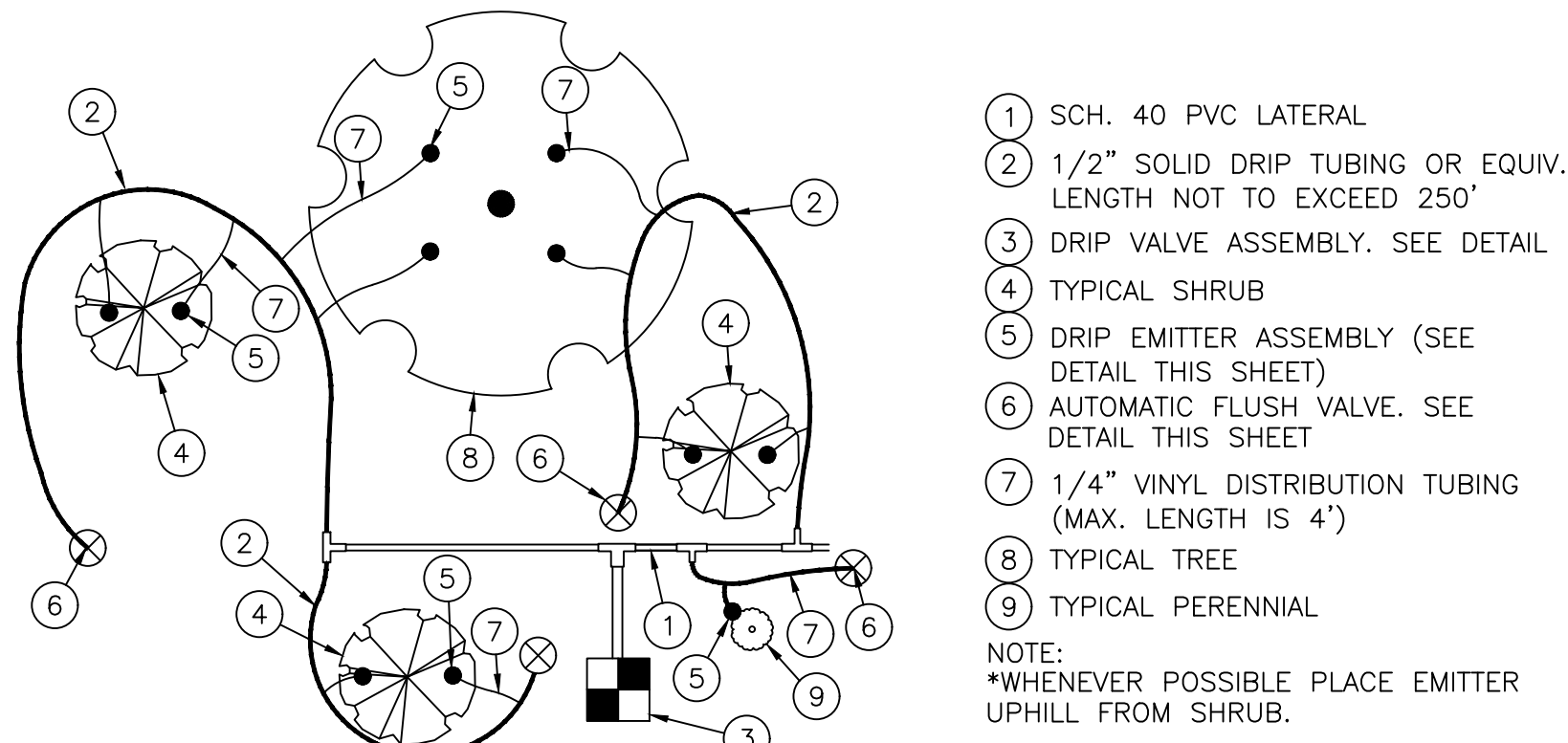
REMOTE CONTROL DRIP VALVE

N.T.S.



WIRELESS RAIN SENSOR

N.T.S.

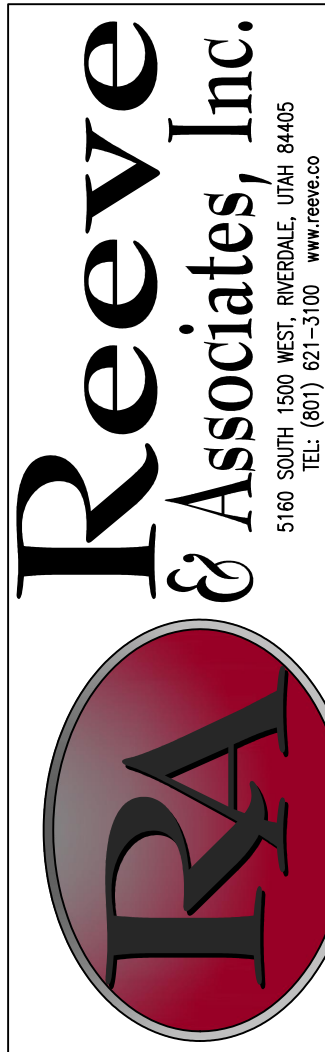


DRIP ZONE LAYOUT

N.T.S.

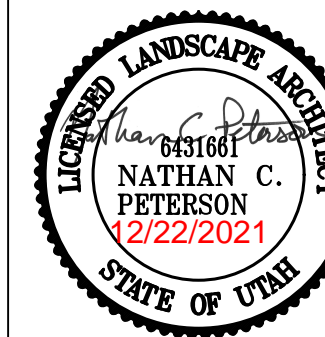
IRRIGATION NOTES

1. This irrigation plan is diagrammatic and equipment locations are approximate. Equipment and piping may be shown outside landscape areas for graphic purposes only.
2. Place sleeves where piping crosses under paved areas prior to being paved. Sleeves shall be twice the diameter of the largest irrigation line to be sleeved.
3. The intention of the Contracting Officer's rep and consultant is to have constructed, under the construction contract, a complete project ready for use. The general contractor and his sub-contractors should view these documents accordingly. Any apparent question, incomplete area, areas of discrepancy or contradiction in these documents should be brought to the attention of the Contracting Officer's rep prior to bidding. By submitting a bid on this project, the bidder certifies that he has fully informed himself of the requirements of the construction drawings, as they relate to his work, and has read and understands the notes and specifications. Also, that any questions, incomplete areas, discrepancies or contradictions have been brought to the attention of the Contracting Officer's rep and that they have been resolved.
4. Willful installation of this work when it is obvious there exists job/site conditions or discrepancies on the plans that are detrimental to the project and that should be brought to the attention of the Contracting Officer's rep will be back-charged to the installer. The installer assumes full responsibility to correct the work at his own expense if he fails to give the required notification for resolution.
5. Existing landscape outside the limits of disturbance shall be protected and repaired, if damaged, at no additional cost to the owner.
6. Refer to irrigation schedule and details for more information.
7. Hand trenching only shall occur within the drip line of existing trees. Machine trenching is strictly prohibited.
8. Consult with General Contractor, in conjunction with the design team, before cutting through tree roots 2" or larger.
9. Spray, rotor and rotary heads are intended to provide head to head coverage with minimal over-spray onto non-irrigated areas.
10. Quantities provided are for convenience only. The contractor is required to verify quantities and adjust bid and construction accordingly. If major discrepancies exist, notify Contracting Officer's rep immediately.
11. Water pressure shall be verified on site by landscape contractor.
12. See Irrigation schedule for lateral line sizing, typical for all irrigated areas.



REVISIONS	DESCRIPTION
DATE	

Ski N See & Sodalicious
SOUTH WEBER CITY, DAVIS COUNTY, UTAH
Irrigation Details



Project Info.
Engineer: NATHAN PETERSON
Drafter: N. PETERSON
Begin Date: NOVEMBER 2021
Name: SKI N SEE SODALICIOUS
Number: 6195-09

E 3370843 B 7736 P 3250-3259
DAVIS COUNTY, UTAH RECORDER
04/12/2021 03:15 PM
RFF \$40.00 Pgs: 10
REC'D FOR MURRAY FAMILY HO
LDINGS LLC

13-353-0001
0002.0003

EASEMENT AND MAINTENANCE AGREEMENT

This Easement and Maintenance Agreement (the "**Agreement**") is established by Murray Family Holdings, LLC, a Utah Limited Liability Company, whose mailing address is Post Office Box 1303, Centerville, Utah, 84014 ("**Murray**").

W I T N E S S E T H:

WHEREAS, Murray owns certain real property known as the South Weber Drive Commercial Subdivision, and all Amendments thereto, in South Weber City, County of Davis, State of Utah (the "**Property**"), more particularly described in attached Exhibit A;

WHEREAS, Murray desires to grant to current and subsequent owners of the Property, but only those current or subsequent owners whose property is contiguous to the circulation easements described below, certain non-exclusive easements of access for ingress, egress and circulation.

WHEREAS, Murray desires to establish an easement for a private sewer line for those current or subsequent owners whose property is contiguous to the sewer easement, and an agreement and mechanism for the maintenance of a private sewer line.

NOW, THEREFORE, for the benefit of current and subsequent fee owners, Murray hereby adopts and establishes the following covenants and easements which shall be applicable to the Property ("**Property**"):

1. **Murray Grant of Access Easement.** Murray hereby grants, and establishes a non-exclusive, perpetual, free and unobstructed easement in and on the property described on Schedule 1 (the "**Circulation Easement Area**") for ingress, egress and circulation of vehicular and pedestrian traffic to and from South Weber Drive for parcels contiguous to the Circulation Easement Area.

2. **Murray Grant of Sewer Line Easement.** Murray hereby grants, and establishes an easement in and on the property described on Schedule 2 (the "**Sewer Easement Area**") for a private sewer line which shall serve contiguous parcels.

3. **Agreements With Respect to Circulation Easement.** Murray and all subsequent fee owners of all or any portion of the Property (hereinafter collectively referred to as "**Owners**" and individually referred to as "**Owner**") agree that the following terms and provisions shall govern the Owners' use of the easement (the "**Circulation Easement**") granted in Paragraph 1.

3.1 **No Barriers or Interference.** No Owner shall construct or place any fences, barriers or other obstacles which would prevent or obstruct the passage of pedestrian or vehicular travel within or across the Circulation Easement Area, excepting therefrom the installation of highback curbing in certain areas intended to direct the flow of vehicles within the easement areas. The foregoing provisions shall not prohibit the temporary erection of a barricade by an Owner which

is reasonably necessary for the construction, repair or maintenance of the Easement Area; provided however, that any such work shall be conducted in a manner calculated to cause the least interference to the use of the Easement Area as is reasonably possible.

3.2 Use of Easements. Subject to the limitations contained herein, Owners may authorize their respective tenants and invitees (including, without limitation, employees, customers, agents and invitees of such tenants) to use the Easement Area for the purposes and subject to the limitations stated herein. The Easements and rights herein conveyed are private easements and are not for the use or benefit of the general public. Nothing herein contained shall be construed or deemed to be a dedication of any easements to, or for the use of, the general public.

3.3 Improvement and Maintenance of Circulation Easement. Each property owner shall install pavement and required curbing on their respective tracts and each shall maintain the pavement and curbing within their respective Tract in a good condition and repair.

3.4 Parking Rights. Murray does not intend by this instrument to create any parking easements or parking rights for subsequent fee owners beyond the boundaries of that fee owner's parcel.

4. Agreements With Respect to Sewer Easement. Murray and all Owners agree that the following terms and provisions shall govern the Owners' use of the easement (the "**Sewer Easement**") granted in Paragraph 2.

4.1 Use of Easements. Subject to the limitations contained herein, Owners whose property is contiguous to the Sewer Easement may connect their buildings to the private sewer line and authorize their respective tenants to use the sewer line for the purposes and subject to the limitations stated herein. Owners or their tenants may use the sewer line as directed and allowed by the Central Weber Sewer Improvement District (the "**Sewer District**") and subject to any filtration requirements imposed by the Sewer District. No Owner or its tenant may discharge materials inconsistent with Sewer District guidelines or materials that are hazardous or toxic as determined by State of Utah or Federal guidelines or statutes. The Easements and rights herein conveyed are private easements and are not for the use or benefit of the general public. Nothing herein contained shall be construed or deemed to be a dedication of any easements to, or for the use of, the general public.

4.2 Connections and Maintenance of Sewer Line. Each Owner, current or subsequent, with property contiguous to the Sewer Easement may connect to the sewer line, the cost of said connection to be paid by the respective Owner making the connection. The party that elects to maintain and repair the sewer line improvements shall be referred to herein as the "**Maintaining Party**," with the other Party or Parties referred to herein as the "**Reimbursing Party**" or the "**Reimbursing Parties**." Murray shall be the initial Maintaining Party. Accordingly, the Maintaining Party shall maintain and repair the sewer line improvements (collectively, the "**Sewer Line Improvements**"), in accordance with the following terms and conditions:

4.2.1 Sewer Line Improvements. The Maintaining Party shall cause the Sewer Line Improvements to be properly maintained and repaired in a good, clean, safe, orderly, and working condition, and in accordance with this Agreement. The Sewer Line Improvements shall be maintained, repaired or replaced with materials at least equal to the quality of the materials being repaired or replaced so as to maintain the structural and functional integrity of the Sewer Line. However, if any damage is caused to the Sewer Line Improvements by any one Owner, or such Owner's agents, contractors, employees or invitees, during delivery, construction, repair, maintenance, or other use of such area, then such Owner shall pay the cost of repairing such damage, without reimbursement from the other Owners.

4.2.2 Maintenance Costs. The Maintaining Party shall expend only such funds as are reasonably necessary for the Sewer Line Improvements and for the performance of other obligations imposed on the Maintaining Party pursuant to this Agreement (collectively, "**Maintenance Costs**"), and shall promptly pay all such costs when incurred. Except in emergency circumstances, at least thirty (30) days prior to any major work in Sewer Line Improvements the Maintaining Party shall advise the Parties of the scope thereof, and the proposed commencement and completion dates. Further, each party to this Agreement, on behalf of their successors and assigns, hereby grants to the Maintaining Party and its contractors, materialmen and laborers, a temporary license for access and passage over and across any portion of the Property to the extent reasonably necessary to maintain the Sewer Line Improvements as provided in this Section 4.2.

4.2.3 Maintenance Costs Reimbursement. The Reimbursing Parties shall be responsible for an equal share of the Maintenance Costs incurred by the Maintaining Party in fulfilling its duties under this Agreement, depending on the number of Owners connected to the Sewer Line Improvements. As an example only, if there are three Owners connected to the Sewer Line Improvements, the Maintenance Costs will be split equally between all three Owners. Upon completion of any work to the Sewer Line Improvements, the Maintaining Party will present to the Reimbursing Parties the cost of completing such work with detailed invoices and documentation. The Reimbursing Party shall promptly pay the Maintaining Party's requested amount within thirty (30) days of request therefor.

4.2.4 Right to Lien. If any Reimbursing Party fails to pay its share of the Maintenance Costs to the Maintaining Party within the time frames set forth in Section 4.2.3 above, the Maintaining Party shall have an express right to record a lien against the Reimbursing Parties' property to secure payment therefor from such Reimbursing Party.

5. Covenants Run With the Land. The Property shall be held, transferred, improved, sold, conveyed, used and occupied subject to the Easements and restrictions described herein, which Easements and restrictions shall be covenants running with the Property and enforceable against all subsequent Owners of all or any portion thereof.

6. Easements Superior to Financing. The Easements created by this Agreement shall be superior to any deed of trust or other lien against the Property.

7. **Modification.** The provisions of this Agreement may be modified from time to time or terminated at any time by the written agreement of all of the Owners of the Property. No consent to the modification, from time to time, or termination of any or all of the provisions of this Agreement shall ever be required from any persons other than the fee simple Owners of said Property. No consent shall be required of any tenant of the Property, nor shall any such tenant have any right to enforce any provision of this Agreement or any modification hereof.

8. **Term.** The Easements, restrictions, rights, terms and provisions of this Agreement are perpetual. Nonetheless the Easement can be terminated with the written consent of all Owners.

9. **Owner's Liability.** Each Owner shall be liable for the performance of all covenants, obligations and undertakings herein set forth with respect to the portion of the Property owned by it which accrue during the period of its ownership. With respect to the portion of the Property transferred, the transferee Owner shall automatically become liable for all obligations, performance requirements and amounts which arise subsequent to the transfer of ownership.

10. **General Provisions.**

10.1 **Entire Understanding.** This Agreement embodies the entire understanding and agreement between the parties concerning the subject matter hereof, and supersedes any and all prior negotiations, understandings, or agreements in regard thereto.

10.2 **Applicable Law.** This Agreement has been executed and delivered in the State of Utah and will be construed and interpreted according to the laws of Utah.

10.3 **Severability.** The provisions of this Agreement are intended to be severable. If any provision hereof shall be invalid, illegal, or unenforceable, the other provisions hereof shall in no way be impaired thereby.

10.4 **Waiver.** Any waiver as to any of the terms or conditions of this Agreement shall not operate as a future waiver of the same terms and conditions or prevent the future enforcement of any of the terms and conditions hereof.

10.5 **Attorney's Fees.** Should any litigation or arbitration be commenced between the Owners arising out of this Agreement or the transactions contemplated hereby, the party prevailing in such litigation or arbitration shall be entitled, in addition to such other relief as may be granted, to a reasonable sum for its attorney's fees in such litigation or arbitration.

EXECUTED to be effective on this 4th day of February, 2021.

MURRAY FAMILY HOLDINGS, LLC

By: *Dan L Murray*
Dan L Murray
Its: Manager

STATE OF UTAH)

COUNTY OF DAVIS)

This instrument was acknowledged before me on this 4 day of February, 2021, by Dan L Murray, as Manager of MURRAY FAMILY HOLDINGS, LLC, on behalf of said corporation.

Notary's Official Seal:



Michelle Rhodes
NOTARY PUBLIC IN AND FOR
THE STATE OF UTAH



Exhibit A

2-9-2021

**LEGAL DESCRIPTION
SOUTH WEBER CITY, DAVIS COUNTY, UTAH**

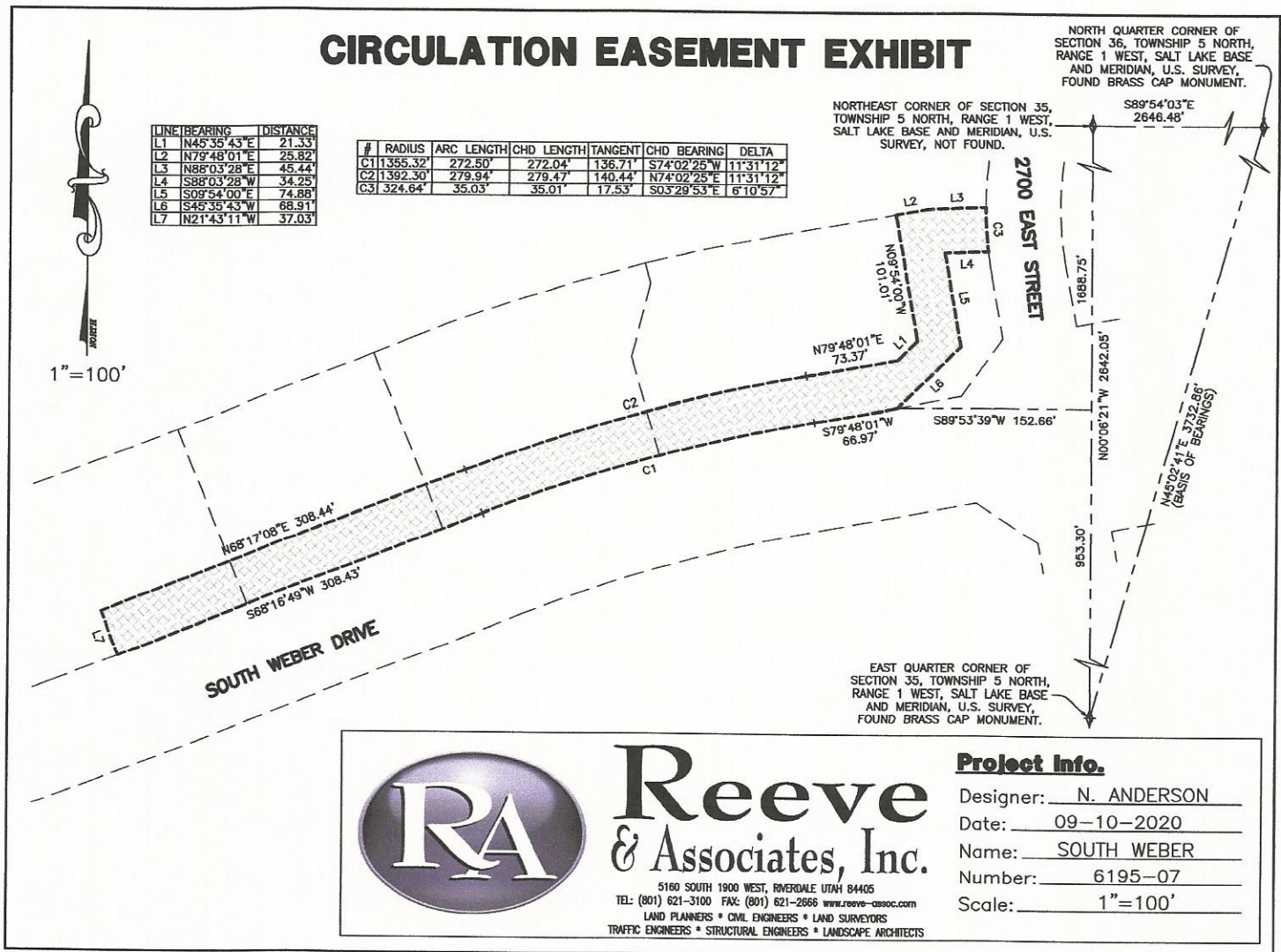
PART OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY RIGHT OF WAY LINE OF 2700 EAST STREET, SAID POINT BEING S00°06'21"E 1530.79 FEET AND S89°53'39"W 83.92 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 35; THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE THE FOLLOWING TWO (2) COURSES: (1) ALONG A NON-TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 324.64 FEET, AN ARC LENGTH OF 55.49 FEET, A DELTA ANGLE OF 09°47'34", A CHORD BEARING OF S05°18'12"E, AND A CHORD LENGTH OF 55.42 FEET; AND (2) S10°11'59"E 49.05 FEET; THENCE S35°23'37"W 56.03 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF SOUTH WEBER DRIVE; THENCE ALONG SAID NORTHERLY RIGHT OF WAY LINE THE FOLLOWING FOUR (4) COURSES: (1) S79°48'01"W 117.57 FEET; (2) ALONG A TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 1355.32 FEET, AN ARC LENGTH OF 272.50 FEET, A DELTA ANGLE OF 11°31'12", A CHORD BEARING OF S74°02'25"W, AND A CHORD LENGTH OF 272.04 FEET; (3) S68°16'49"W 365.12 FEET; AND (4) ALONG A TANGENT CURVE TURNING TO THE RIGHT WITH A RADIUS OF 1269.36 FEET, AN ARC LENGTH OF 454.61 FEET, A DELTA ANGLE OF 20°31'12", A CHORD BEARING OF S78°32'24"W, AND A CHORD LENGTH OF 452.18 FEET; THENCE N00°02'06"W 150.04 FEET; THENCE ALONG A NON-TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 1119.36 FEET, AN ARC LENGTH OF 397.84 FEET, A DELTA ANGLE OF 20°21'50", A CHORD BEARING OF N78°27'43"E, AND A CHORD LENGTH OF 395.75 FEET; THENCE N68°16'49"E 365.12 FEET; THENCE ALONG A TANGENT CURVE TURNING TO THE RIGHT WITH A RADIUS OF 1505.32 FEET, AN ARC LENGTH OF 302.66 FEET, A DELTA ANGLE OF 11°31'12", A CHORD BEARING OF N74°02'25"E, AND A CHORD LENGTH OF 302.15 FEET; THENCE N79°48'01"E 117.36 FEET; THENCE N88°03'28"E 45.44 FEET TO THE POINT OF BEGINNING.

CONTAINING 184,665 SQUARE FEET OR 4.239 ACRES MORE OR LESS.

Schedule 1

Circulation Easement Area





9-10-2020

**CIRCULATION EASEMENT
SOUTH WEBER CITY, DAVIS COUNTY, UTAH**

PART OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF SOUTH WEBER DRIVE, SAID POINT BEING N00°06'21"W 953.30 FEET AND S89°53'39"W 152.66 FEET FROM THE EAST QUARTER CORNER OF SAID SECTION 35; THENCE ALONG THE NORTHERLY RIGHT OF WAY LINE OF SOUTH WEBER DRIVE THE FOLLOWING THREE (3) COURSES: (1) S79°48'01"W 66.97 FEET; (2) ALONG A TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 1355.32 FEET, AN ARC LENGTH OF 272.50 FEET, A DELTA ANGLE OF 11°31'12", A CHORD BEARING OF S74°02'25"W, AND A CHORD LENGTH OF 272.04 FEET; AND (3) S68°16'49"W 308.43 FEET; THENCE N21°43'11"W 37.03 FEET; THENCE N68°17'08"E 308.44 FEET; THENCE ALONG A TANGENT CURVE TURNING TO THE RIGHT WITH A RADIUS OF 1392.30 FEET, AN ARC LENGTH OF 279.94 FEET, A DELTA ANGLE OF 11°31'12", A CHORD BEARING OF N74°02'25"E, AND A CHORD LENGTH OF 279.47 FEET; THENCE N79°48'01"E 73.37 FEET; THENCE N45°35'43"E 21.33 FEET; THENCE N09°54'00"W 101.01 FEET; THENCE N79°48'01"E 25.82 FEET; THENCE N88°03'28"E 45.44 FEET TO THE WESTERLY RIGHT OF WAY LINE OF 2700 EAST STREET; THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE ALONG A NON-TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 324.64 FEET, AN ARC LENGTH OF 35.03 FEET, A DELTA ANGLE OF 06°10'57", A CHORD BEARING OF S03°29'53"E, AND A CHORD LENGTH OF 35.01 FEET; THENCE S88°03'28"W 34.25 FEET; THENCE S09°54'00"E 74.88 FEET; THENCE S45°35'43"W 68.91 FEET TO THE POINT OF BEGINNING.

CONTAINING 30,207 SQUARE FEET OR 0.693 ACRES MORE OR LESS.



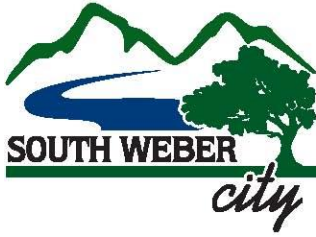
9-10-2020

**10' WIDE SEWER EASEMENT
SOUTH WEBER CITY, DAVIS COUNTY, UTAH**

PART OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF SOUTH WEBER DRIVE, SAID POINT BEING N00°06'21"W 785.15 FEET AND S89°53'39"W 687.47 FEET FROM THE EAST QUARTER CORNER OF SAID SECTION 35 (SAID EAST QUARTER CORNER BEING S45°02'41"W 3732.86 FEET FROM THE NORTH QUARTER CORNER OF SECTION 36); THENCE S68°16'49"W ALONG THE NORTHERLY RIGHT OF WAY LINE, 10.01 FEET; THENCE N19°27'40"W 130.10 FEET; THENCE N68°16'49"E 305.68 FEET; THENCE N71°43'26"E 139.58 FEET; THENCE S19°15'32"E 10.00 FEET; THENCE S71°43'26"W 139.45 FEET; THENCE S68°16'49"W 295.77 FEET; THENCE S19°27'40"E 120.09 FEET TO THE POINT OF BEGINNING.

CONTAINING 5,659 SQUARE FEET OR 0.130 ACRES MORE OR LESS.



Agenda Item Introduction

Planning Commission Meeting Date:

Name: APPROVED Alpha Coffee Site Plan

Agenda Item: 5a

Background: This is the APPROVED Site Plan for Alpha Coffee. This was approved by the PC on 2/13/2020. The Subdivision this is part of was approved by the CC on 3/10/2020 (South Weber Drive Commercial 1st Amendment)

Summary:

Originally Dan Murray intended to sell this parcel to Alpha Coffee, but due to COVID they were unable to complete the transaction. He now is requesting an amendment to the approved site plan for a new but comparable project. Dan will be doing a build to suit (this property will stay in Dan's name) to accommodate a drive through drink shop (sodalicious) and a retail shop (Ski & See).

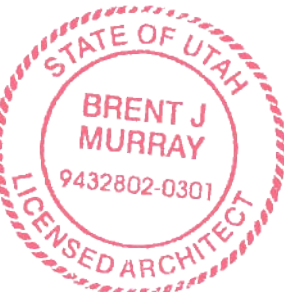












Brent Murray

IF THESE PLANS DO NOT BEAR THE SEAL OF A REGISTRANT, THEY ARE TO BE CONSIDERED "PRELIMINARY" AND ARE NOT TO BE USED FOR CONSTRUCTION OR RECORDING. THESE PLANS ARE COPYRIGHTED UNDER SEC. 103 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED, DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990.

CONSULTANTS

ALPHA COFFEE

APPX. 2500 E SOUTH WEBER DRIVE, SOUTH WEBER UT, 84405

CITY REVIEW

#	DATE	DESCRIPTION
ISSUE:		7.1.19
PROJECT NO:		18065
DRAWN BY:		BJM
CHECKED BY:		TA

SITE PLAN

A100

SITE DATA

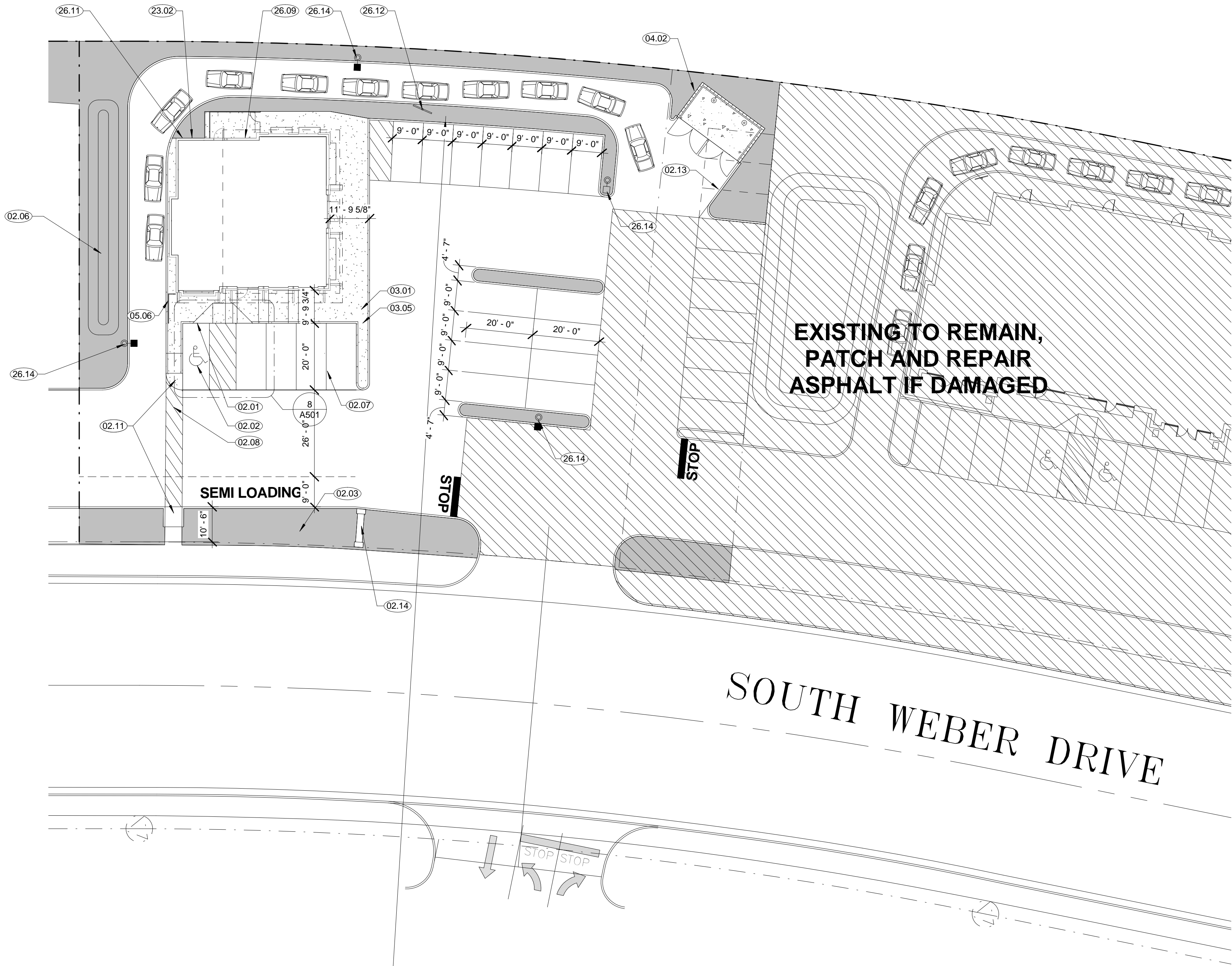
SITE AREA: 25,496 SF (0.59 ACRES)
LANDSCAPING: 4,424 SF (17.4% OF SITE)
BUILDING: 2,112 SF (87 SEATS, 10 OF WHICH ARE OUTDOORS)
PARKING: 20 STALLS (17 REQUIRED), INCLUDING 1 VAN ACCESSIBLE ADA STALL

GENERAL NOTES

- SEE CIVIL DRAWINGS FOR:
1. UTILITY CONNECTIONS TO THE BUILDING
 2. GRADING / DRAINAGE PLANS.
 3. RETAINING WALLS.
 4. ALL SITE CONCRETE AND REQUIRED REINFORCING AND ASPHALT REQUIREMENTS.

REFERENCE NOTES

- 02.01 ACCESSIBLE PARKING STALL SIGNAGE, POLE MOUNTED. TYP. SEE DETAIL 9/A-601.
- 02.02 ACCESSIBLE SYMBOL PAINTED ON PAVEMENT, SEE DETAIL 8/A-601.
- 02.03 LIGHT HATCH REPRESENTS LANDSCAPE AREA, SEE LANDSCAPE PLAN FOR SPECIFIC PLANTING AND SOIL REQUIREMENTS.
- 02.06 DETENTION AREA WITH ROCK RETAINING, SEE CIVIL PLAN.
- 02.07 PAINT PARKING STALL STRIPING AND DIRECTIONAL ARROWS AS SHOWN.
- 02.08 STRIPE CROSS WALK ACROSS DRIVEWAY, TO DISTINGUISH ACCESSIBLE PATH, SEE CIVIL GRADING PLANS.
- 02.11 CONCRETE CURB RAMP.
- 02.13 EXISTING PARKING STALLS TO BE REMOVED FOR TRASH ENCLOSURE. SEE CIVIL DRAWINGS.
- 02.14 TENANT MONUMENT SIGN, PROVIDE POWER PER ELECTRICAL DRAWINGS. SIGN PER SEPARATE PERMIT.
- 03.01 SLOPE SIDEWALKS AWAY FROM BUILDING ALL AROUND, TYPICAL. MAX. 1/4" PER FOOT IN FRONT OF EXIT DOORS. SEE CIVIL DRAWINGS FOR CONTINUATION OF SIDEWALKS.
- 03.05 NATURAL COLORED CONCRETE SIDEWALK WITH INTEGRAL CURB WALL. ALL CONTROL JOINTS (CJ) AND EXPANSION JOINTS (EJ) SHALL BE HAND TOOLED. JOINTS SHALL BE ALIGNED WITH ARCHITECTURAL FEATURES. SPACING SHALL NOT BE LESS THAN 2'-8" OR GREATER THAN 6'-0". IN A FIELD OF SIDEWALK WITHOUT ARCHITECTURAL FEATURES, JOINTS SHALL BE EVENLY SPACED. EVERY FOURTH JOINT SHALL BE AN EXPANSION JOINT. SEE ARCH SITE PLAN.
- 05.06 STEEL FLAT BAR RAILING, OPENINGS TO NOT ALLOW A 4" SPHERE TO PASS THROUGH, PAINTED.
- 23.02 GAS METER LOCATION, SEE MECH.
- 26.09 ELECTRICAL METERING LOCATION, SEE ELECTRICAL.
- 26.11 TELEPHONE D-MARK LOCATION, SEE ELEC.
- 26.12 MENU BOARD/SPEAKER POST LOCATION, SEE ELECTRICAL. COORDINATE CONDUIT RUNS INTO THE BUILDING WITH TENANT AND TENANT IMPROVEMENT CONTRACTOR.
- 26.14 LIGHT POLE, SEE ELECTIRCAL SITE PLAN.



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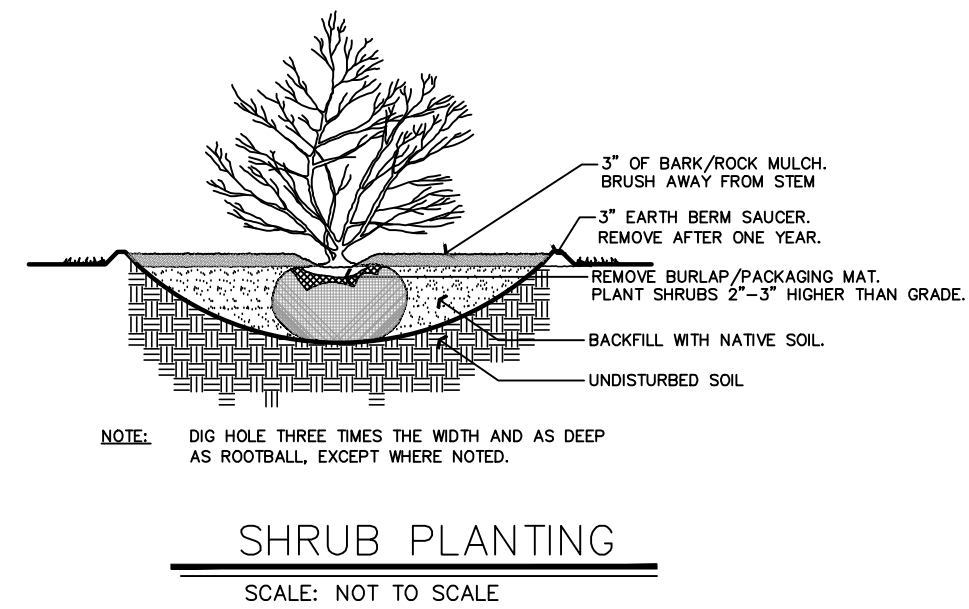
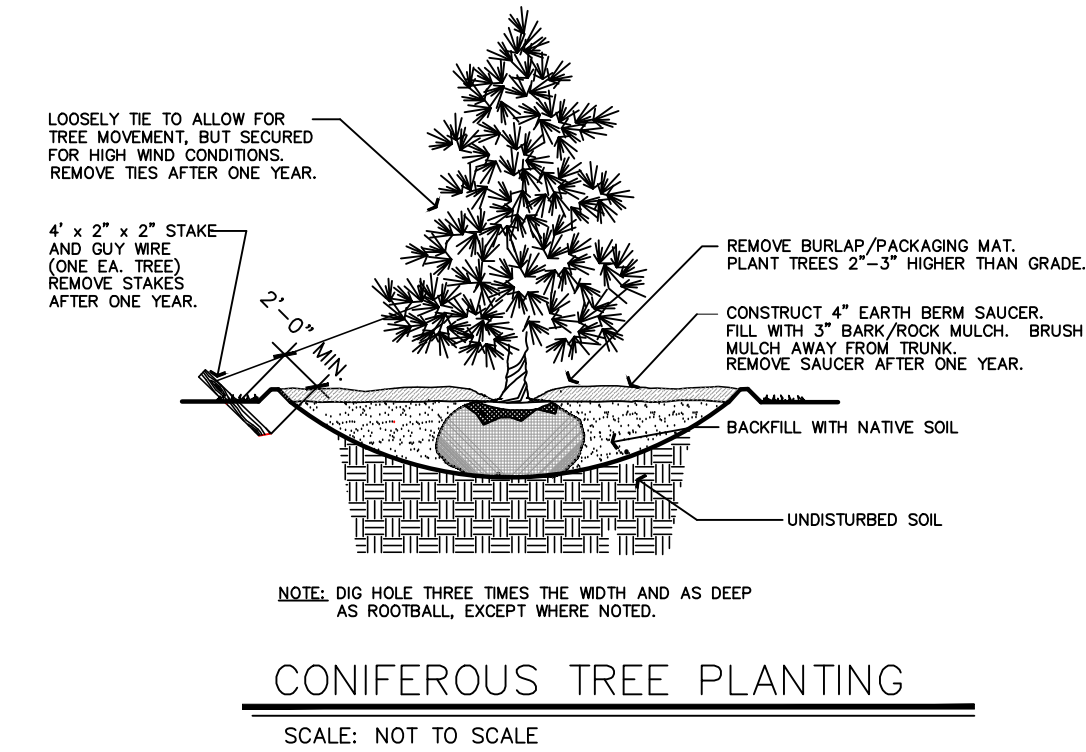
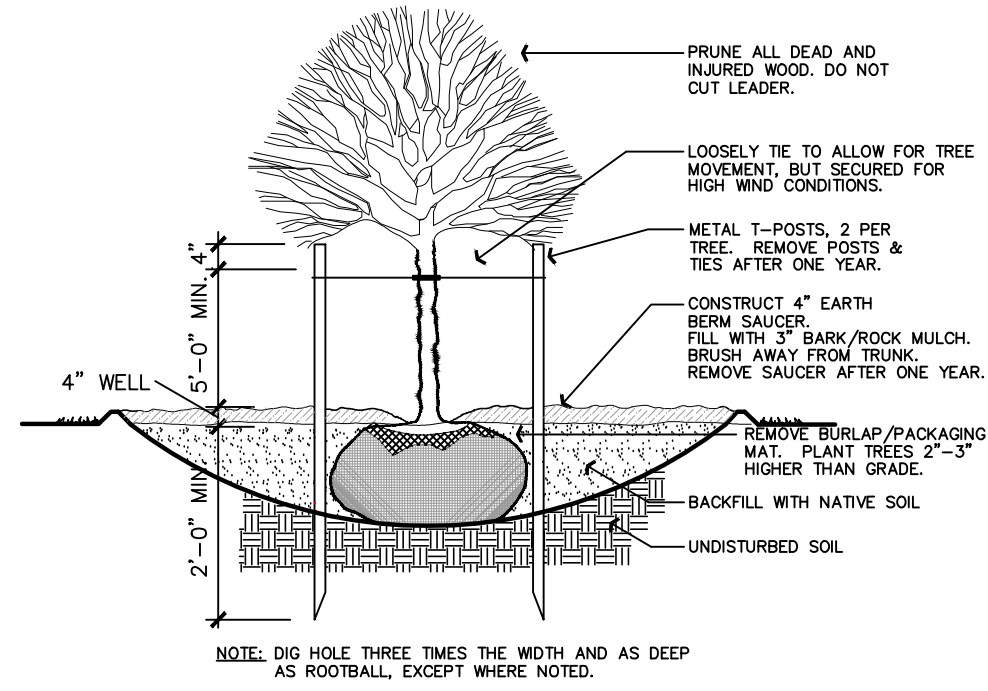
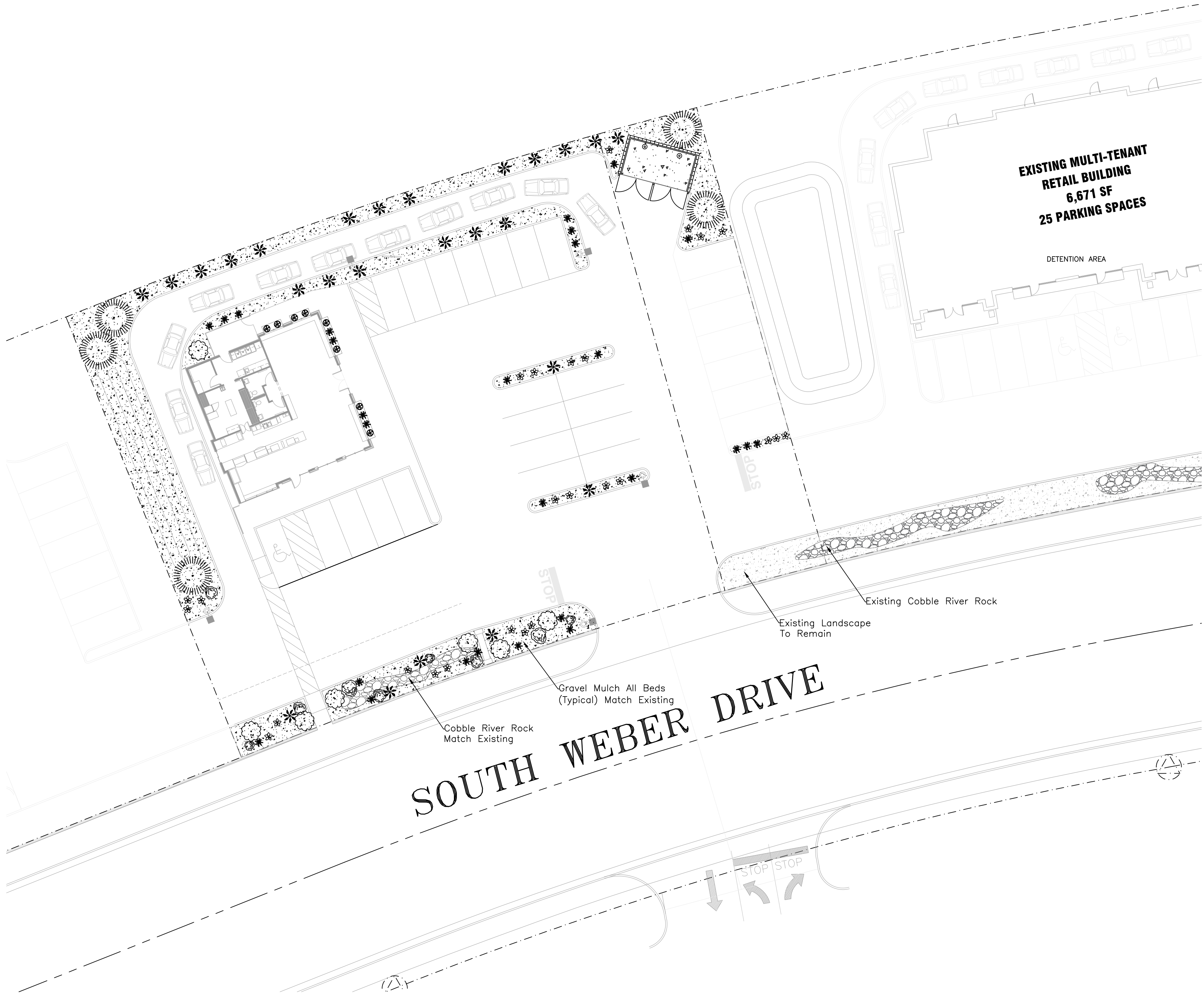
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A100

SITE PLAN

scale: 1" = 20'-0"

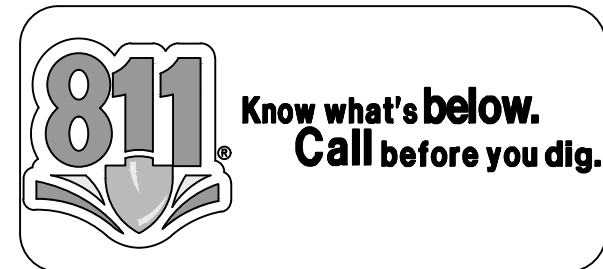
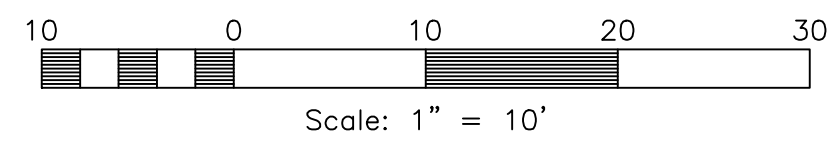
1/7/2019 | npeterson | G:\South Weber\Dan Murray\Alpha Coffee - Landscape.dwg Reeve & Associates, Inc. - Solutions You Can Build On



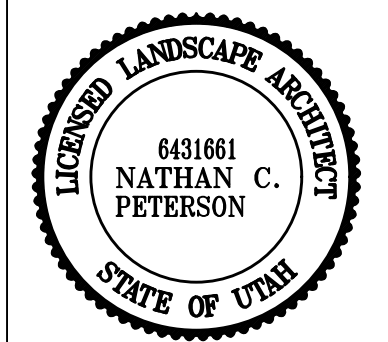
Plant Table

TREES				
Quantity	Symbol	Scientific Name	Common Name	Planting Size
5		Pinus heldrichii 'Leucodermis'	Bosnian Pine	6' B&B
SHRUBS				
Quantity	Symbol	Scientific Name	Common Name	Planting Size
7		Rhus aromatica 'Gro-Low'	Gro-Low Sumac	5 gal.
PERENNIALS				
Quantity	Symbol	Scientific Name	Common Name	Planting Size
25		Calamagrostis 'Karl Foerster'	Karl Foerster Grass	5 gal.
27		Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	1 gal.
26		Sedum 'Autumn Joy'	Autumn Joy Sedum	1 gal.
8		Bergenia cordifolia	Heart Leaved Bergenia	1 gal.

- Decorative Boulders
- 3"-6" Cobble river rock mulch over Dewitt Pro 5 Weed Barrier Cloth, or equal. Fill spaces between cobble with pea gravel.
- 3" Layer of 1" crushed rock mulch over Dewitt Pro 5 Weed Barrier Cloth, or equal.
- NOTE: All crushed rock and cobble rock colors/styles shall be chosen be owner.



REVISIONS	DESCRIPTION
DATE	

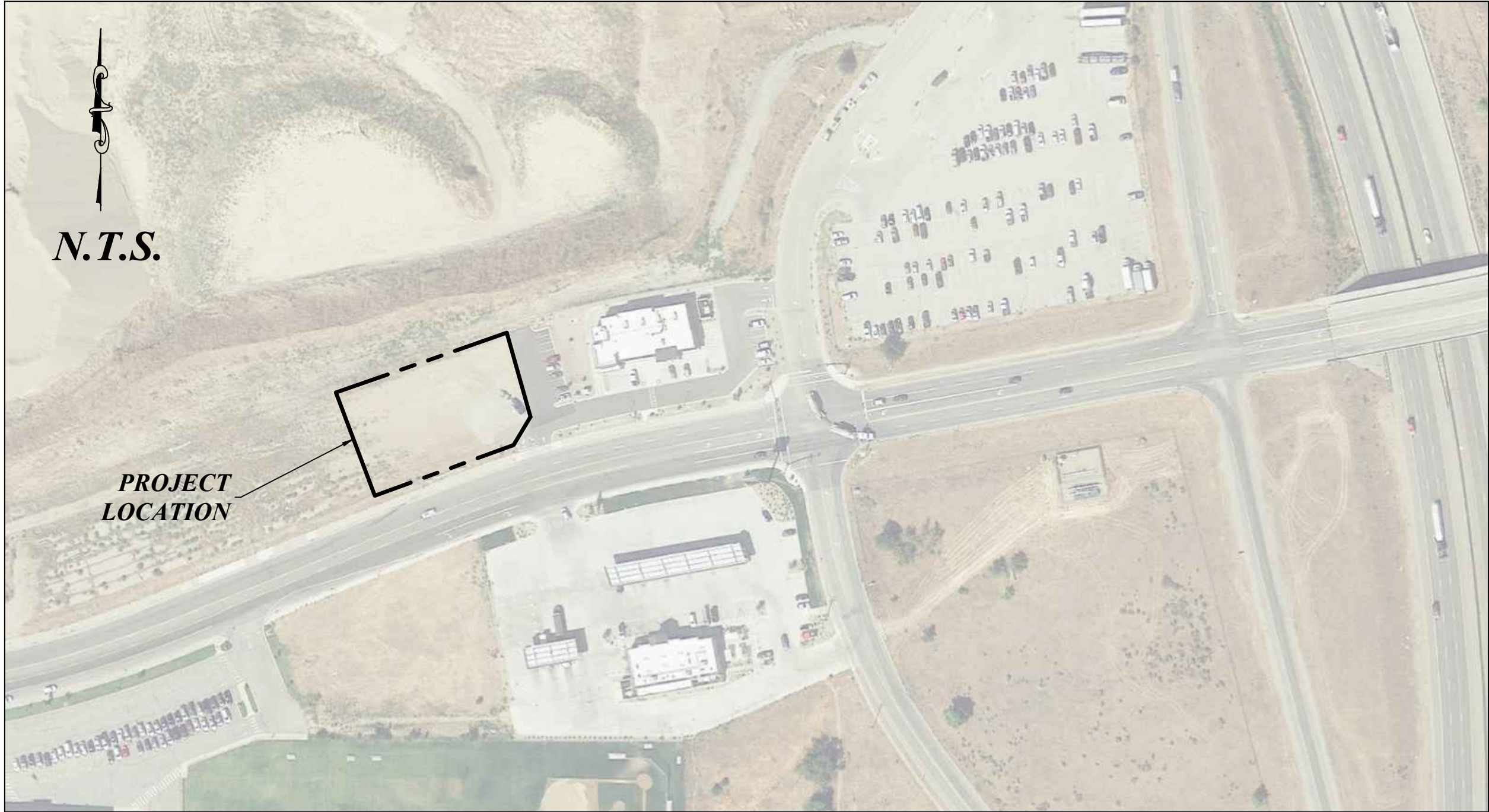


Project Info.
Landscape Architect: Nathan Peterson
Drafter: N. Peterson
Begin Date: FEBRUARY 2019
Name: Alpha Coffee Shop
Number: 6195-05

SOUTH WEBER COFFEE SHOP

2500 E SOUTH WEBER DRIVE
PARCELS LOCATED IN THE NW 1/4 OF SECTION 36, T.5N., R.1W., S.L.B.&M.
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

VICINITY MAP



DRAWING INDEX

C000	COVER
C100	NOTES AND LEGEND
C200	TOPOGRAPHIC PLAN
C400	SITE PLAN
C500	GRADING PLAN
C600	UTILITY PLAN
C900	SITE DETAILS
EC100	EROSION CONTROL PLAN
TOTAL SHEETS	8

GENERAL NOTES

- 1) ALL WORK WITHIN A PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.
- 2) ALL UTILITY WORK SHALL CONFORM TO THE UTILITY OWNER'S STANDARDS & SPECIFICATIONS.
- 3) THESE PLANS DO NOT INCLUDE DESIGN OF DRY UTILITIES. THESE PLANS MAY CALL FOR RELOCATION, AND/OR REMOVAL AND/OR CONSTRUCTION OF DRY UTILITIES, BUT ARE NOT OFFICIAL DRAWINGS FOR SUCH. DESIGN AND COORDINATION OF DRY UTILITIES IS BY OTHERS.
- 4) THE CONTRACTOR SHALL COORDINATE AND OBTAIN ANY PERMITS REQUIRED FOR THE WORK SHOWN HEREON.
- 5) THE LOCATION AND ELEVATIONS OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS IS A BEST ESTIMATE BASED ON UTILITY COMPANY RECORDS, BLUESTAKES, AND FIELD MEASUREMENTS OF READILY OBSERVABLE ABOVE-GROUND FEATURES. AS SUCH, THIS INFORMATION MAY NOT BE COMPLETE, UP-TO-DATE, OR ACCURATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STOP WORK AND NOTIFY THE ENGINEER IF CONFLICTING INFORMATION IS FOUND IN THE FIELD.
- 6) THE CONTRACTOR IS TO FIELD VERIFY THE LOCATION AND ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES PRIOR TO STAKING AND CONSTRUCTION.
- 7) CALL BLUESTAKES AT LEAST 48 HOURS PRIOR TO DIGGING. DO NOT PROCEED UNTIL BLUESTAKES ARE MARKED.
- 8) IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO MEET ALL APPLICABLE HEALTH AND SAFETY REGULATIONS, AND SHALL ASSUME SOLE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING CONSTRUCTION OF THIS PROJECT, SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK, AND THE PUBLIC IS PROTECTED..



PRELIMINARY
NOT FOR CONSTRUCTION

COVER		REV.	BY	DATE
		1	INIT	DATE
DRAWN:				
DJH	3/5/19			
APPROVED:				
STA	3/5/19			
PROJECT:				
1074004				
DWG:	PROD 1074004.dwg			

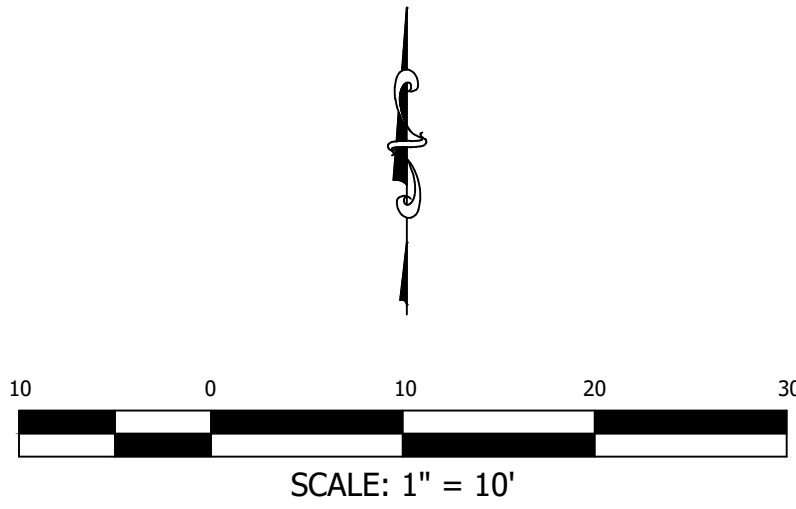
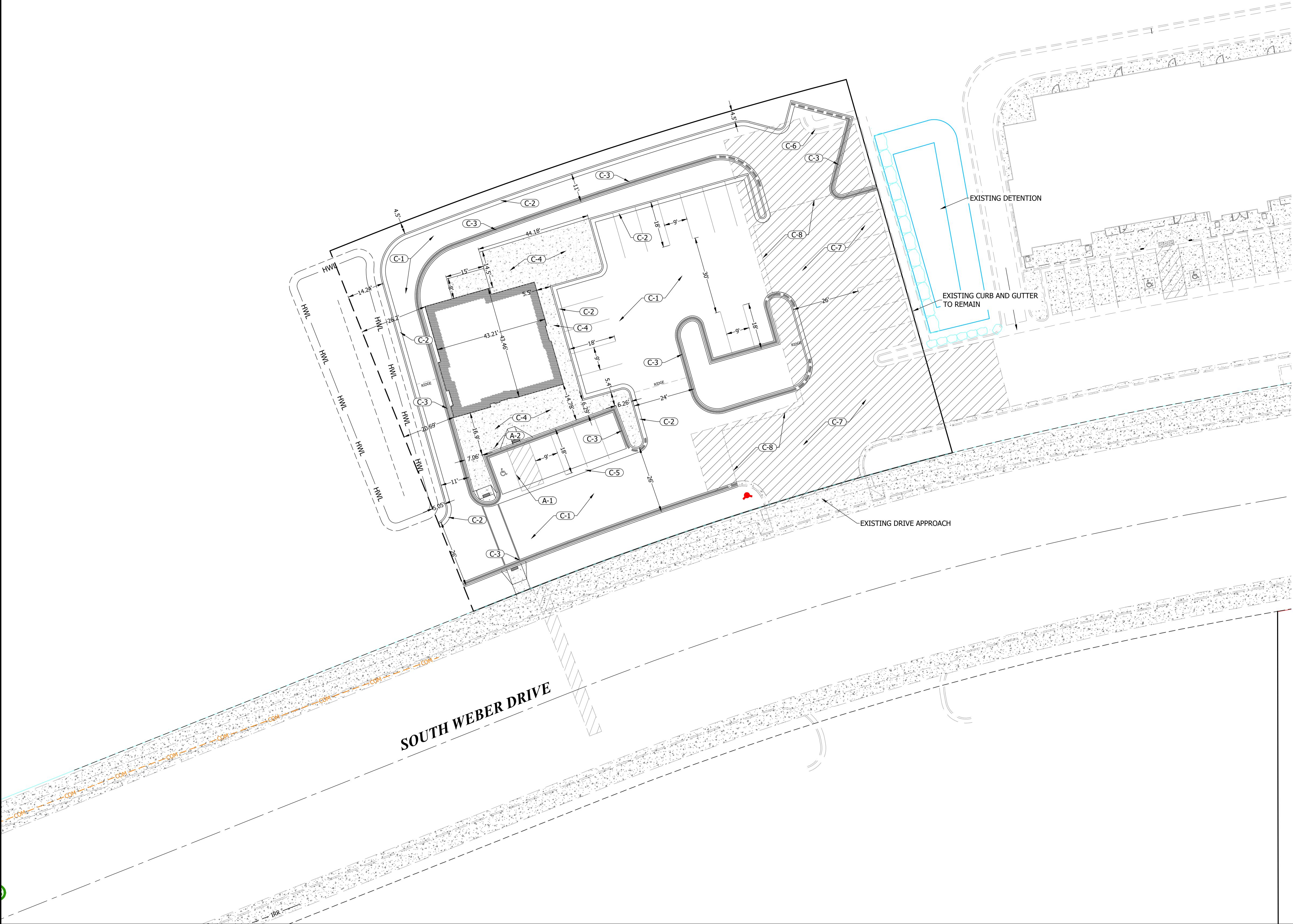
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Entellus™

1470 SOUTH 600 WEST
WOODS CROSS, Utah 84010
Phone 801-298-2236

GENERAL NOTES		UTILITY NOTES	GRADING NOTES	LEGEND		ABBREVIATIONS
<ol style="list-style-type: none"> ALL IMPROVEMENTS SHALL COMPLY WITH THE STANDARDS AND REGULATIONS OF THE LOCAL GOVERNING MUNICIPALITY. CONTACT THE PUBLIC WORKS OFFICE BEFORE BEGINNING. CONTRACTOR TO FIELD VERIFY LOCATION, SIZE, AND AVAILABILITY OF EXISTING UTILITIES. UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE. SEE UTILITY NOTE 3. ALL DIMENSIONS ARE IN FOOT UNITS AND ARE TO THE TOP BACK OF CURB UNLESS SHOWN OR NOTED OTHERWISE. PROVIDE HANDICAP RAMPS AT ENDS OF WALKWAYS. END 0.1' ABOVE FLOWLINE OF CURB. CURB AND GUTTER SHALL BE AS PER APWA STD DWG NO 205 TYPE A. UTILITY INFORMATION INDICATED ON DRAWING IS BASED UPON VISUAL OBSERVATION OR INFORMATION FURNISHED BY MUNICIPAL AUTHORITIES WHICH MAY NOT BE VALID. LATERAL LOCATIONS AND ELEVATIONS ARE ASSUMED. SEE UTILITY NOTE 3. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A QUALIFIED SOILS ENGINEER WHO SHALL VERIFY THAT ALL FILL HAS BEEN PLACED IN ACCORDANCE WITH PROVISIONS IN CURRENT INTERNATIONAL BUILDING CODE. COMPACTION TEST REPORTS SHALL BE MADE AVAILABLE TO THE ENGINEER WITHIN 24 HOURS OF A REQUEST. FINAL REPORTS AS SPECIFIED IN CURRENT INTERNATIONAL BUILDING CODE SHALL BE SUBMITTED TO THE ENGINEER WITHIN TEN DAYS AFTER COMPLETION OF GRADING. ALL STORM DRAIN PIPE SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND THE LOCAL GOVERNING MUNICIPALITY'S STANDARDS AND SPECIFICATIONS. STORM DRAIN PIPE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE RIGHT-OF-WAY OWNER'S SPECIFICATIONS. PRIVATE STORM DRAIN PIPE OPTIONS SHALL CONSIST IF THE FOLLOWING MATERIALS. <ol style="list-style-type: none"> PVC PIPE, ASTM D3034, SDR 35, BELL & SPIGOT TYPE. RCP PIPE, CLASS 3, BELL & SPIGOT TYPE. HIGH DENSITY CORRUGATED POLYETHYLENE SMOOTH INTERIOR PIPE, ASTM D3350 WITH WATERTIGHT JOINTS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CHECK CONDITIONS AT THE SITE BEFORE STARTING WORK AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES. TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION UNLESS SPECIFICALLY DETAILED. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION WILL BE AS FOR SIMILAR WORK. DO NOT SCALE DRAWINGS. ANY OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK INVOLVED. PIPE BEDDING SHALL BE 3/8" MAXIMUM AGGREGATE. USE 3/4" MAXIMUM SIZE ROAD BASE FOR BACKFILL MATERIAL. COMPACT TO 95% STANDARD PROCTOR DENSITY. MAXIMUM LIFT 8 INCHES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PUBLIC AND OSHA STANDARDS. ALL WORK SHALL COMPLY WITH THE AMERICAN PUBLIC WORKS ASSOCIATION UTAH CHAPTER (APWA) MANUAL OF STANDARD SPECIFICATIONS 2007 EDITION WITH ALL PERTINENT SUPPLEMENTS AND AMENDMENTS AND THE MANUAL OF STANDARD PLANS 2007 EDITION. SAID STANDARD SPECIFICATIONS AND PLANS SHALL BE THE REQUIREMENTS. IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THE WORK TO BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORITY FROM THE OWNER AND/OR ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR REINSPECTION SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL; ELECTRICAL AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE. 		<ol style="list-style-type: none"> ALL SERVICE LATERALS SHALL BE EXTENDED 2 FEET PAST THE 10 FOOT P.U.E. ALL CONSTRUCTION SHALL COMPLY WITH LOCAL GOVERNING MUNICIPALITY DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO FIELD VERIFY CONNECTION POINTS WITH EXISTING UTILITIES, INCLUDING LOCATIONS AND INVERT ELEVATIONS OF ALL EXISTING STRUCTURES OR PIPES, BEFORE STAKING OR CONSTRUCTING ANY NEW UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN. CONTRACTOR IS RESPONSIBLE TO EXPOSE ALL UTILITY SERVICES STUBBED INTO PROJECT PROPERTY AND GIVE H&A ENTELLUS, INC. 48 HOURS PRIOR NOTICE SO H&A ENTELLUS CAN VERIFY DEPTHS AND INVERT ELEVATIONS TO DETERMINE IF CONFLICTS EXIST. ALSO ANY EXISTING UTILITIES THAT RUN ACROSS PROJECT PROPERTY WHICH MAY CAUSE POTENTIAL CONFLICT NEED TO BE EXPOSED AND LOCATED BOTH HORIZONTALLY AND VERTICALLY. CONTRACTOR PROCEEDS AT OWN RISK IF H&A ENTELLUS IS NOT NOTIFIED TO FIELD VERIFY THE ABOVE MENTIONED CONDITIONS. CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL DRAWINGS WHERE APPLICABLE. NO GROUNDWATER OR DEBRIS TO BE ALLOWED TO ENTER THE NEW PIPE DURING CONSTRUCTION. THE OPEN END OF ALL PIPES IS TO BE COVERED AND EFFECTIVELY SEALED AT THE END OF EACH DAYS WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS FOR H-20 LOAD REQUIREMENTS. ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH CENTRAL DAVIS SEWER DISTRICT STANDARDS & SPECIFICATIONS. ALL SEWER LINES AND LATERALS ARE TO BE SDR 35 PVC PIPE. SEWER LATERALS WILL BE INSTALLED AT A UNIFORM SLOPE OF NOT LESS THAN 2% GRADE AND THEY SHALL HAVE A MINIMUM OF 4 FEET OF COVER, UNLESS OTHERWISE NOTED. ALL NEW CULINARY AND IRRIGATION WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS. WATER LINES TO BE PVC C-900. WATER LINES SHALL BE A MINIMUM OF 10' HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. (MECHANICAL JOINTS REQUIRED WHEN LESS THAN 18" VERTICAL OR 10' HORIZONTAL SEPARATION FROM SEWER LINES.) ALL WATER LINES SHALL BE 8" MINIMUM SIZE AND SERVICE LATERALS SHALL BE 1-1/2" MINIMUM UNLESS OTHERWISE NOTED. WATER SERVICE LATERALS TO INCLUDE ALL BRASS SADDLE; CORP. STOP LATERAL, DOUBLE CHECK VALVE AND BACKFLOW PREVENTION DEVICE, AND SHUTOFF VALVE IN BOX NEAR BUILDING EDGE. ALL WATER LINES SHALL BE A MINIMUM 48" BELOW FINISH GROUND TO TOP OF PIPE. ALL VALVE BOXES AND MANHOLES SHALL BE RAISED OR LOWERED TO FINISH GRADE AND SHALL INCLUDE A CONCRETE COLLAR IN PAVED AREAS. CONTRACTOR TO NOTIFY PUBLIC UTILITIES FOR CHLORINE TEST PRIOR TO FLUSHING LINES. CHLORINE LEFT IN PIPE 24 HOURS MINIMUM WITH 25 PPM RESIDUAL. ALL TURNING OF MAINLINE VALVES, CHLORINATION, FLUSHING, PRESSURE TESTING, BACTERIA TESTING, ETC. TO BE COORDINATED WITH LOCAL GOVERNING MUNICIPALITY. ALL TESTS TO BE IN ACCORDANCE WITH AWWA STANDARDS. BOTTOM FLANGE OF FIRE HYDRANTS TO BE SET TO APPROXIMATELY 4" INCHES ABOVE BACK OF CURB ELEVATION. HYDRANTS TO INCLUDE TEE, 6" LINE VALVE, AND HYDRANT COMPLETE TO MEET CITY STANDARDS. ALL NEW STORM DRAIN/LAND DRAIN CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS. ALL STORM WATER CONVEYANCE PIPING TO BE RCP - CLASS 3 OR EQUAL, UNLESS OTHERWISE NOTED. CONTRACTOR IS TO SUBMIT SITE PLAN/SUBDIVISION PLAT TO QUESTAR GAS FOR DESIGN OF GAS SERVICE TO BUILDINGS/LOTS. CONTRACTOR TO COORDINATE WITH QUESTAR GAS FOR CONTRACTOR LIMITS OF WORK VERSUS QUESTAR GAS LIMITS. ALL GAS LINE TAPS TO BE HDPE WITH COPPER TRACER WIRE AND DETECTA TAPE. TERMINATE TRACER WIRE AT APPROVED LOCATIONS. ALL GAS LINE TAPS, VALVES AND CAPS TO BE FUSED USING ELECTRO-FUSION TECHNOLOGY. ALL ELECTRICAL CONDUITS/LINES TO BE PVC SCH 40 OR BETTER. ALL PHONE AND TV CONDUITS TO BE PVC SCH 40 OR BETTER. CONTRACTOR IS TO SUBMIT SITE PLAN/SUBDIVISION PLAT TO COMCAST FOR DESIGN OF CABLE TV SERVICE TO BUILDINGS/LOTS. CONTRACTOR TO COORDINATE WITH COMCAST FOR CONTRACTOR LIMITS OF WORK VERSES COMCAST LIMITS. CONTRACTOR IS TO COORDINATE LOCATIONS OF NEW TELEPHONE SERVICE TO NEW BUILDINGS OR LOTS WITH QWEST. A PVC CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE IS REQUIRED FOR SERVICE THROUGH PROPERTY. COORDINATE SIZES AND LOCATION WITH QWEST. ALL UTILITIES ARE TO BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING AGENCY/DISTRICT STANDARDS AND SPECIFICATIONS: WATER - SOUTH WEBER CITY PUBLIC WORKS SEWER - SOUTH WEBER CITY PUBLIC WORKS STORM DRAIN - SOUTH WEBER CITY PUBLIC WORKS IRRIGATION - N/A ELECTRICAL - ROCKY MOUNTAIN POWER TELEPHONE - QWEST NATURAL GAS - DOMINION ENERGY 	<ol style="list-style-type: none"> SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING IT WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATION WHERE IT SHALL BE 95% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS. REPORT. THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THE PROJECT. SPECIFIC DETAILS SHOWN SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTORS FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. IF AT ANY TIME DURING CONSTRUCTION ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, WORK IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED FROM THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS OWN ESTIMATE OF EARTHWORK QUANTITIES. WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT OF CONCRETE PAVEMENT, THE FOLLOWING SHALL APPLY: PRIOR TO PLACEMENT OF ANY CONCRETE THE CONTRACTOR SHALL HAVE A LICENSED SURVEYOR VERIFY THE GRADE AND CROSS SLOPE OF THE CURB AND GUTTER FORMS, THE CONTRACTOR SHALL SUBMIT THE SLOPE AND GRADES TO THE ENGINEER FOR APPROVAL PRIOR THE PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SECTION WHICH DOES NOT CONFORM TO THE DESIGN OR TYPICAL CROSS SECTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CURB AND GUTTER POURS WITHOUT THE APPROVAL OF THE ENGINEER. 			<p>ø DIAMETER Δ DELTA ° DEGREES ' MINUTES, FEET " SECONDS, INCHES AD ALGEBRAIC DIFFERENCE ADA AMERICAN DISABILITIES ACT ADS CORRUGATED BLACK PLASTIC PIPE ARCH ARCHITECT, ARCHITECTURAL B&C BAR & CAP LA ANY/ANY LINE AGREEMENT BLDG BUILDING BM BENCHMARK BND BOUNDARY BOW BACK OF WALK BRG BEARING BV BUTTERFLY VALVE BVC BEGIN VERTICAL CURVE BVCE BEGIN VERTICAL CURVE ELEVATION BVCS BEGIN VERTICAL CURVE STATION CBG CURB AND GLITTER CB CATCH BASIN CH CHORD CHB CHORD BEARING CI CAST IRON CIP CAST IN PLACE CL CENTERLINE CMP CORRUGATED METAL PIPE CO CLEANOUT COMH COMMUNICATIONS CONC CONCRETE CONST CONSTRUCTION </p>



SYMBOL LEGEND	
(C-1)	ASPHALT & BASE PER DETAIL SHEET C900
(C-2)	24" CONCRETE HIGH-BACK CATCH CURB & GUTTER PER DETAIL SHEET C900
(C-3)	24" CONCRETE HIGH-BACK RELEASE CURB & GUTTER PER DETAIL SHEET C900
(C-4)	CONCRETE SIDEWALK PER DETAIL SHEET C900
(C-5)	36" WATERWAY PER DETAIL SHEET C900
(C-6)	DUMPSTER PAD AND APRON PER DETAIL SHEET C900
(C-7)	EXISTING ASPHALT TO REMAIN
(C-8)	SAWCUT EXISTING ASPHALT TO CLEAN EDGE PER SOUTH WEBER CITY STANDARDS
(A-1)	ADA SIDEWALK RAMP AND PARKING AREA PER DETAIL SHEET C900
(A-2)	ADA VAN ACCESSIBLE PARKING SIGN PER DETAIL SHEET C900
(A-3)	ADA ACCESSIBLE PARKING SIGN PER DETAIL SHEET C900
ALL ITEMS WITHIN THE PUBLIC RIGHT-OF-WAY TO CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.	

ACCESSIBLE AREA CONSTRAINTS	
ALL ACCESSIBLE AREAS ARE TO MAINTAIN THE FOLLOWING MAXIMUM SLOPES AND TOLERANCES:	
ACCESSIBLE PARKING: MAXIMUM SLOPE OF 1:48 (2%) THROUGHOUT.	
ACCESSIBLE ROUTE: MINIMUM WIDTH OF 48", MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE, MAXIMUM CROSS-SLOPE OF 1:48 (2%).	
ACCESS ROUTE TURNAROUNDS: A CLEAR 60" TURNING DIAMETER. MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.	
LEVEL LANDING / EXTERIOR DOOR LANDING: MINIMUM SIZE OF 60"x60". MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.	
ACCESSIBLE EGRESS TO PUBLIC WAY: MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE, MAXIMUM CROSS-SLOPE OF 1:48 (2%).	
ADA ACCESS RAMPS: MAXIMUM SLOPE OF 1:12 (8.33%), WITH A MAXIMUM CROSS-SLOPE OF 2%. THE TRANSITION BETWEEN ASPHALT AND CONCRETE IS NOT TO EXCEED 1/2" VERTICAL (1/4" IF BEVELED).	

PRELIMINARY
NOT FOR
CONSTRUCTION

SOUTH WEBER COFFEE SHOP

2500 E SOUTH WEBER DRIVE
PARCELS LOCATED IN THE NW 1/4 OF SECTION 36, T.5N., R.1W., S.L.B.&M.
SOUTH WEBER CITY, DAVIS COUNTY, UT 84141

PRELIMINARY
NOT FOR
CONSTRUCTION

SOUTH WEBER COFFEE SHOP

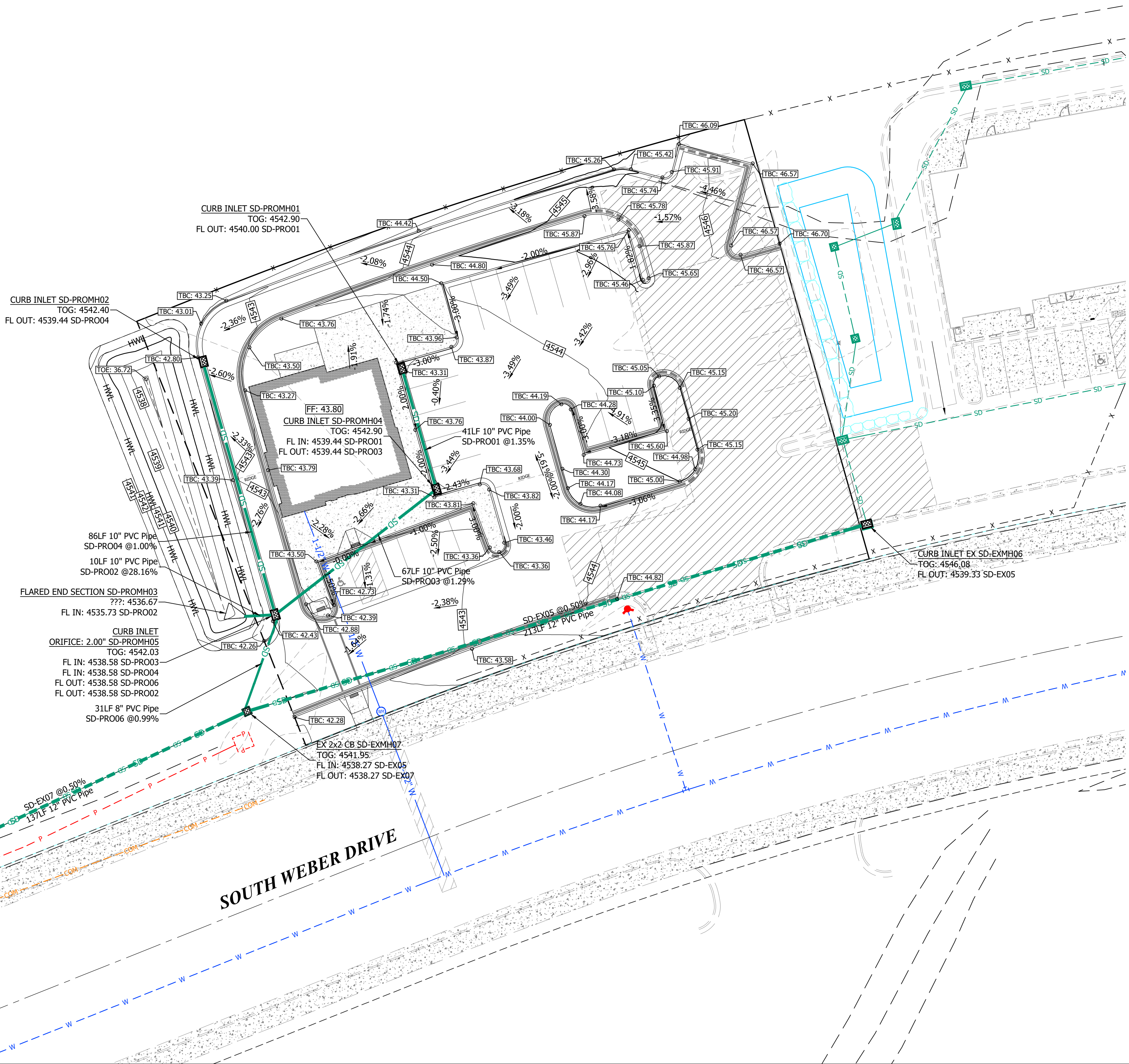
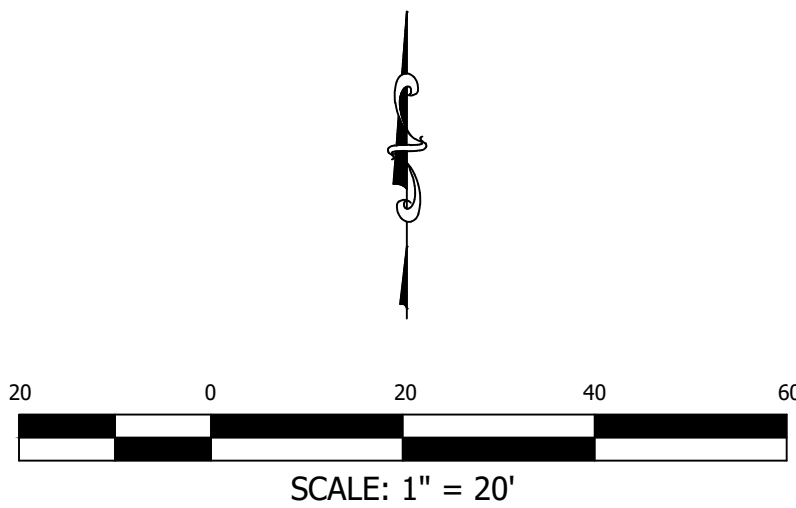
2500 E SOUTH WEBER DRIVE
PARCELS LOCATED IN THE NW 1/4 OF SECTION 36, T.5N., R.1W., S.L.B.&M.
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

DRAWN:

APPROVED:
STA

PROJECT: [PROJECT #]
PROD 1074004.dwg

C500
GRADING PLAN



DRAINAGE CALCULATIONS

5-Feb-19

Area Analysis

Area	sq.ft.	Acres	C
Building	21,716	0.50	0.85
Improvements	1,856	0.04	0.90
Landscape	6,848	0.16	0.15
Total	30,420	0.70	0.70

100 Year Detention Calculations

NOAA Precipitation Frequency Data Server

Latitude: 41.1277° Longitude: -111.9120°

Time (min.)	I in./hr	Runoff ft³	Allowable Runoff ft³	Storage ft³
5	7.520	1,096	21	1,075
10	5.730	1,670	42	1,628
15	4.740	2,072	63	2,009
30	3.190	2,789	126	2,663
60	1.970	3,444	251	3,193
120	1.150	4,021	503	3,519
180	0.791	4,149	754	3,395
360	0.441	4,626	1,508	3,118
720	0.275	5,770	3,017	2,753
1440	0.160	6,714	6,034	680

Required Detention	3,519
Estimated Designed Detention	3,797

Orifice Sizing

Highwater Elevation	4,541.00 ft
Orifice Elevation	4,538.27 ft
Flow	0.07 cfs
C _d	0.62 square-edge
Orifice Size	1.25 in.

ACCESSIBLE AREA CONSTRAINTS

ALL ACCESSIBLE AREAS ARE TO MAINTAIN THE FOLLOWING MAXIMUM SLOPES AND TOLERANCES:

ACCESSIBLE PARKING:
MAXIMUM SLOPE OF 1:48 (2%) THROUGHOUT.

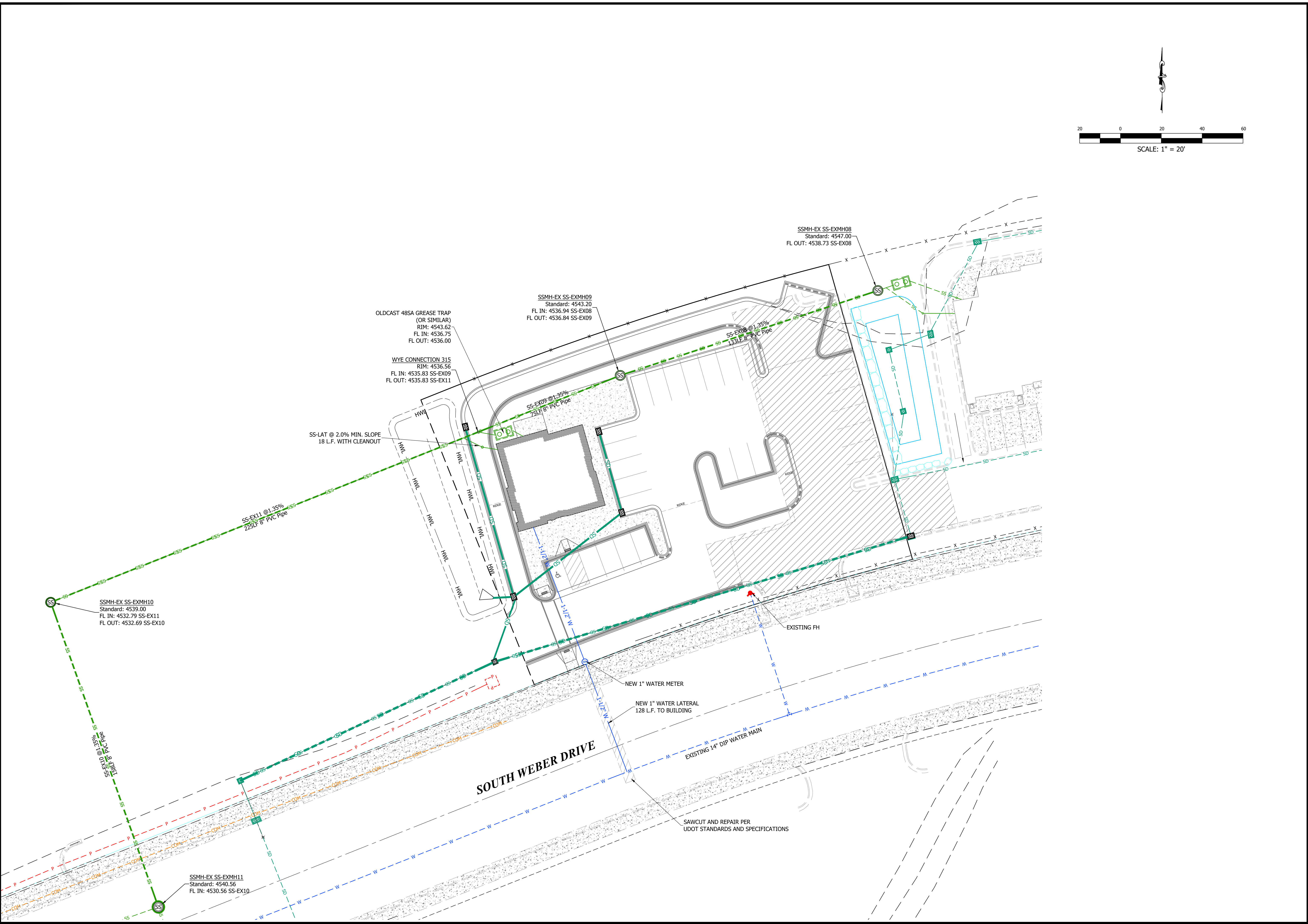
ACCESSIBLE ROUTE:
MINIMUM WIDTH OF 48". MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE, MAXIMUM CROSS-SLOPE OF 1:48 (2%).

ACCESS ROUTE TURNAROUNDS:
A CLEAR 60" TURNING DIAMETER. MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

LEVEL LANDING / EXTERIOR DOOR LANDING:
MINIMUM SIZE OF 60"x60". MAXIMUM SLOPE OF 1:48 (2%) IN ANY DIRECTION.

ACCESSIBLE EGRESS TO PUBLIC WAY:
MAXIMUM SLOPE OF 1:20 (5%) ALONG THE ROUTE, MAXIMUM CROSS-SLOPE OF 1:48 (2%).

ADA ACCESS RAMPS:
MAXIMUM SLOPE OF 1:12 (8.33%), WITH A MAXIMUM CROSS-SLOPE OF 2%. THE TRANSITION BETWEEN ASPHALT AND CONCRETE IS NOT TO EXCEED 1/2" VERTICAL (1/4" IF BEVELED).



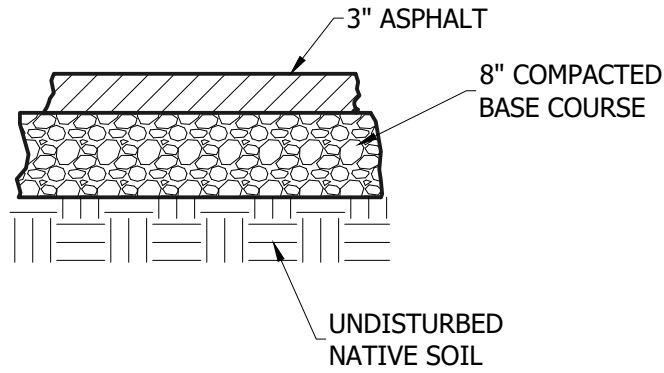
PRELIMINARY
NOT FOR
CONSTRUCTION

SOUTH WEBER COFFEE SHOP

2500 E SOUTH WEBER DRIVE
PARCELS LOCATED IN THE NW 1/4 OF SECTION 36, T.5N., R.1W., S.L.B.&M.
SOUTH WEBER CITY, DAVIS COUNTY, UT 84141

DRAWN:	[BY]	[DATE]
APPROVED:	STA	[DATE]
PROJECT:	[PROJECT #]	
PROD	1074004.dwg	
C600		
UTILITY PLAN		

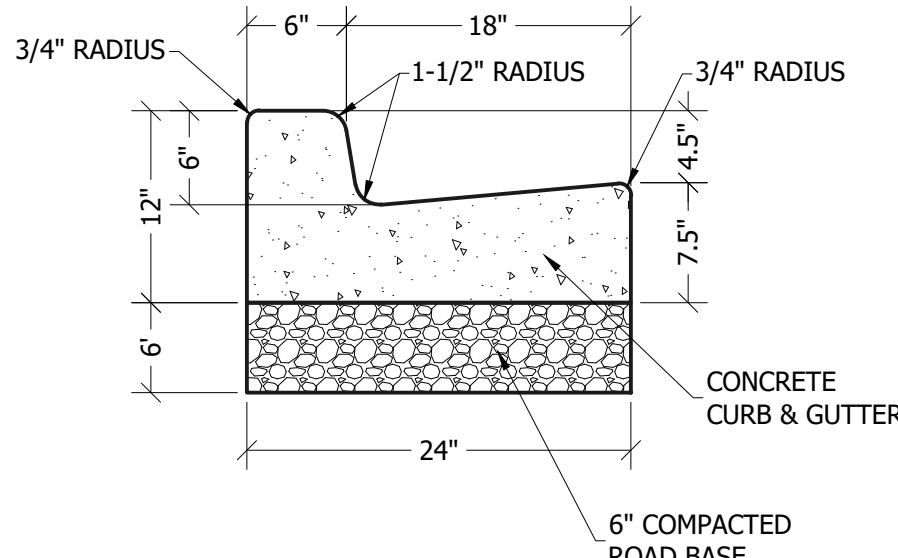
- NOTES
1. ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
 2. PLACE MATERIAL PER APWA SECTION 32 05 10.



PRIVATE ASPHALT SECTION

C1
C400
TYPICAL
N.T.S.

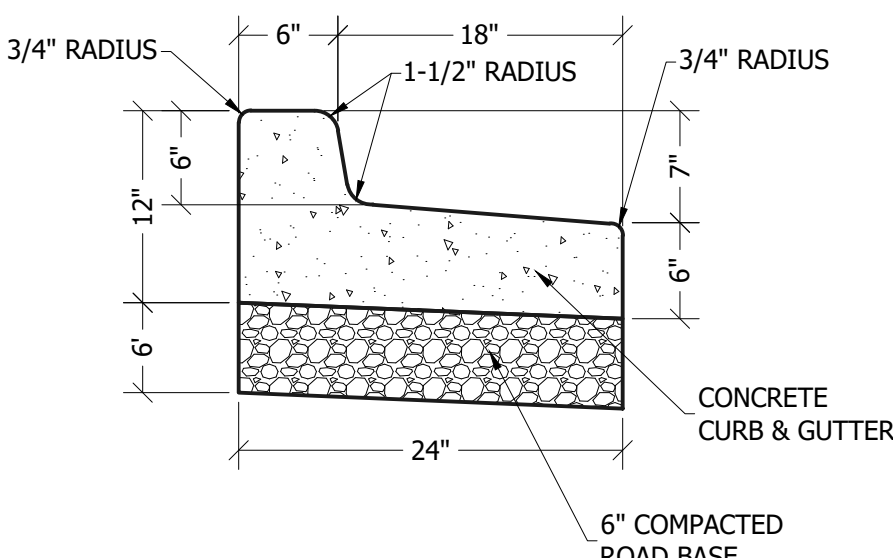
- NOTES
1. ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
 2. CONCRETE IS TO BE 4,000 PSI TEST.
 3. CONTROL JOINTS AT 10' INTERVALS.
 4. BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.



PRIVATE 24" CATCH CURB & GUTTER

C2
C400
TYPICAL
N.T.S.

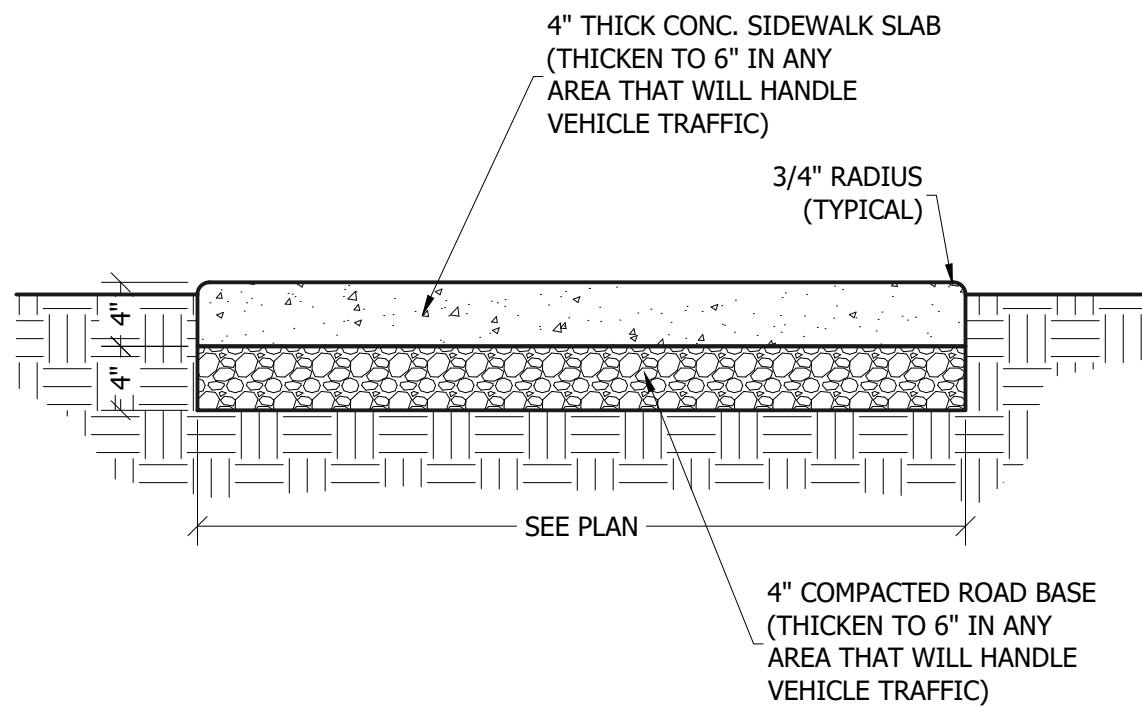
- NOTES
1. ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
 2. CONCRETE IS TO BE 4,000 PSI TEST.
 3. CONTROL JOINTS AT 10' INTERVALS.
 4. BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.



PRIVATE 24" RELEASE CURB & GUTTER

C3
C400
TYPICAL
N.T.S.

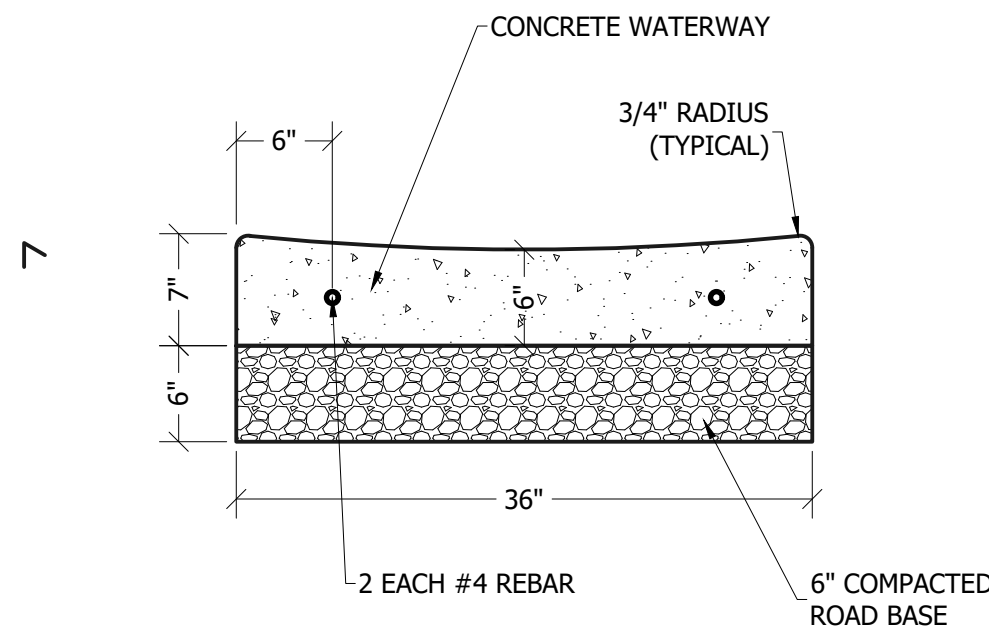
- NOTES
1. ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
 2. CONCRETE IS TO BE 4,000 PSI TEST.
 3. CONTROL JOINTS AT 5' INTERVALS.
 4. BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.



PRIVATE CONCRETE SIDEWALK

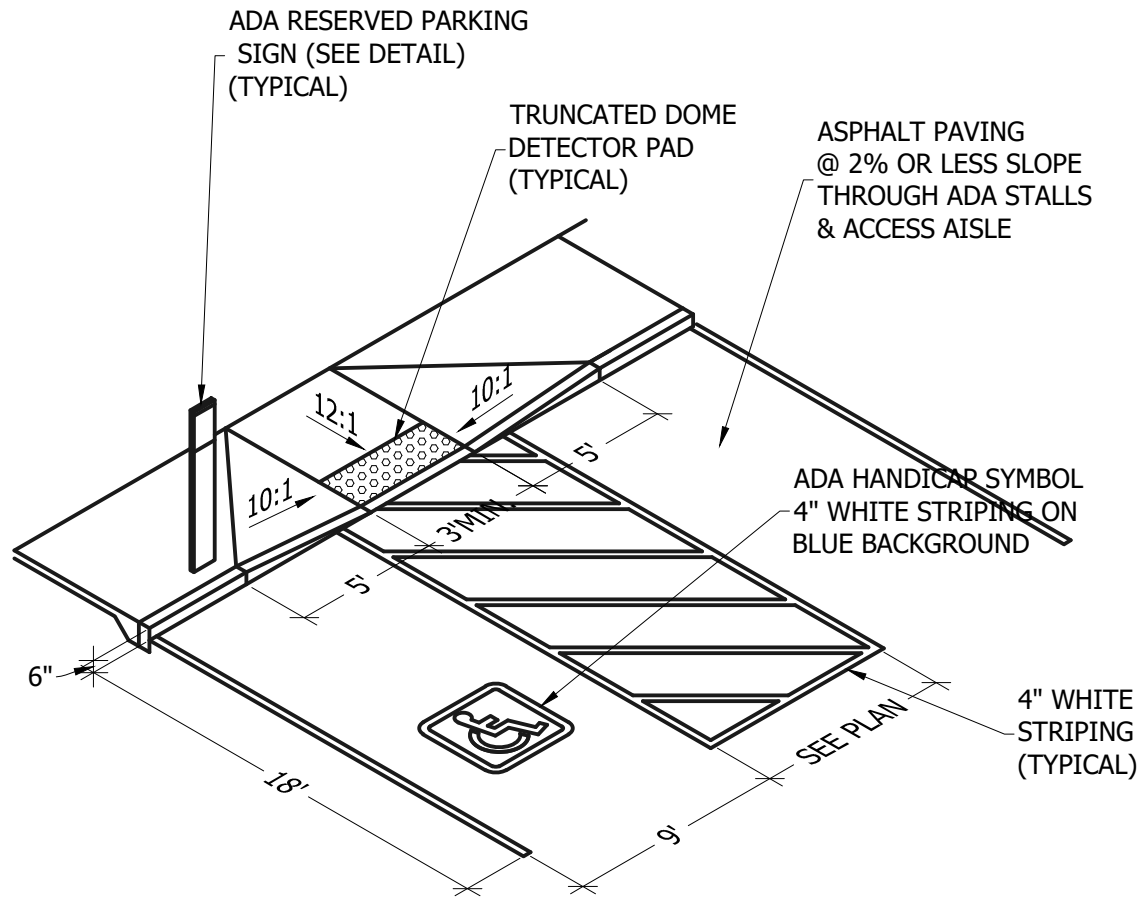
C4
C400
TYPICAL
N.T.S.

- NOTES
1. ROAD BASE IS TO BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF NO SUCH RECOMMENDATIONS PERTAIN, COMPACT TO 95% AASHTO T-180 METHOD D.
 2. CONCRETE IS TO BE 4,000 PSI TEST.
 3. CONTROL JOINTS AT 10' INTERVALS.
 4. BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.
 5. STEEL REINFORCEMENT IS TO BE DEFORMED GRADE 60 STEEL, GALVANIZED OR EPOXY COATED.



PRIVATE 36" CONCRETE WATERWAY

C-5
C400
TYPICAL
N.T.S.



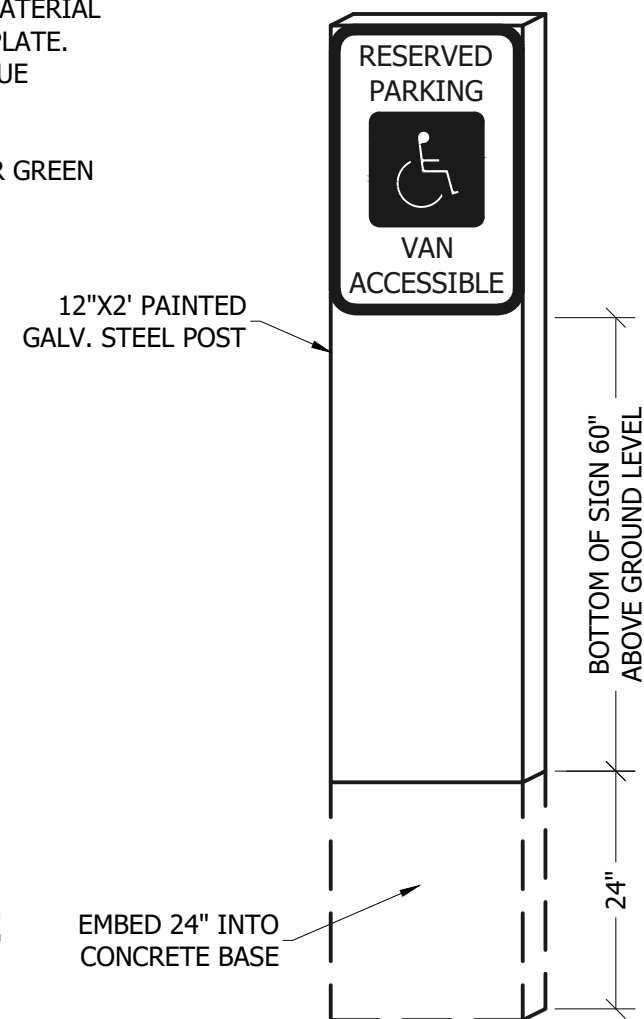
ADA ACCESSIBLE PARKING & RAMPS

C5
C400
TYPICAL
N.T.S.

- NOTES
1. SIGN IS TO BE REFLECTIVE MATERIAL ON AN ALUMINUM BACKING PLATE.
 2. WHITE ADA SYMBOL ON A BLUE SQUARE.
 3. WHITE BACKGROUND.
 4. LETTERING IS TO BE BLUE OR GREEN



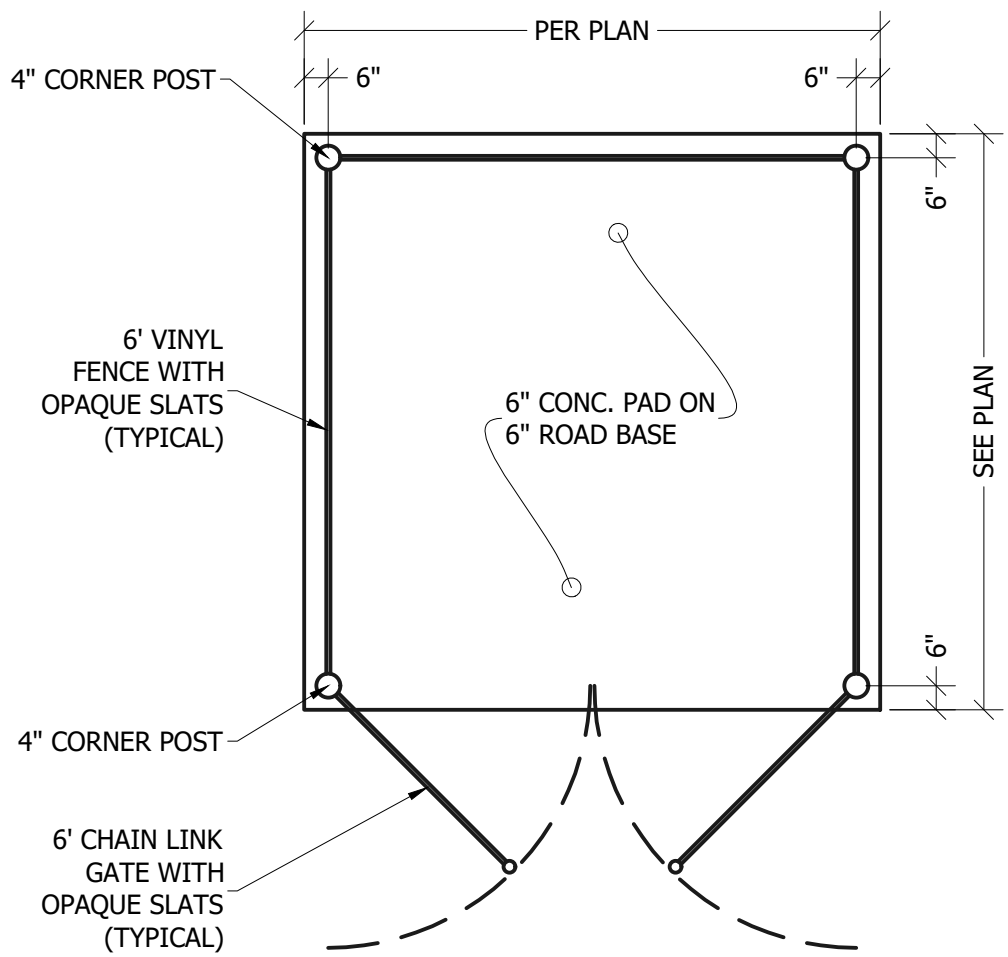
ADA RESERVED PARKING VAN-ACCESSIBLE SIGN



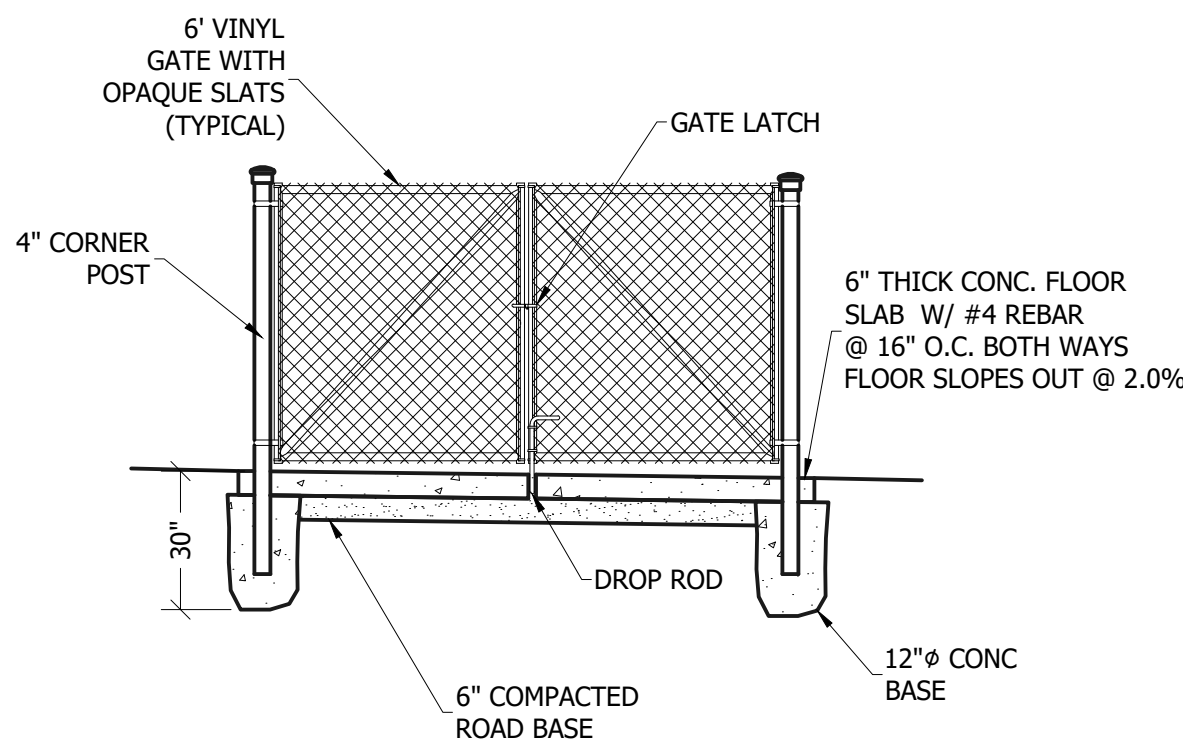
POLE-MOUNTED SIGN

ADA POLE-MOUNTED VAN-ACCESSIBLE PARKING SIGN

C6
C400
TYPICAL
N.T.S.



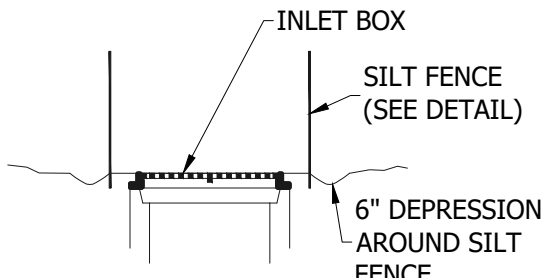
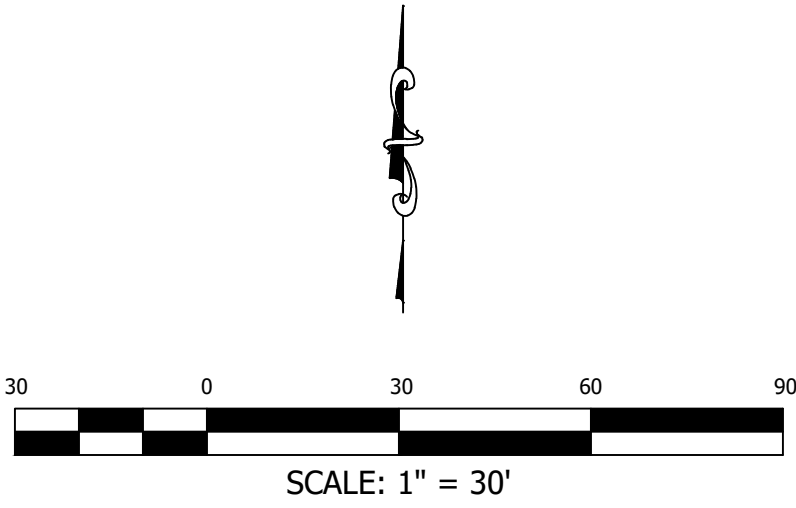
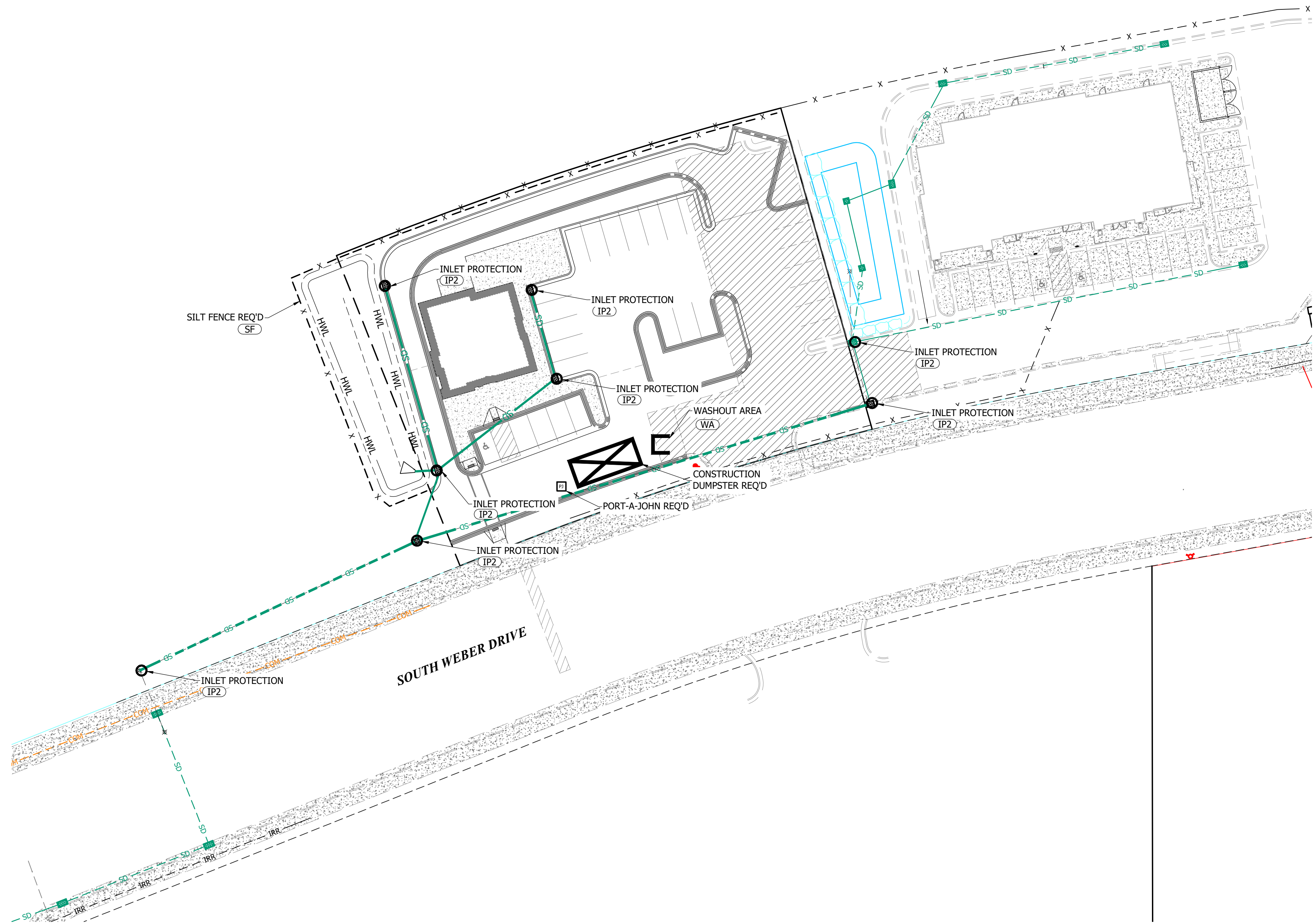
PLAN VIEW



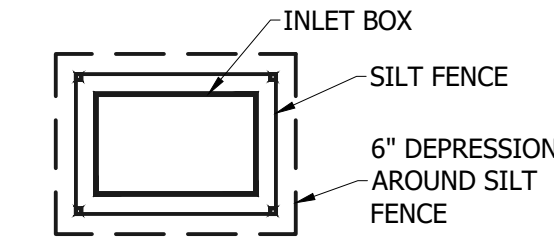
SECTION VIEW

DUMPSTER ENCLOSURE

A1
C400
TYPICAL
N.T.S.

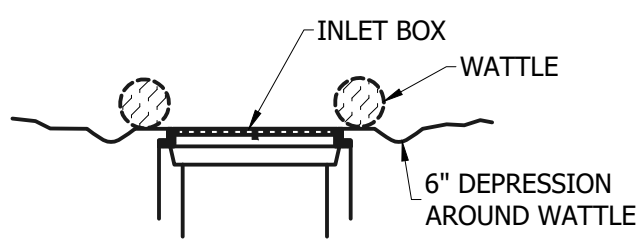


PROFILE VIEW

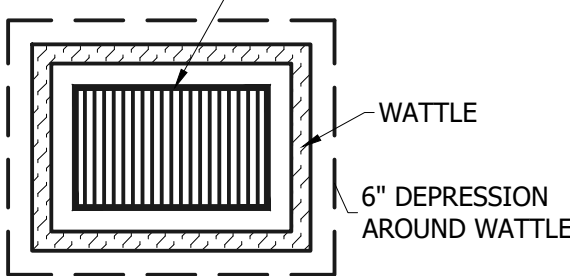


PLAN VIEW

IP1 INLET PROTECTION
EC100 TYPICAL
N.T.S.

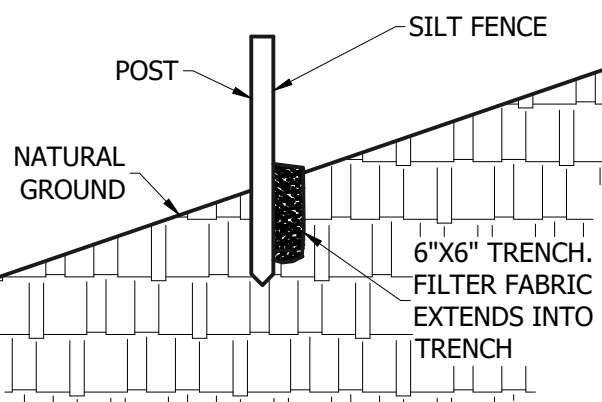


PROFILE VIEW

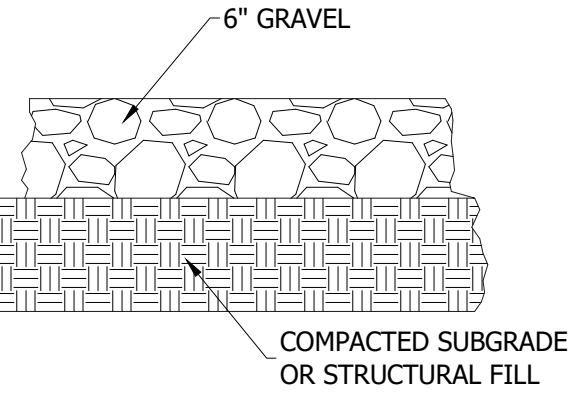


PLAN VIEW

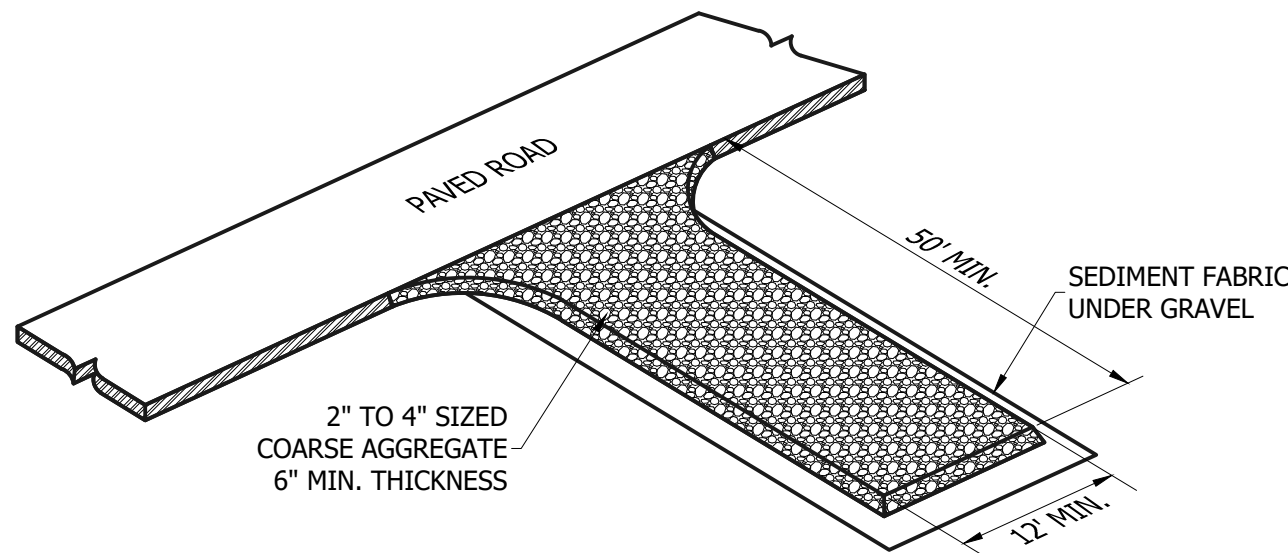
IP2 INLET PROTECTION
EC100 TYPICAL
N.T.S.



SF SILT FENCE
EC100 TYPICAL
N.T.S.



WA WASHDOWN AREA
EC100 TYPICAL
N.T.S.



SCE STABILIZED CONSTRUCTION ENTRANCE
EC100 TYPICAL
N.T.S.

CONSTRUCTION NOTES:

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY LOCAL, STATE, AND FEDERAL PERMITS PRIOR TO COMMENCING CONSTRUCTION.

CONTRACTOR TO MAINTAIN A COPY OF THE SWPPP ON SITE.

CONTRACTOR TO INSPECT SITE TO ENSURE THE SWPPP IMPROVEMENTS ARE IN PLACE AND FUNCTIONAL.

CONTRACTOR TO MAINTAIN TEMPORARY EROSION AND SEDIMENT CONTROLS AND HOUSEKEEPING MEASURES.

ALL SOLID WASTE SHALL BE STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER SHALL MEET ALL STATE AND LOCAL WASTE MANAGEMENT REGULATIONS.

ALL HAZARDOUS WASTE SHALL BE DISPOSED OF IN THE MANNER AS SPECIFIED BY THE MANUFACTURER AND STATE AND LOCAL REGULATIONS.

A WASHOUT AREA SHALL BE CONSTRUCTED FOR THE TEMPORARY COLLECTION OF EXCESS CONCRETE AND NON-STORM WATER DISCHARGES FROM VEHICLE WASHING. THE CONCRETE WILL BE TAKEN TO THE CITY LANDFILL WITHIN 1 WEEK OF PLACING IN THE WASHOUT AREA.

A STABILIZED CONSTRUCTION ENTRANCE WILL BE CONSTRUCTED TO REDUCE VEHICLE TRACKING OF SEDIMENTS ONTO PUBLIC RIGHT OF WAYS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEPED DAILY TO REMOVE EXCESS DIRT.

INSPECTION SHALL BE MADE MONTHLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. ALL NON-STORM WATER FLOWS SHALL BE DIRECTED TOWARD THE WASHOUT AREA OR SEDIMENT BASIN. THE SWPPP WILL BE REVISED AS SITE CONDITIONS AND PROJECT WARRANTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND SWEEPING PUBLIC STREETS ON A DAILY BASIS, OR MORE IF NECESSARY.

CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE DUST CONTROL THROUGHOUT THE COURSE OF THE PROJECT.

181 North 200 West, Suite #4
Bountiful, Utah 84010
Phone 801-298-2236



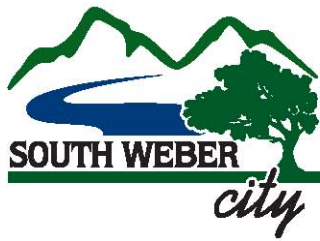
PRELIMINARY
NOT FOR
CONSTRUCTION

SOUTH WEBER COFFEE SHOP

1868 NORTH AND 1075 WEST
LOCATED IN THE NORTHEAST 1/4 OF SECTION 11, T.3N., R.1W., S.L.B.&M.
FARMINGTON CITY, DAVIS COUNTY, UTAH

DRAWN: DJH 3/5/19
APPROVED: STA 3/5/19
PROJECT: 1034013
PROD 1074004.dwg

EC100
EROSION CONTROL
PLAN



6 WBWCD Pump Station Architectural Review STAFF MEMORANDUM

1600 E. South Weber Drive
South Weber, UT 84405

www.southwebercity.com

801-479-3177
FAX 801-479-0066

To: Planning Commission
From: Trevor Cahoon, Community Services Director
Re: WBWCD Pump Station Site Plan Approval

Project Information	
Project Name	Davis Aqueduct Reach 1 Pump Station
Site Location	7692 S HWY 89
Tax ID Number	130390072
Applicant	Weber Basin Water Conservancy District
Owner	Weber Basin Water Conservancy District
Proposed Actions	Architectural/Site Plan Approval
Current Zoning	Commercial
General Plan Land Use Classification	Commercial Highway
Gross Site	2.628 Acres

ACTION

Administrative Action: Consider approval of the Davis Aqueduct Reach 1 Pump Station Architectural/Site Plan.

STAFF REVIEW SUMMARY

After review of the application for Davis Aqueduct Reach 1 Pump Station Architectural/Site Plan, staff would recommend approval. The following are items of note:

- The use classification for this project is found under Building, Public and is a permitted use within the commercial zone. Weber Basin Water Conservancy District is a public entity as designated by the State of Utah to distribute water for public use.
 - Definition Public Building: A building owned and operated or owned and intended to be operated by a public agency of the United States of America or the State of Utah or any of its subdivisions in connection with public use. (See 10-1-10 of city code.)
- It is proposed that the site be irrigated primarily by a connection to the new aqueduct utilizing secondary water. A second connection is proposed that would connect to the culinary service. This would only be used during times when the aqueduct is down for maintenance. The required backflow preventer on the culinary service line to the sprinkler system is being provided.
- The parkstrip will be landscaped with trees and decorative gravel.
- A 6' black vinyl-coated chain link fence will be provided all along the street frontage. Both street entrances will have gates. The fencing along the canal will be regular galvanized chain link fence. The fence along the north side of the site will be a masonry fence, as required by code.

- A buffer yard is required along the north property line. With the masonry fence, proposed trees and decorative rock mulch, it appears that project is in compliance with the requirements of the code.
- According to review, the project is in compliance with City Code 10-15 (Landscape Regulations).
- An Encroachment Permit from UDOT will be required prior to construction for connection to UDOT's storm drain infrastructure in the frontage road.
- All new piping outside of the site that is inside South Weber City street ROW's will need to be approved separately prior to any construction.
- It does not look like a lighting plan was provided. There are lights on the building itself, but it doesn't appear that there is lighting anywhere else. However, based on the use, any other site lighting would not be necessary.
- As it relates to City Code 10-12 (Architectural Site Plan Review), the Planning Commission "shall determine if the proposed architectural and development plans submitted are consistent with this Chapter and with the purpose and objectives of this Title."
 - Upon staff review the project is in compliance with City Code 10-12, architectural review falls under the purview of the planning commission and a certain level of subjectivity can be used.

CONSIDERATIONS FOR ARCHITECTURAL SITE PLAN REVIEW

Traffic Safety And Congestion: Considerations relating to traffic safety and traffic congestion:

- a) The effect of the site development plan on traffic conditions on abutting streets.
- b) The layout of the site with respect to locations and dimensions of vehicular and pedestrian entrances, exits, drives and walkways.
- c) The arrangement and accuracy of off-street parking facilities to prevent traffic congestion and compliance with the provisions of Chapter 8 of this Title.
- d) The location, arrangement and dimension of truck loading and unloading facilities.
- e) The circulation patterns within the boundaries of the development.
- f) The surfacing and lighting of off-street parking facilities.

Outdoor Advertising: Considerations relating to outdoor advertising. Compliance with the provisions of Chapter 9 of this Title.

Landscaping: Considerations relating to landscaping:

- a) The location, height and materials of walls, fences, hedges and screen plantings to ensure harmony with adjacent development or to conceal storage areas, utility installations or other unsightly development.
- b) The placement of ground covers, shrubs and trees.
- c) The unnecessary destruction of existing healthy trees.
- d) A layout plan for a sprinkling system.

Design Approval; Conditions: The Planning Commission or the Zoning Administrator, when authorized, shall decide all applications for design review. Design approval may include such conditions consistent with the considerations of this Chapter as the Planning Commission or Zoning Administrator deem reasonable and necessary under the circumstances to carry out the intent of this Chapter.

PLANNING COMMISSION RECOMMENDATION OPTIONS

After careful consideration of the information presented, the South Weber Planning Commission moves to:

1. Approve the Davis Aqueduct Reach 1 Pump Station Architectural/Site Plan.
2. Approve the Davis Aqueduct Reach 1 Pump Station Architectural/Site Plan with the following conditions or recommendations:
 - a. *(Any other conditions that need to be met)*
3. Deny the Davis Aqueduct Reach 1 Pump Station Architectural/Site Plan for the following reasons:
 - a. *(List reasons based upon City Code.)*
4. Continue the Davis Aqueduct Reach 1 Pump Station Architectural/Site Plan for consideration at a future date.



Brown & Caldwell
6975 Union Park Center
Salt Lake City, UT



2 Pepperwood Pointe
Sandy, Utah 84092
Cell: 801-647-8043
Office: 801-572-1997
ftarch@xmission.com



WEBER
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DISTRICT

DAVIS AQUEDUCT
REACH 1

REVISIONS		
REV	DATE	DESCRIPTION

LINE IS 2 INCHES
AT FULL SIZE

DESIGNED: F.THALMANN

DRAWN: T.BOUFFARD

CHECKED:

APPROVED: F.THALMANN

FILENAME

BC PROJECT NUMBER

152858

CLIENT PROJECT NUMBER

PUMP STATION -
RENDERING

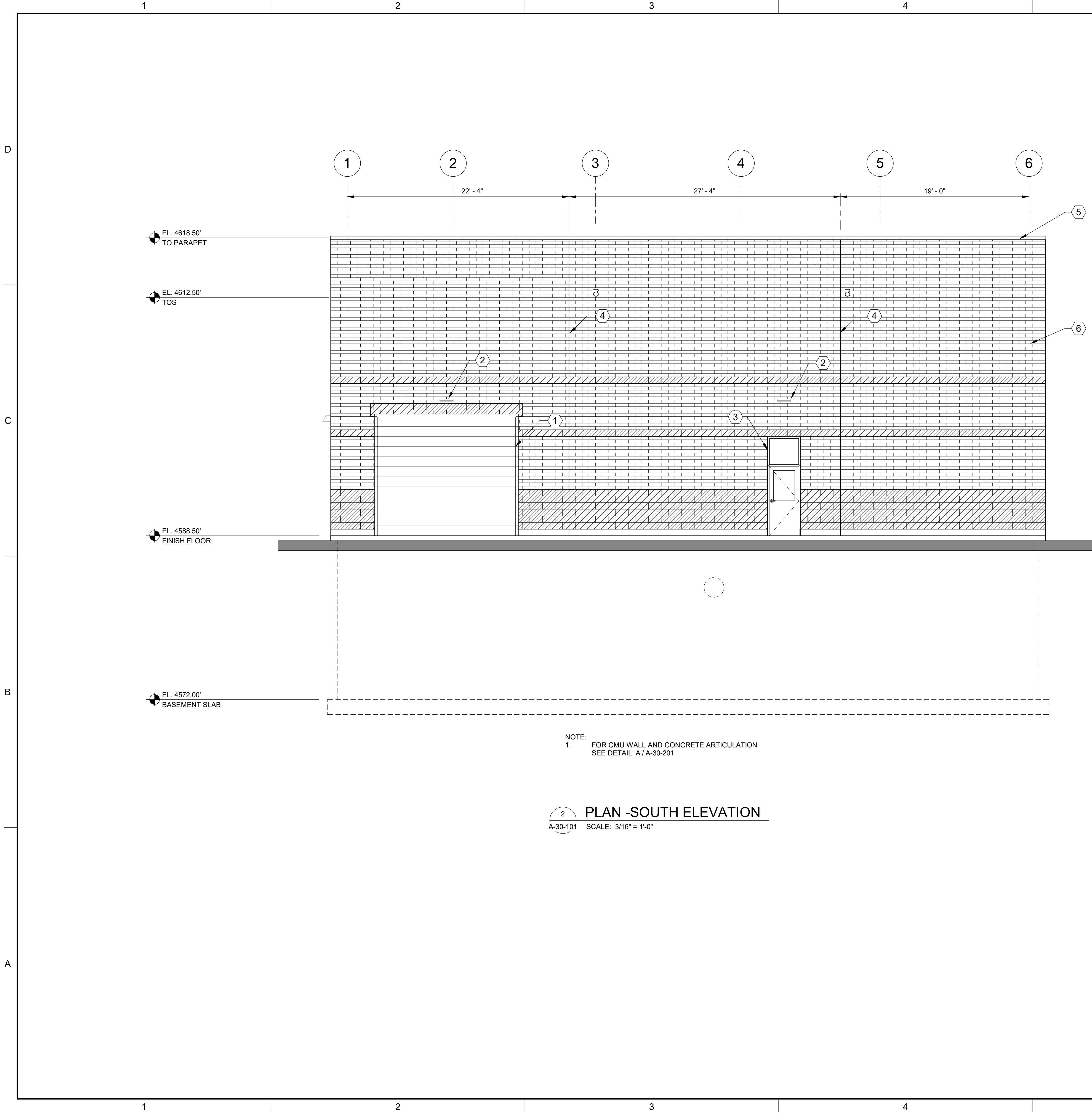
DRAWING NUMBER

A-30-901

85

SHEET NUMBER
OF

187



GENERAL NOTES:

1. FOR SURFACE-MOUNTED LIGHT FIXTURES, SEE ELECTRICAL DRAWINGS.

KEYNOTES:

- 1 OVERHEAD COILING DOOR AND FRAME, COLOR: DARK BROWN
2 WALL PACK LIGHT FIXTURE, SEE ELECTRICAL
3 FRP DOOR WITH ALUMINUM FRAME, COLOR: DARK BROWN, WITH INSULATED WINDOW, GRAY TINT
4 MASONRY CONTROL JOINT
5 PARAPET WALL WITH STANDING SEAM ALUMINUM COPING, DARK BROWN FINISH
6 ATLAS BRICK INSULATED VENEER OVER STRUCTURAL CMU, SEE STRUCTURAL FOR CMU WALL

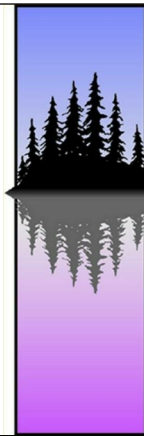


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BID SET



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DAVIS AQUEDUCT
REACH 1 PARALLEL
PIPELINE PROJECT

REVISIONS

REV	DATE	DESCRIPTION

LINE IS 2 INCHES
AT FULL SIZE

DESIGNED: F.THALMANN

DRAWN: T.BOUFFARD

CHECKED:

APPROVED: F.THALMANN

FILENAME

BC PROJECT NUMBER

152858

CLIENT PROJECT NUMBER

PUMP STATION -
ELEVATIONS 2

DRAWING NUMBER

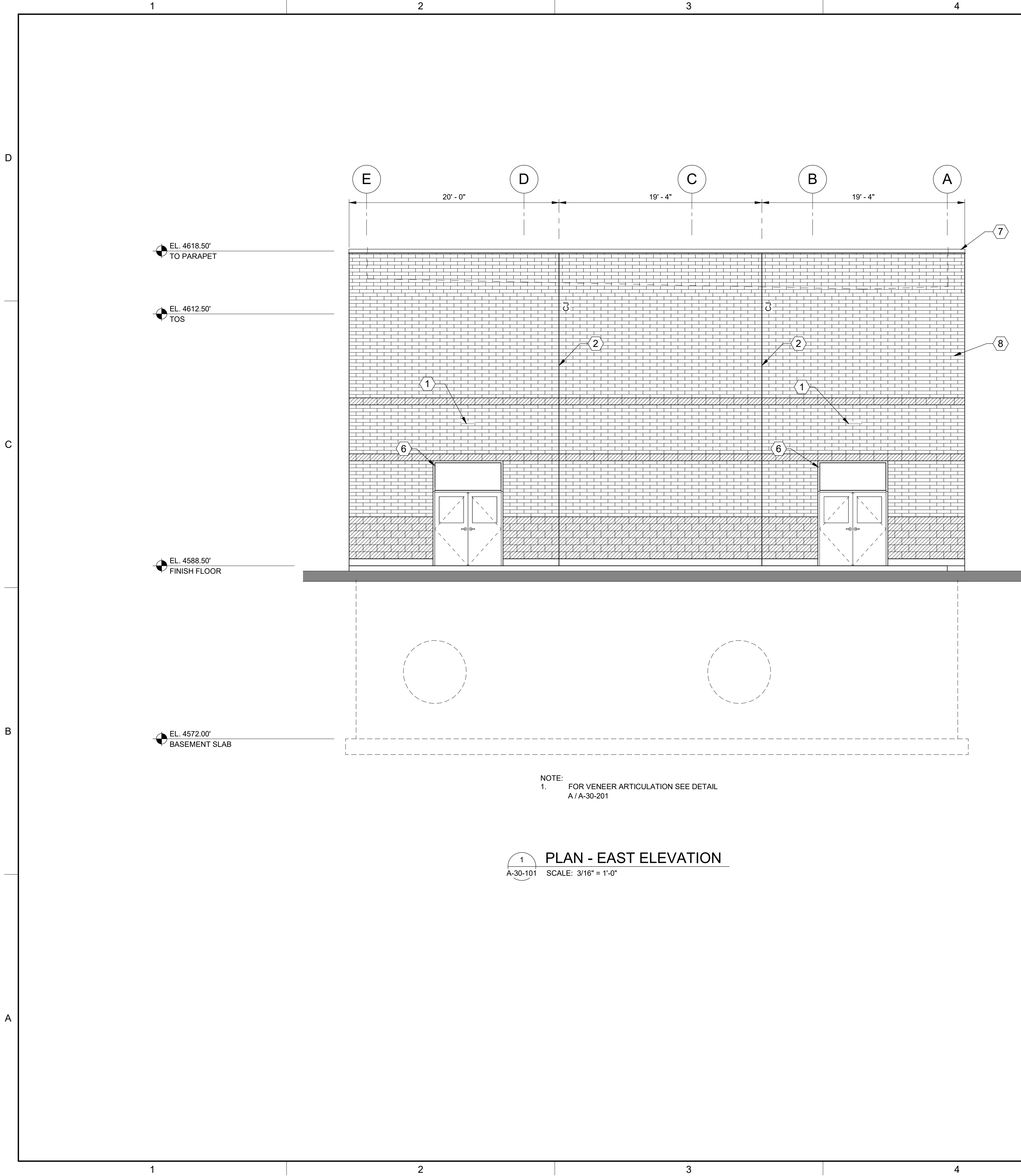
A-30-202

SHEET NUMBER

74

OF

200



GENERAL NOTES:

1. FOR SURFACE-MOUNTED LIGHT FIXTURES, SEE ELECTRICAL DRAWINGS.

KEYNOTES:

- 1 WALL PACK LIGHT FIXTURE, SEE ELECTRICAL
2 MASONRY CONTROL JOINT
3 8" TALL EXPOSED STRUCTURAL CONCRETE CURB, STONE RUBBED FINISH, SEE STRUCTURAL FOR MORE INFORMATION
4 AMCOR "PLATINUM" BRICK VENEER 4x8x16 EMPEROR, MATTE; BASE AND ACCENT BANDS
5 AMCOR "MOUNTAIN RED" BRICK VENEER 4x4x16 EMPEROR, MATT; FIELD
6 FRP DOOR WITH ALUMINUM FRAME, COLOR: DARK BROWN, WITH INSULATED WINDOW, GRAY TINT
7 PARAPET WALL WITH STANDING SEAM ALUMINUM COPING, DARK BROWN FINISH
8 ATLAS BRICK INSULATED VENEER OVER STRUCTURAL CMU, SEE STRUCTURAL FOR CMU WALL

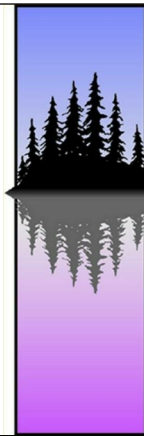


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DAVIS AQUEDUCT
REACH 1 PARALLEL
PIPELINE PROJECT

REVISIONS

REV	DATE	DESCRIPTION

LINE IS 2 INCHES
AT FULL SIZE

DESIGNED: F.THALMANN

DRAWN: T.BOUFFARD

CHECKED:

APPROVED: F.THALMANN

FILENAME

BC PROJECT NUMBER

152858

CLIENT PROJECT NUMBER

PUMP STATION -
ELEVATIONS 1

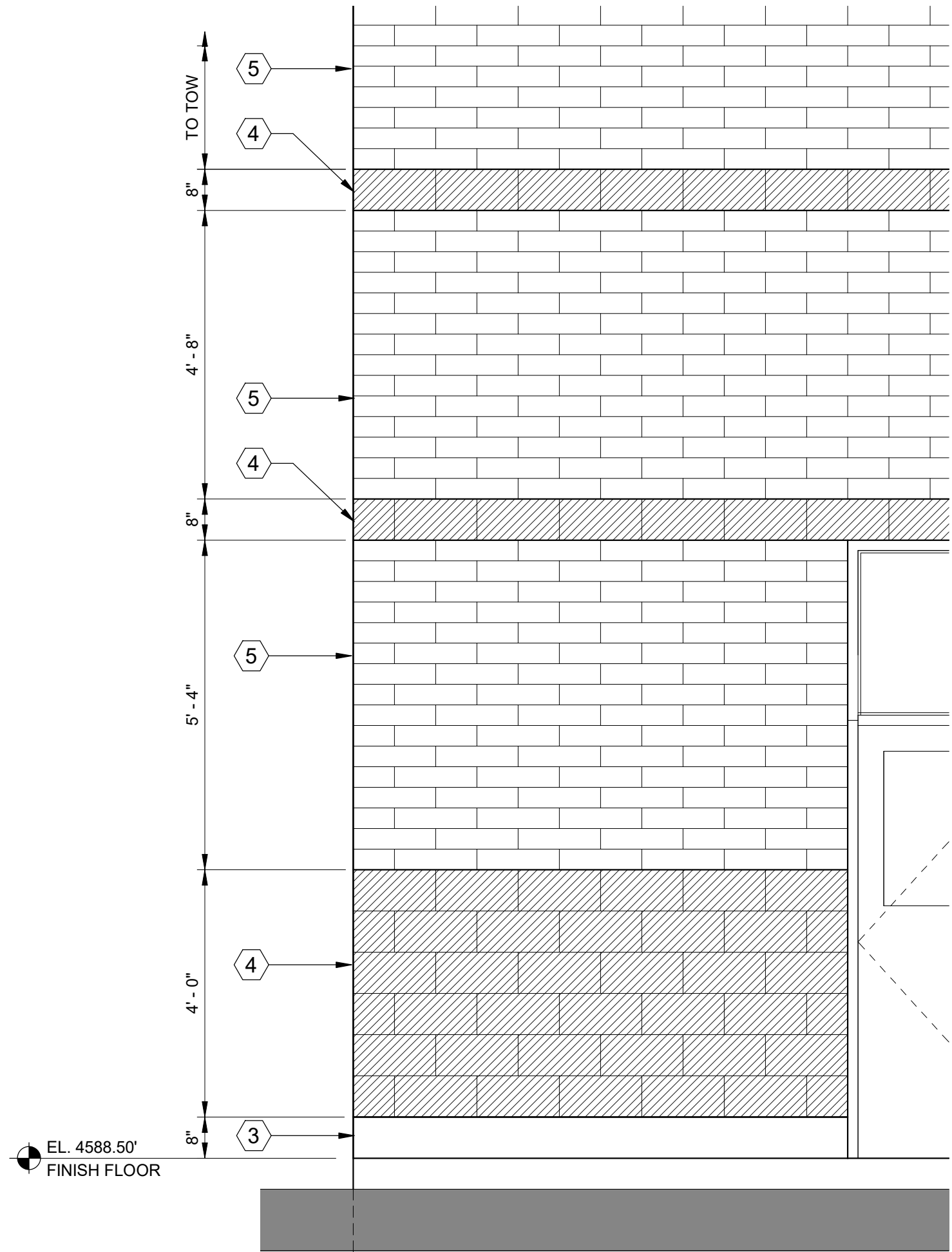
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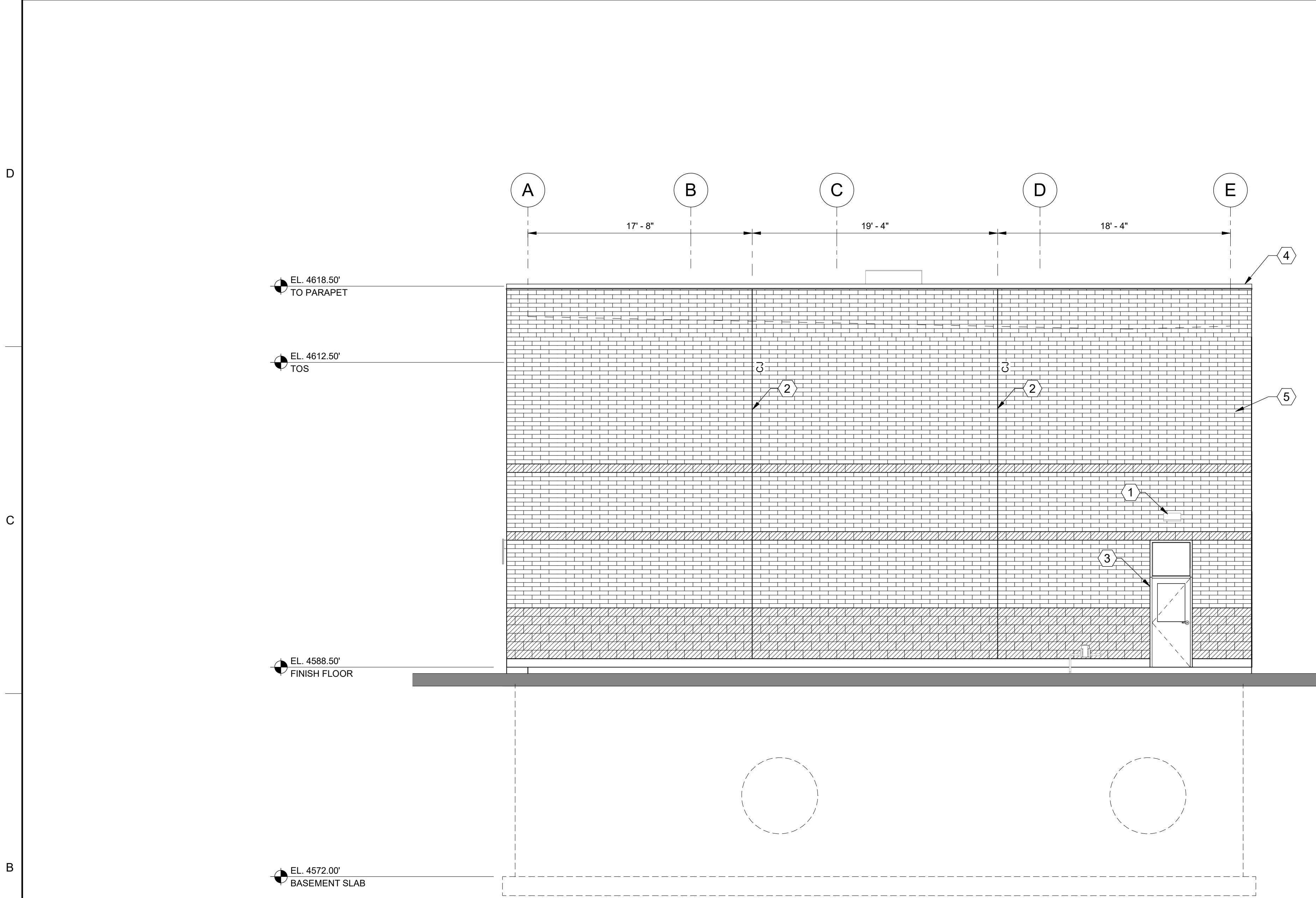
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Plot Date: 9/1/2021 12:02:41 PM Path: T:\dms88829\152858-A-30\19.rvt



NOTE:
1. FOR CMU WALL AND CONCRETE ARTICULATION
SEE DETAIL A / A-30-201

3 PLAN - WEST ELEVATION
A-30-101 SCALE: 3/16" = 1'-0"

GENERAL NOTES:

1. FOR SURFACE-MOUNTED LIGHT FIXTURES, SEE ELECTRICAL DRAWINGS.

KEYNOTES:

- 1 WALL PACK LIGHT FIXTURE, SEE ELECTRICAL
- 2 MASONRY CONTROL JOINT
- 3 FRP DOOR WITH ALUMINUM FRAME, COLOR: DARK BROWN, WITH INSULATED WINDOW, GRAY TINT
- 4 PARAPET WALL WITH STANDING SEAM ALUMINUM COPING, DARK BROWN FINISH
- 5 ATLAS BRICK INSULATED VENEER OVER STRUCTURAL CMU, SEE STRUCTURAL FOR CMU WALL

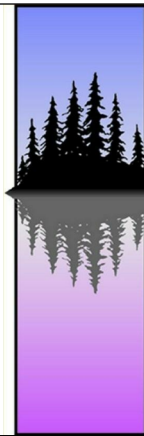


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PIPELINE PROJECT

REVISIONS

REV	DATE	DESCRIPTION

LINE IS 2 INCHES
AT FULL SIZE

DESIGNED: F.THALMANN

DRAWN: T.BOUFFARD

CHECKED:

APPROVED: F.THALMANN

FILENAME

BC PROJECT NUMBER

152858

CLIENT PROJECT NUMBER

PUMP STATION -
ELEVATIONS 3

DRAWING NUMBER

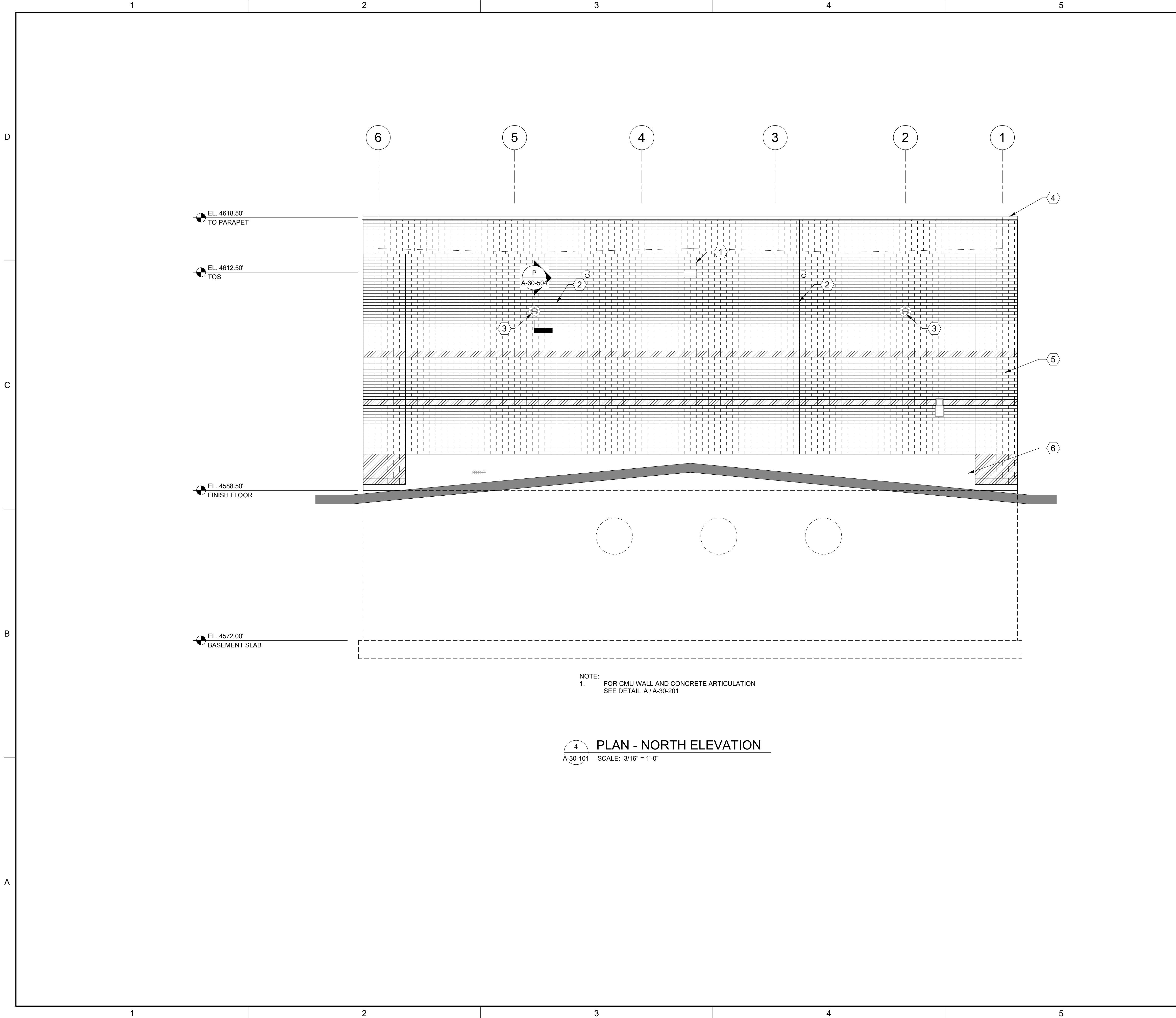
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SHEET NUMBER
OF

75

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- GENERAL NOTES:
1. FOR SURFACE-MOUNTED LIGHT FIXTURES, SEE ELECTRICAL DRAWINGS.
- KEYNOTES:
- 1

WALL PACK LIGHT FIXTURE, SEE ELECTRICAL
- 2

MASONRY CONTROL JOINT
- 3

ROOF DRAIN SPOUT, BRASS
- 4

PARAPET WALL WITH STANDING SEAM ALUMINUM COPING, DARK BROWN FINISH
- 5

ATLAS BRICK INSULATED VENEER OVER STRUCTURAL CMU, SEE STRUCTURAL FOR CMU WALL
- 6

EXPOSED STRUCTURAL CONCRETE BASE WALL, STONE RUBBED FINISH, SEE STRUCTURAL FOR MORE INFORMATION

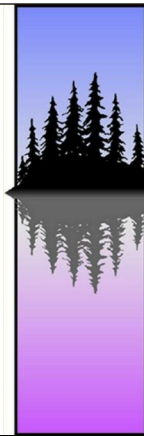


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PIPELINE PROJECT

REVISIONS

REV	DATE	DESCRIPTION

LINE IS 2 INCHES
AT FULL SIZE

DESIGNED: F.THALMANN

DRAWN: T.BOUFFARD

CHECKED:

APPROVED: F.THALMANN

FILENAME

BC PROJECT NUMBER

152858

CLIENT PROJECT NUMBER

PUMP STATION -
ELEVATIONS 4

DRAWING NUMBER

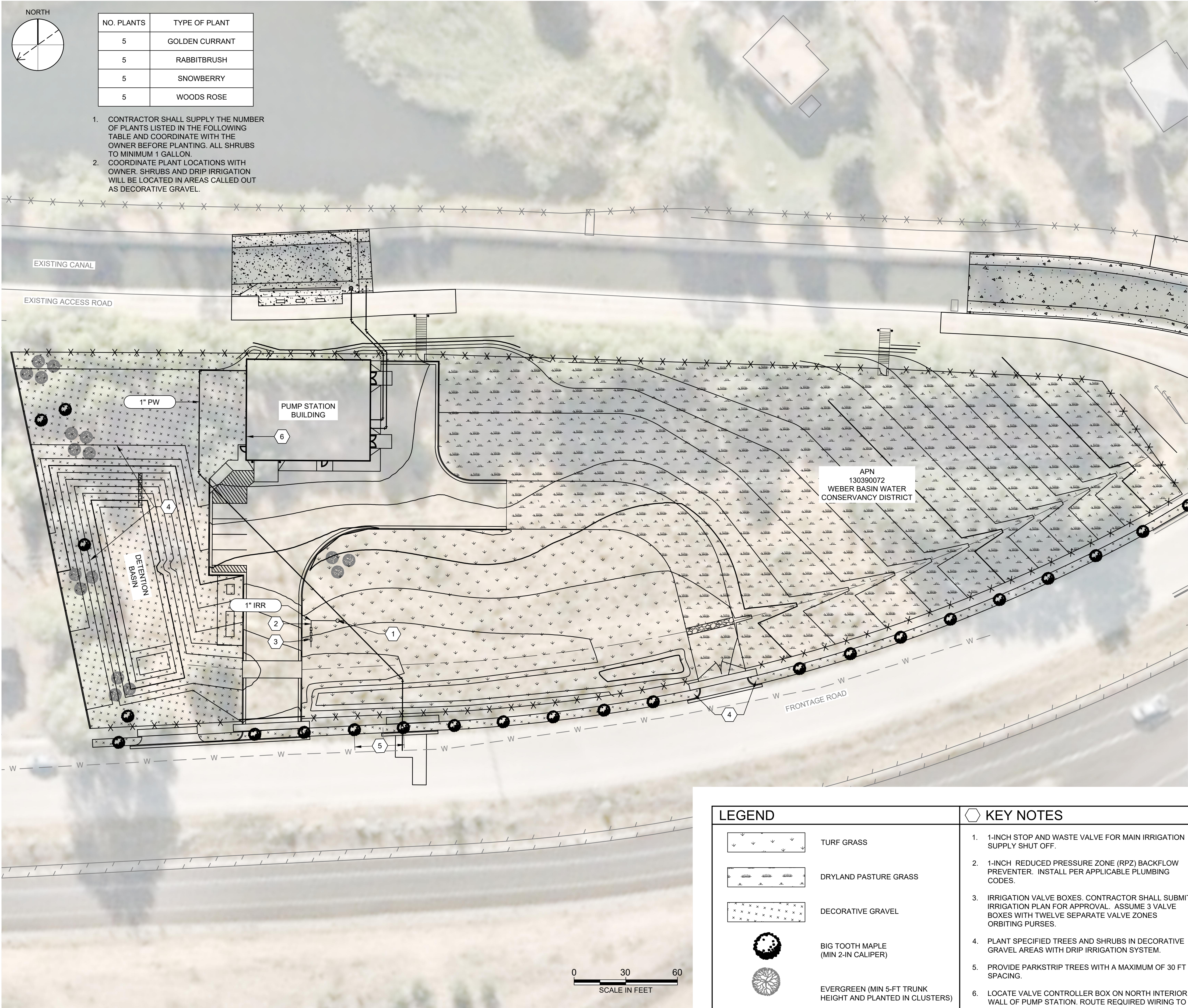
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OF

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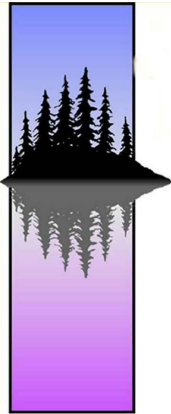


GENERAL LANDSCAPING AND IRRIGATION NOTES

1. CONTRACTOR SHALL MAKE A SITE VISIT TO THE PROJECT TO BECOME FAMILIAR WITH EXISTING SITE CONDITIONS PRIOR TO SUBMITTING ANY SUBMITTALS FOR APPROVAL OR PROCURING ANY PLANT MATERIALS OR EQUIPMENT FOR THE WORK.
2. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING LOCATIONS OF ALL EXISTING SITE UTILITIES AND YARD PIPING PRIOR TO COMMENCING ANY LANDSCAPE WORK.
3. PRIOR TO BEGINNING ANY PLANTING, CONSTRUCTION OF THE SIDEWALKS, PAVEMENT AND IRRIGATION SYSTEM SHALL BE COMPLETED AND THE APPLICABLE TESTS ACCEPTED BY THE ENGINEER. TOPSOIL SHALL BE PLACED IN APPROVED BY THE ENGINEER.
4. ALL PLANTS SHALL BE PLACED IN THE APPROXIMATE LOCATION SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR OWNER IF THERE IS A CONFLICT WITH PLANT LOCATIONS AND EXISTING FACILITIES INCLUDING UNDERGROUND UTILITIES AND PIPING IN YOUR SHALL APPROVE THE RELOCATION OF PLANT MATERIALS. ALL TREES AND SHRUBS SHALL BE A MINIMUM OF 3-FT HORIZONTAL SEPARATION FROM ALL UTILITIES.
5. NO SUBSTITUTES OF SPECIFIED PLANT MATERIAL SHALL BE ALLOWED UNLESS APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
6. ALL AREAS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE 2 WEEKS PRIOR TO PLANTING TREES, SHRUBS, PERENNIALS, GROUND COVER, SOD OR TYPE 2 SEEDING.
7. LANDSCAPE WEED BARRIER FABRIC SHALL BE INSTALLED IN ALL PLANTING BEDS PRIOR TO PLACEMENT OF SPECIFIED ROCK. THE CONTRACTOR SHALL SUBMIT SAMPLES AND SPECIFICATIONS OF THE WEED BARRIER FABRIC FOR APPROVAL BY THE ENGINEER PRIOR TO INSTALLATION.
8. EROSION CONTROL FABRIC SHALL BE PLACED ON ALL SLOPE STEEPER THAN 3 TO 1.
9. LANDSCAPE EDGING SHALL BE INSTALLED AROUND ALL TREES, RIPRAP AREAS , AND AREAS SCHEDULED TO RECEIVE GRASS.
10. CONTRACTOR SHALL PROVIDE TEMPORARY EROSION CONTROL SUCH AS WATTLES UNTIL NEW VEGETATION HAS TAKEN HOLD.
11. CONTRACTOR SHALL PROVIDE MOW CURB AND DECOMPOSED GRANITE AS SPECIFIED AROUND ALL TREES.
12. SEE SPECIFICATIONS AND DETAILS AS THEY APPLY TO THIS AND RELATED WORK
13. THE NUMBER OF SPRINKLERS AND SPACING SHALL BE VERIFIED BY THE CONTRACTOR BASED ON SITE-SPECIFIC SOIL CONDITIONS AND PLANT MATERIAL CHARACTERISTICS AS RECOMMENDED BY THE MANUFACTURER.
14. THE CONTRACTOR SHALL SUBMIT DRAWINGS OF THE IRRIGATION SYSTEM AS HE INTENDS TO INSTALL TO THE ENGINEER PRIOR TO COMMENCING ANY WORK IN THE FIELD. THE DRAWINGS SHALL SHOW THE NUMBER OF HEADS, DRIP EMITTERS, GPM FOR EMITTERS, PLACEMENT OF ALL VALVES, MAIN LINE CONNECTIONS, LATERALS, AND OTHER PERTINENT ITEMS. THESE DRAWING SHALL BE APPROVED BY THE ENGINEER PRIOR TO COMMENCING IRRIGATION WORK.
15. THE CONTRACTOR SHALL PROVIDE DRIP IRRIGATION TO ALL TREES, SHRUBS, PERENNIALS, AND GROUND COVER.
16. ALL DRIP EMITTERS SHALL BE FITTED WITH FILTERS AS RECOMMENDED BY THE MANUFACTURER. WYE STRAINERS SHALL BE INSTALLED AT THE POINT OF INSTALLATION , UP-LINE OF EACH VALVE.
17. ALL DRIP LINES INSTALLED ON SLOPES SHALL BE POSITIONED ON THE UPHILL SIDE OF THE PLANT.
18. THE CONTRACTOR SHALL FLUSH AND ADJUST ALL DRIP LINES FOR OPTIMUM PERFORMANCE. THIS WORK SHALL INCLUDE SELECTING THE OPTIMUM FLOW RATE TO SERVE SITE CONDITIONS AND SPECIFIED PLANT MATERIALS AND TO THROTTLE THE FLOW AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PROCEDURE OR EACH STATION. THE CONTRACTOR SHALL MAKE A VISUAL INSPECTION OF DRIP OUTLET LINES IN CLEAR OBSTRUCTED LINES TO ENSURE FUNCTIONALITY OF THE DRIP SYSTEM.
19. THE CONTRACTOR SHALL PROTECT ALL WORK AND EQUIPMENT FROM DAMAGE AND THEFT AT ALL TIMES. REPLACEMENT OF ALL DAMAGED OR STOLEN PARTS SHALL BE AT THE CONTRACTOR'S EXPENSE UNTIL THE OWNER ACCEPTS THE WORK AND WRITING.
20. THE CONTRACTOR SHALL NOT RUN THE MAINLINE WITH ANY LATERALS IN THE SAME TRENCH.



90% DESIGN SUBMITTAL



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DAVIS
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REACH 1

REVISIONS

REV	DATE	DESCRIPTION
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LINE IS 2 INCHES
AT FULL SIZE

DESIGNED: T. BIRD

DRAWN: T. PRIDEMORE

CHECKED: J. WILLIAMS

CHECKED: -

APPROVED: J. WILLIAMS

FILENAME
L-01-201.DWG
BC PROJECT NUMBER
152858
CLIENT PROJECT NUMBER
XXXXXXX

LANDSCAPE

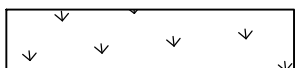
LANDSCAPE SITE
PLAN PUMP
STATION

DRAWING NUMBER

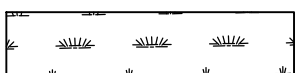
L-01-201

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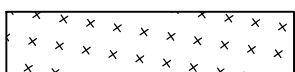
LEGEND



TURF GRASS



DRYLAND PASTURE GRASS



DECORATIVE GRAVEL



BIG TOOTH MAPLE
(MIN 2-IN CALIPER)



EVERGREEN (MIN 5-FT TRUNK
HEIGHT AND PLANTED IN CLUSTERS)

KEY NOTES

1. 1-INCH STOP AND WASTE VALVE FOR MAIN IRRIGATION SUPPLY SHUT OFF.
2. 1-INCH REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTER. INSTALL PER APPLICABLE PLUMBING CODES.
3. IRRIGATION VALVE BOXES. CONTRACTOR SHALL SUBMIT IRRIGATION PLAN FOR APPROVAL. ASSUME 3 VALVE BOXES WITH TWELVE SEPARATE VALVE ZONES ORBITING PURSES.
4. PLANT SPECIFIED TREES AND SHRUBS IN DECORATIVE GRAVEL AREAS WITH DRIP IRRIGATION SYSTEM.
5. PROVIDE PARKSTRIP TREES WITH A MAXIMUM OF 30 FT SPACING.
6. LOCATE VALVE CONTROLLER BOX ON NORTH INTERIOR WALL OF PUMP STATION. ROUTE REQUIRED WIRING TO VALVE BOXES AND IRRIGATION CONTROL VALVES.

Hi Kim,

I am sending you this email to answer your questions regarding the anticipated noise impact that the new pump station will have on the surrounding area. First, it is important to note that the main purposes of the pump station are as follows:

1. The Davis Aqueduct is normally supplied water from the Gateway Tunnel. One purpose of the DA R1 pump station is to provide the Davis Aqueduct with an alternative source of water to meet indoor demands in the event that the Gateway Tunnel or the section of the Davis Aqueduct upstream of the pump station needs to be temporarily taken out of service for maintenance activities. Gateway tunnel and/or aqueduct maintenance activities are scheduled events that typically occur approximately every 5 to 10 years and only last for a couple weeks.
2. In addition, the DA R1 pump station will be used to provide the Davis Aqueduct with an alternative source of water to meet indoor demands in the event that the Gateway Tunnel or a section of the Davis Aqueduct upstream of the pump station is damaged during a seismic event (earthquake). The pump station will then be used to supply water to the aqueduct until the damaged tunnel and/or aqueduct is repaired.

The estimated sound pressure emitting from the pump motors as measured at a distance of 5 ft from the motor is 80 decibels (see the attached cut sheet). For comparison purposes, 80 - 85 decibels is approximately the noise produced by an alarm clock, soup maker, or a diesel truck going 40 mph. However, the pump station building envelope consists of an insulated solid grouted 12-inch thick CMU wall with a sound transmission class (STC) of approximately 60. This exceeds the International Building Code Section 1206.2 requirement that states that partitioning walls, floors, and ceilings separate dwelling units must have a minimum STC of 50. In other words, we are building something similar to a sound wall enclosure around the pumps. In addition, the distance of the pump station to the nearby residents will further reduce the pump noise. For example, the estimated noise reduction at the property line located 155 ft to the north is 30 decibels.

In conclusion, given that the pumps are not frequently operated, will be enclosed by a grouted CMU building, and are located a minimum of 155 ft away from the nearest residential property line, we do not anticipate that the noise from the pump station will adversely impact residents located nearby.

Thanks,

Tyler Bird, P.E.

NOISE

MODIFIABLE PRICING INSTRUCTIONS

24. NOISE -- TYPICAL VALUES (continued)

NOISE LEVELS: VERTICAL MOTORS 180-9600

The following are the Nidec Motor Corporation noise levels for vertical motors. The levels are measurements in dB(A) per ANSI 12.51 and NEMA MG-1, corrected to a free field under 60 Hz sine wave power at a reference level of 0.0002 dyne/cm². These are average expected values based on no-load testing and should not be guaranteed.

FRAME	RPM	WP-I		WP-II		TEFC/XP Standard & Energy Efficient		TEFC/XP Premium Efficient	
		Sound Pressure	Sound Power	Sound Pressure	Sound Power	Sound Pressure	Sound Power	Sound Pressure	Sound Power
180	3600	70	78	n/a	n/a	75	83	75	83
	1800	60	68	n/a	n/a	65	73	60	68
	1200 & slower	55	63	n/a	n/a	60	68	60	68
210	3600	75	78	n/a	n/a	75	83	75	83
	1800	60	68	n/a	n/a	65	73	65	73
	1200 & slower	55	63	n/a	n/a	60	68	60	68
250	3600	75	83	n/a	n/a	80	88	75	83
	1800	70	78	n/a	n/a	70	78	65	73
	1200 & slower	60	68	n/a	n/a	60	68	60	68
280	3600	75	84	n/a	n/a	80	89	80	89
	1800	70	79	n/a	n/a	70	79	70	79
	1200 & slower	60	69	n/a	n/a	65	74	65	74
320	3600	75	84	n/a	n/a	80	89	80	89
	1800	65	74	n/a	n/a	70	79	70	79
	1200 & slower	65	74	n/a	n/a	65	74	65	74
360	3600	75	84	n/a	n/a	85	94	80	89
	1800	65	74	n/a	n/a	75	84	75	84
	1200 & slower	65	74	n/a	n/a	70	79	65	74
400	3600	80	90	n/a	n/a	85	95	80	80
	1800	70	80	n/a	n/a	75	85	75	85
	1200 & slower	65	75	n/a	n/a	70	80	65	75
440	3600	80	90	n/a	n/a	90	100	80	90
	1800	70	80	n/a	n/a	80	90	75	85
	1200 & slower	70	80	n/a	n/a	75	85	65	75
447	3600	n/a	n/a	n/a	n/a	90	100	85	95
	1800	85	95	n/a	n/a	80	90	75	85
	1200 & slower	80	90	n/a	n/a	75	85	70	80
449	3600	n/a	n/a	n/a	n/a	90	102	92	105
	1800	n/a	n/a	-	-	90	102	92	105
	1200 & slower	n/a	n/a	-	-	85	97	87	100
5000	3600	91	103	91	103	90	103	91	103
	1800	86	98	86	93	90	103	86	103
	1200 & slower	80	93	80	93	85	98	80	93
5800	3600	n/a	n/a	n/a	n/a	97	109	97	109
	1800	n/a	n/a	n/a	n/a	92	104	92	104
	1200 & slower	n/a	n/a	n/a	n/a	92	104	92	104
6812 (TE)	3600	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	1800	n/a	n/a	n/a	n/a	92	108	92	108
	1200 & slower	n/a	n/a	n/a	n/a	92	108	92	108
6800-8000	3600	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	1800	90	105	85	100	n/a	n/a	n/a	n/a
	1200 & slower	85	100	80	95	n/a	n/a	n/a	n/a
9600	3600	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	1800	REFER TO OFFICE		REFER TO OFFICE		n/a	n/a	n/a	n/a
	1200 & slower	90	105	85	100	n/a	n/a	n/a	n/a

Measurements are reported at 3 feet for NEMA® frames, 5 feet for TITAN® frames (449 and larger). Refer to the Inquiry Group for Noise Quotation Guidelines and Octave Band Analysis Chart.



† All marks shown within this document are properties of their respective owners.