

SOUTH WEBER CITY PLANNING COMMISSION AGENDA

PUBLIC NOTICE is hereby given that the **Planning Commission of SOUTH WEBER CITY**, Utah, will meet in a **REGULAR** public meeting on **Thursday, May 23, 2019** at the **South Weber City Council Chambers, 1600 East South Weber Drive**, commencing at **6:30 p.m.**

A WORK MEETING WILL BE HELD PRIOR TO THE REGULAR PLANNING COMMISSION MEETING AT 6:00 P.M. TO DISCUSS
AGENDA ITEMS, CORRESPONDENCE, AND/OR FUTURE AGENDA ITEMS

THE AGENDA FOR THE REGULAR MEETING IS AS FOLLOWS*

1. Welcome, Pledge of Allegiance—Commissioner Walton
2. Approval of Consent Agenda
 - a. Minutes 2019-05-09, Minutes 2019-04-25
3. **Public Hearing and Action on Final Approval for Riverside RV Park Conditional Use:** At approx. 852 E Cottonwood Ln. (11.85 acres) parcel 13-018-0021 & 07-109-0017 by FM Winkel Family LLC.
4. **Action on Final Approval for Harvest Park Phase 2 (6 Lots):** At approx. 725 E South Bench Drive (2.07 acres) parcel 13-018-0085 by Bruce Nilson, Harvest Park Community LLC.
5. General Plan Review: Revisit Trails & Address Moderate Income Housing
6. Public Comments – Please keep public comments to 3 minutes or less per person
7. Planning Commissioner Comments (Grubb, Walton, Pitts, Johnson, Osborne)
8. Adjourn

THE UNDERSIGNED DEPUTY RECORDER FOR THE MUNICIPALITY OF SOUTH WEBER CITY HEREBY CERTIFIES THAT A COPY OF THE FOREGOING NOTICE WAS MAILED, EMAILED OR POSTED TO THOSE LISTED ON THE AGENDA ALONG WITH THE FOLLOWING:

City Office Building

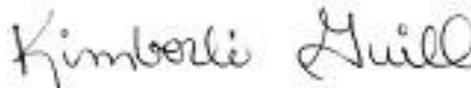
www.southwebercity.com

Family Activity Center

Utah Public Notice website
(www.utah.gov/pmn)

South Weber Elementary

Each Member of The Planning Commission



KIMBERLI GUILL, DEVELOPMENT COORDINATOR

DATE: May 16, 2019

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, INDIVIDUALS NEEDING SPECIAL ACCOMMODATIONS DURING THIS MEETING SHOULD NOTIFY LISA SMITH, 1600 EAST SOUTH WEBER DRIVE, SOUTH WEBER, UTAH 84405 (801-479-3177) AT LEAST TWO DAYS PRIOR TO THE MEETING.

* Agenda are flexible and may be moved in order or sequence to meet the needs of the Commission.

SOUTH WEBER CITY PLANNING COMMISSION MEETING

DATE OF MEETING: 25 April 2019

TIME COMMENCED: 6:00 p.m.

LOCATION: South Weber City Office at 1600 East South Weber Drive, South Weber, UT

PRESENT: COMMISSIONERS:

Tim Grubb
Debi Pitts (excused)
Rob Osborne
Wes Johnson (excused)
Taylor Walton (excused)

CITY ENGINEER:

Brandon Jones

CITY PLANNER:

Barry Burton

DEVELOPMENT COORDINATOR:

Kimberli Guill

Transcriber: Minutes transcribed by Michelle Clark

ATTENDEES:

Commissioner Osborne excused Commissioners Pitts, Johnson, and Walton.

Approval of Consent Agenda (Lack of quorum – no approval)

- **Minutes 11 April 2019**

General Plan Review: Review Section 3, Land Use Goals and Projections: Barry Burton, City Planner, stated the Agricultural Section in the General Plan uses verbiage that was used years ago and focuses on preserving agriculture and the character that lends to the community. He said South Weber City is changing and agricultural areas are being converted to residential development. The Planning Commission discussed the Fisher property and surrounding areas. Brandon Jones, City Engineer, said there are topographic issues along the hillside and so more of a cluster type development makes more sense. He feels that one acre lots would be difficult to sale because of infrastructure costs. Barry said there is also the noise zone area. Brandon said the city needs to obtain updated easement information for this area as well. Commissioner Grubb said many of the easements are available at the county. Barry said the general plan makes some broad statements about agriculture and wonders if they are still valid. Discussion took place regarding whether or not agricultural property should be preserved. Barry said the city has preserved open space verses agriculture. Commissioner Osborne said we have preserved more of a recreational feel. It was decided that Barry would take out agricultural lands and replace it with preserving open space. Barry discussed amending the master plan concerning private right-of-ways. He said there are consistent problems with private right-of-ways and he doesn't feel the city wants to encourage them.

Discussion took place regarding residential uses. He said the ratio is changing with single family dwellings. Commissioner Osborne suggested changing the commercial overlay density to commercial mixed use.

Barry discussed the current industrial uses. He said the city now has Sure Steel. He asked if the city needs to plan for industrial areas and where? He suggested everything along Cornia Drive being designated industrial use. Commissioner Osborne discussed moving the park and ride location east of Highway 89. He suggested Geneva Gravel Pit be identified light industrial. It was suggested to identify Geneva Gravel Pit as light industrial with an asterisk and commercial recreation and Parsons Gravel Pit as commercial highway with an asterisk and commercial recreation. The Cook property (located along 2700 East) was suggested to be identified as high density. Barry said there will need to be a change to the acreage in the ordinance because it currently is a minimum of two acres. Commissioner Osborne suggested breaking up the Murray property to allow for high density and commercial highway. It was decided to take the commercial overlay off of the Murray property on the north of South Weber Drive and the park and ride. Discussion took place regarding the Ray property on South Weber Drive. It was stated there isn't a need for commercial in this location with the east and west end entrances to the city being identified commercial highway. It was decided to identify the Ray property and city hall as high density. The Planning Commission identified the Stephens property and the west end entrance to the city as commercial overlay on both sides of the street, and the Kap property as light industrial. Barry said we need to specifically identify areas on the south bench area.

ADJOURNED: 8:30 p.m.

APPROVED:

Chairperson: Rob Osborne

Date

Transcriber: Michelle Clark

Attest:

Development Coordinator: Kimberli Guill



APPLICATION PROCESS: Please submit all requested items and answer all questions as completely as possible, omissions may delay processing. If there are any questions, contact the City Office at (801) 479-3177.

- ☒ Application with fee (See current City Fee Schedule)
- ☒ Site plan, if applicable
- ☒ Copy of the recorded plat showing subject property (clearly marked) and all properties within 300 feet (front, back and sides). This information is available at the Davis County Recorder's Office.
- ☐ One set of labels with names and mailing addresses of all property owners within 300 feet of the outer boundary of subject property. Including "Or current resident" is recommended. Names are available at Davis County Assessor's Office. Allow 2 days for processing. The Assessor can also provide the labels for an additional fee.
- ☒ A list of the above names and addresses.
- ☐ A copy of the fire inspection showing approval. Contact the Fire Marshal to schedule an appointment, 801-540-7094.

Conditional Use Application

CU_____

Property Owner: FM Winkel Family LLC Phone: 801 310 6948

Full Mailing Address: 3651 N. 100 E. #125 DRUG, UT 84604

Property Address: 852 E Cottonwood Dr. Email: mckaywinkel@6mail.com

Proposed Use: RV Resort Parcel Number(s): 13-018-0021; 07-109-0017

Total Acres: 11.85 Current Zone: CR If Rezoning, to what zone: -

Bordering Zones: A Surrounding Land Uses: mobile home park, 1/84, Ag

Business Name (if applicable): TBD

Anticipated # of Employees: 5+ Anticipated # of Customers (Daily): seasonal but 150 average

Available Parking Spaces: 133 Hours of Operation 9am-5pm

Residential Units (if applicable): 0, NA #of Dogs (Kennels Only): _____

Hours of Operation: _____

APPLICANT'S AFFIDAVIT

State of Utah)
County of Utah)

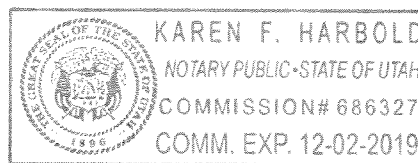
I, Mckay Winkel (Manager of Fruwinkel Family), the sole owner or Authorized Agent of the Owner of the property involved in this application, swear the statements and answers contained herein, in the attached plans, and other exhibits, and that the statements and information above referred to are in all respects true and correct to the best of my knowledge and belief.

I do also hereby give permission to South Weber City to place a city "public notice" sign on the property contained in this application for public notification of the conditional use application and to enter the property to conduct any inspections related to this application.

Date 5/7/19 Owner or Agent's Signature [Signature]

Subscribed and sworn to before me on 5/7/19

Notary Public Karen F. Harbold



If someone will be acting on behalf of the owner, fill out the information below.

AGENT AUTHORIZATION

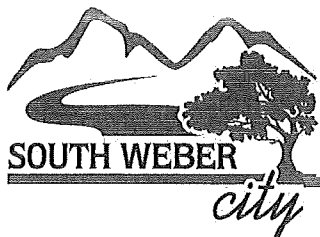
State of Utah)
County of _____)

I, _____, the sole owner(s) of the real property in this application, hereby appoint _____ as my agent with regard to this application and authorize said agent to appear on my behalf before any city commission, board or council considering this application.

Date _____ Owner's Signature _____

Subscribed and sworn to before me on _____

Notary Public _____



1600 E. South Weber Drive
South Weber, UT 84405

www.southwebercity.com

801-479-3177
FAX 801-479-0066

RIVERSIDE RV PARK REVIEW

By Barry Burton 5.16.19

APPLICANT: FM Winkel Family LLC

REQUEST: Conditional Use approval for an RV Park next to the Weber River east of the bridge into Uintah.

GENERAL INFORMATION: The Park will consist of 100 sites, 23 of which will be Park Units (tiny homes) that will be rental units with 77 back-in or pull-through spaces. This is well within the number of spaces allowed by the ordinance on an 11.62-acre parcel. There will also be an office building and a restroom/shower building that will be permanent structures. Amenities include a swimming pool and a pickleball court and, of course, the river trail that will be built by others.

ORDINANCE COMPLIANCE: There are several conditions listed in Section 10.7F.1 of the Zoning Ordinance that I believe have all been met. The only site requirement of 10.7F.2 that has not been met is the requirement for a 100' setback for any sites to a road. The sites are considerably less than 100' from the freeway, but there is a provision in the code that allows the Planning Commission to approve something less. In this case, I don't think the freeway will be impacted in any way and there is a large approx. 70' space from the freeway right-of-way fence to the actual closest travel lane. I believe the Planning Commission has reasonable justification to approve a less than 100' setback on the I-84 side.


OTHER: The main waterline within the site will need to be City owned and maintained and will therefore require an easement be granted to the City for that purpose. Other utilities within the site will be private.

The developers are willing to grant an easement along the river for the purpose of a public trail. The trail, however, be built by Weber Pathways at a later date. Therefore, Weber Pathways will need an easement for public use along the trail alignment. We propose that those easements be surveyed after construction in order to have a more accurate description of the locations and that the easements be provided prior to occupancy.

STAFF RECOMMENDATION: I recommend the Planning Commission approve this conditional use/site plan with the reduced setback along the freeway frontage.

MEMORANDUM

TO: South Weber City Planning Commission

FROM: Brandon K. Jones, P.E.
South Weber City Engineer 

CC: Barry Burton – South Weber City Planner
Mark Larsen – South Weber City Public Works Director

**RE: RIVERSIDE RV PARK – Conditional Use and Site Plan
Review Memo**

Date: May 16, 2019

Our office has completed a review of the Site Improvement Plans for the Riverside RV Park, dated March 26, 2019. We recommend approval subject to the following items.











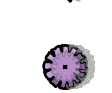











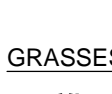


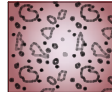
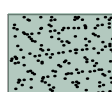
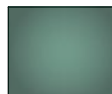
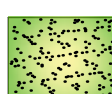


GENERAL

1. The property is zoned Commercial Recreation. A RV Park is a permitted use in this zone; due to the size being larger than one acre, it requires a Conditional Use Permit. **Any specific “conditions” beyond the requirements contained in City Code need to be specified by the Planning Commission.**
2. An approval letter has been received from UDOT allowing for the connection of storm drain lines to UDOT’s line that discharges to the Weber River.
3. An approval letter has been received from Central Weber Sewer District (CWSD) allowing for connection of the RV Park sewer system to their trunk line.
4. Any public utility line must be escrowed for prior to construction and have an easement recorded (see items 5 – 8 below). The easement can be done after construction, but before occupancy and use of the site will be allowed.

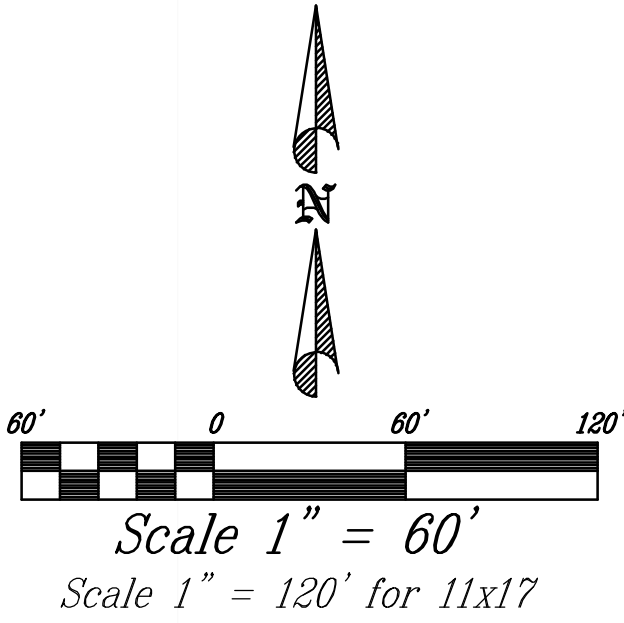
IMPROVEMENT PLANS

5. The culinary water lines will be public (including the meter), but the services will be privately owned and maintained.
6. The sewer main will be public, but the laterals will be privately owned and maintained.
7. The storm drain system will all be privately owned and maintained.
8. The City needs to approve the use of culinary water for outdoor (irrigation) use. Due to the unavailability of any irrigation provider in the area, we recommend allowing this use. However, the irrigation system will all be privately owned and maintained.
9. There is a list of requirements that was generated at the last Sketch Plan Meeting (May 9, 2019). These requirements were contained in the minutes of the meeting and have been provided to the developer. These requirements should be listed on the cover page of the improvement plans.



PLANT SCHEDULE					
TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	11	American Hornbeam / <i>Carpinus caroliniana</i>	B&B	2"	Cal
	25	Autumn Blaze Maple / <i>Acer freemanii</i> 'Autumn Blaze'	B&B	2"	Cal
	10	Emerald Queen Maple / <i>Acer platanoides</i> 'Emerald Queen'	B&B	2"	Cal
	13	Maidenhair Tree / <i>Ginkgo biloba</i> 'Autumn Gold'™	B&B		
	13	River Birch / <i>Betula nigra</i>	B&B	2"	Cal
	10	Shademaster Locust / <i>Gleditsia triacanthos inermis</i> 'Shademaster'™	B&B	2"	Cal
EVERGREEN TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	12	Austrian Pine / <i>Pinus nigra</i>	B&B		8-10'
	8	Emerald Green Arborvitae / <i>Thuja occidentalis</i> 'Smaragd'	B&B		6'
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	90	Black Lace Elderberry / <i>Sambucus nigra</i> 'Black Lace'	5 gal		
	56	Blue Mist Shrub / <i>Caryopteris x clandonensis</i> 'Dark Knight'	5 gal		
	32	Creeping Mahonia / <i>Mahonia repens</i>	5 gal		
	16	Dwarf Korean Lilac / <i>Syringa meyeri</i> 'Palibin'	5 gal		
	52	Dwarf Variegated Dogwood / <i>Cornus alba</i> 'Variegata'	5 gal		
	106	Fine Line Buchthorn / <i>Rhamnus frangula</i> 'Fine Line'	5 gal		
	84	Gro-Low Fragrant Sumac / <i>Rhus aromatica</i> 'Gro-Low'	5 gal		
	62	Japanese Spirea / <i>Spiraea japonica</i> 'Anthony Waterer'	5 gal		
	61	Mugo Pine / <i>Pinus mugo</i> 'Slowmound'	5 gal		
	91	Northern Gold Forsythia / <i>Forsythia</i> x 'Northern Gold'	5 gal		
	53	Purple Leaf Sand Cherry / <i>Prunus x cistena</i>	5 gal		
	46	Red Leaf Japanese Barberry / <i>Berberis thunbergii</i> 'Atropurpurea'	5 gal		
	59	Spirea / <i>Spiraea japonica</i> 'Goldmound'	5 gal		
ANNUALS/PERENNIALS	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	167	Emerald Blue Moss Phlox / <i>Phlox subulata</i> 'Emerald Blue'	1 gal		
	153	Stella de Oro Daylily / <i>Hemerocallis</i> x 'Stella de Oro'	1 gal		
	170	Stonecrop / <i>Sedum spurium</i> 'Red Carpet'	1 gal		
	137	Variegated Goutweed / <i>Aegopodium podagraria</i> 'Variegatum'	1 gal		
GRASSES	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	178	Blue Oat Grass / <i>Helictotrichon sempervirens</i>	1 gal		
	208	Feather Reed Grass / <i>Calamagrostis x acutiflora</i> 'Karl Foerster'	1 gal		
GROUND COVERS	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	47,744 sf	2"-4" Calico Cobble Rock / 2"-4" Calico Cobble Rock W/Dewitt Pro-5 Weed Barrier	Mulch		
	15,122 sf	Grey Chat / 4" Grey Chat	Mulch		
	42,345 sf	Kentucky Bluegrass / <i>Poa pratensis</i>	sod		
	70,524 sf	Native Grass & Wildflower Mix / Native Grass & Wildflower Mix	Hydroseed		

EXISTING TREE NOTE:
EXISTING TREES NOT DISTURBED BY CONSTRUCTION SHALL REMAIN



THIS DOCUMENT IS RELEASED
FOR REVIEW ONLY. IT IS NOT
INTENDED FOR CONSTRUCTION
UNLESS SIGNED AND SEALED.
CARL N. BERG L.A.
SERIAL NO. 7162790
DATE: 21 MAR 2019

MCKAY WINKEL
SOUTH WEBER RV PARK

SITE PLAN

berg
LANDSCAPE
ARCHITECTS
380 E Main St, Suite 204
Midway, UT 84049 ph. (801) 723-2000

DESIGN BY: CNB	DATE: 21 MAR 2019	SHEET
DRAWN BY: CNB	REV:	L1

RIVERSIDE R.V. PARK

CONSTRUCTION DOCUMENTS SOUTH WEBER, DAVIS COUNTY , UTAH

TRAFFIC CONTROL & SAFETY NOTES

1. BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT STATE OF UTAH DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES, AND THE CURRENT CITY STANDARD DRAWING, AND SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO ANY WORK.
2. NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE CITY TRAFFIC ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
3. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
4. DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
5. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER
6. TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS: OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS". THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

SANITARY SEWER GENERAL NOTES

1. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN CONFORMANCE WITH CENTRAL WEBER SEWER IMPROVEMENT DISTRICT (CWSID) STANDARDS AND SPECIFICATIONS.
2. ALL GRAVITY SANITARY SEWER LINES SHALL BE SDR-35 PVC MATERIAL. SEWER LINE CONSTRUCTION AND MATERIALS SHALL CONFORM TO ASTM STANDARDS AND SPECIFICATIONS.
3. DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT.
4. RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE.
5. COMPACTION TESTING OF ALL TRENCHES WITH THE PROJECT SITE MUST BE ATTAINED AND RESULTS SUBMITTED TO THE OWNER/ENGINEER PRIOR TO FINAL ACCEPTANCE.
6. CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING STRUCTURES AND IMPROVEMENTS DURING INSTALLATION OF SANITARY SEWER LINE.
7. WHERE CONNECTION TO EXISTING UTILITY IS PROPOSED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER/ENGINEER IF LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.
8. CAMERA TESTING AND PRESSURE TESTING PER CWSID STANDARD.
9. ALL MANHOLE FRAME AND COVERS TO BE WATERTIGHT.

GENERAL NOTES

1. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION OF SITE IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE CITY ENGINEER, PLANNING, CODES AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE DESIGNATED PUBLIC WORKS INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS.
4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY AND ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE.
5. THE CONTRACTOR SHALL HAVE ONE (1) COPY OF APPROVED PLANS, AND ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
7. IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED AND RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT DRAWINGS ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE, AND AVAILABLE TO THE CITY INSPECTOR AT ALL TIMES.
11. THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF WATER LINES AND DRY UTILITIES.
12. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS CONSISTENT WITH THE CONTRACTORS SCHEDULE FOR THIS PROJECT, WHETHER SHOWN OR NOT SHOWN AS IT RELATES TO THE CONSTRUCTION ACTIVITIES CONTEMPLATED IN THESE PLANS.

SWPPP GENERAL NOTES

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY THE CITY AND STATE.
2. ALL STRUCTURAL EROSION MEASURES SHALL BE INSTALLED AS SHOWN ON THE SWPPP PLAN, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.

STORM SEWER GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:
A) OBTAIN ALL REQUIRED PERMITS FROM THE CITY OR REGULATORY AGENCIES, INCLUDING PERMITS TO WORK IN THE RIGHT-OF-WAY.
B) RESTORATION OF EXISTING IMPROVEMENTS INCLUDING BUT NOT LIMITED TO FENCES, SOD, LANDSCAPING, PAVEMENT, SPRINKLER SYSTEM.
C) VERIFICATION AND PROTECTION OF ALL EXISTING IMPROVEMENTS WITHIN THE LIMITS OF CONSTRUCTION.
D) PROVIDING AS-BUILT DRAWINGS TO THE CITY AND THE ENGINEER.
E) ALL PERMITTING, DEVELOPMENT, LOCATION, CONNECTION AND INSPECTION AND SCHEDULING FOR SUCH.
2. ALL STORM SEWER CONNECTIONS SHALL BE IN CONFORMANCE WITH CITY STANDARDS AND SPECIFICATIONS.
3. RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH CITY STANDARDS AND SPECIFICATIONS AND PLANS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO PLACEMENT OF ASPHALT PAVING.
4. COMPACTION OF ALL TRENCHES WITHIN THE PROJECT SITE MUST BE ATTAINED AND COMPACTION RESULTS SUBMITTED TO THE ENGINEER AND THE CITY PRIOR TO FINAL ACCEPTANCE.
5. ALL STORM DRAIN PIPES IN THE CITY RIGHT-OF-WAY SHALL BE RCP CL III.
6. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE TRAFFIC BEARING LIDS. ALL STORM SEWER LIDS SHALL BE LABELED "STORM DRAIN".
7. WHERE CONNECTION TO EXISTING UTILITY IS PROPOSED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER/ENGINEER IF LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.

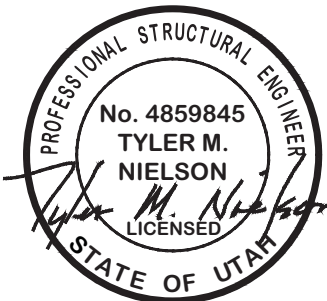
GENERAL GRADING NOTES

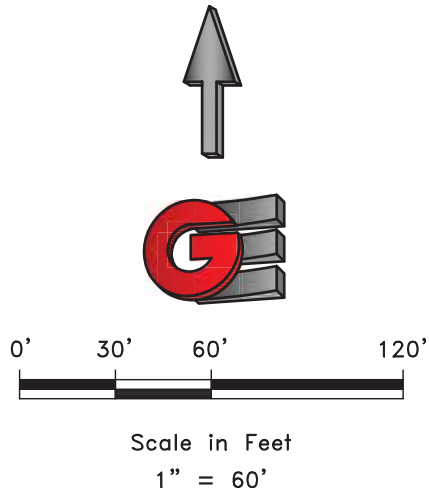
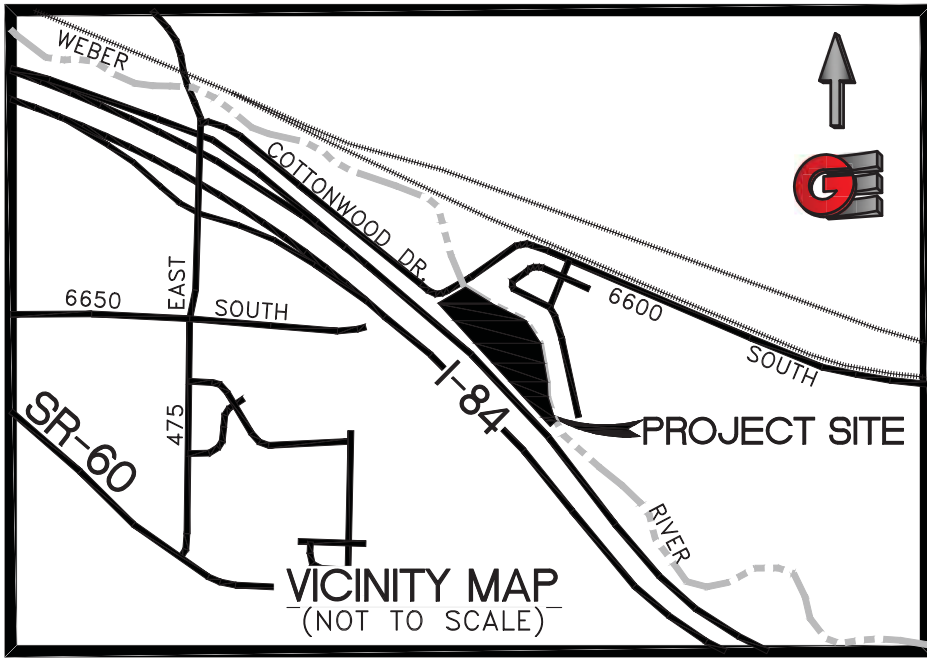
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST APWA STANDARDS AND SPECIFICATION FOR PUBLIC WORKS AND THE CITY STANDARDS. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS AND ENTRIES. FINISHED GRADE AT FOUNDATION FOR WOOD FRAMED STRUCTURES SHALL BE 8 INCHES BELOW TOP OF FOUNDATION AND DRAINAGE SHALL BE A MINIMUM OF 5% WITHIN 10 FEET FROM THE BUILDING.
2. MAXIMUM SLOPES SHALL BE 3:1 FOR CUT AND FILL UNLESS OTHERWISE NOTED.
3. COMPACTION REQUIREMENTS AND TESTING SHALL BE PERFORMED TO MEET THE CITY STANDARDS.
4. NO FILL SHALL BE PLACED UNTIL VEGETATION HAS BEEN REMOVED AND SUB-GRADE PREPARED PER THE SOILS REPORT.
5. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
6. CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN BY INSTALLING BMP'S PRIOR TO COMMENCEMENT OF EXCAVATION ACTIVITIES. CONTACT THE CITY INSPECTOR FOR INSPECTION.
7. ALL RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ALL SUBSEQUENT REPORTS, ADDENDUM ETC. SHALL BE CONSIDERED A PART OF THIS GRADING PLAN AND SHALL BE COMPLIED WITH.
8. THE CONTRACTOR SHALL CONTACT BLUE STAKES FOR LOCATION MARKING PRIOR TO COMMENCING EXCAVATION ACTIVITIES.
9. CITY MAY REQUIRE A PRE-CONSTRUCTION MEETING BEFORE A PERMIT IS ISSUED.
10. STREETS ADJACENT TO THE PROJECT SHALL BE CLEAN AT ALL TIMES.
11. CONTRACTOR IS RESPONSIBLE FOR ARRANGING FOR ALL REQUIRED INSPECTIONS.
12. PRIOR TO TAKING WATER FROM A CITY FIRE HYDRANT, THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE WATER UTILITY TO OBTAIN A WATER METER.

CULINARY WATER GENERAL NOTES

1. ALL INSTALLATION AND MATERIALS SHALL CONFORM TO SOUTH WEBER CITY STANDARDS, SPECIFICATIONS AND PLANS.
2. THRUST BLOCKING IS REQUIRED AT ALL BENDS AND FITTINGS. TIE RODS SHALL BE USED AT ALL BENDS AND FITTINGS WHERE THRUST BLOCKS DO NOT BEAR AGAINST UNDISTURBED SOIL.
3. ALL WATERLINES AT SEWER CROSSINGS SHALL BE LOCATED ABOVE AND HAVE AN 18-INCH VERTICAL SEPARATION FROM THE SEWER PIPE. IF THIS IS NOT PROVIDED, THE WATERLINE SHALL BE INSTALLED WITH 20 L.F. OF CONCRETE CASING CENTERED OVER THE SEWER PIPE.
4. DISINFECTION TESTS SHALL BE PERFORMED BY SOUTH WEBER CITY WITH COOPERATION FROM THE CONTRACTOR IN PERFORMING ANY NECESSARY EXCAVATION AND SUBSEQUENT BACKFILLING AT NO COST TO THE CITY.
5. CHLORINATION OF COMPLETED WATER LINE. THE NEW WATER LINES SHALL BE DISINFECTED BY CHLORINATION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL RELATED COSTS AND FEES RELATED TO THE CHLORINATION OF THE COMPLETED WATER LINE. THIS TEST SHALL BE PERFORMED PRIOR TO CONNECTION OF THE NEW WATER LINES TO THE EXISTING WATER SYSTEM. THE CONTRACTOR SHALL NOTIFY SOUTH WEBER CITY AT LEAST 24 HOURS BEFORE THE CHLORINATION IS DESIRED.
6. A MINIMUM HORIZONTAL CLEARANCE OF 10 FEET SHALL BE MAINTAINED FROM SANITARY SEWER MAINS.
7. UNLESS OTHERWISE SPECIFIED, ALL WATERLINES SHALL BE AWWA C900 PVC CLASS 150, PER ASTM D2241.
8. CONTRACTOR SHALL LOCATE VALVES PRIOR TO CONNECTION WITH EXISTING SYSTEM, BUT SHALL NOT OPERATE ANY VALVE WITHOUT PERMISSION FROM SOUTH WEBER CITY.
9. ALL WATER MAINS, VALVES, FIRE HYDRANTS, SERVICES AND APPURTENANCES SHALL BE INSTALLED, TESTED, AND APPROVED PRIOR TO PAVING.
10. THERE SHALL BE A WATER SUPPLY TO THE DEVELOPMENT BEFORE ANY WOOD CONSTRUCTION STARTS.
11. SOUTH WEBER CITY REQUIRES THE USE OF CORROSION RESISTANT MATERIALS FOR ALL CULINARY WATER IMPROVEMENTS. SPECIFICALLY, ROMAC BLUE BOLTS OR STAINLESS STEEL BOLTS MUST BE USED ON ALL FITTINGS. FURTHER, ALL METAL FITTINGS SHALL BE POLY WRAPPED.

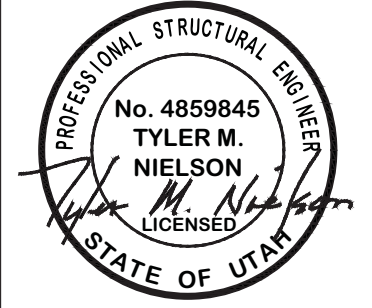
SHEET INDEX	
COVER	SHEET
C1	- EXISTING SITE CONDITIONS
C2	- OVERALL SITE PLAN
C3	- ENLARGED SITE PLAN
C4	- ENLARGED SITE PLAN
C5	- OVERALL SITE GRADING PLAN
C6	- ENLARGED GRADING PLAN
C7	- ENLARGED GRADING PLAN
PP1	- A STREET - PLAN AND PROFILE
PP2	- A STREET - PLAN AND PROFILE
PP3	- B STREET - PLAN AND PROFILE
PP4	- B STREET - PLAN AND PROFILE
PP5	- C STREET - PLAN AND PROFILE
PP6	- C STREET - PLAN AND PROFILE
PP7	- STORM DRAIN - PLAN AND PROFILE
D1	- TYPICAL SITE DETAILS
D2	- TYPICAL SITE DETAILS
D3	- TYPICAL UTILITY DETAILS
D4	- DETENTION POND AND DETAILS
SWP	- STORM WATER POLLUTION PREVENTION PLAN





DEVELOPER:
F.M. WINKEL FAMILY LLC
MCKAY WINKEL
3651 NORTH 100 EAST #125
PROVO, UT 84604
(801) 310-3948

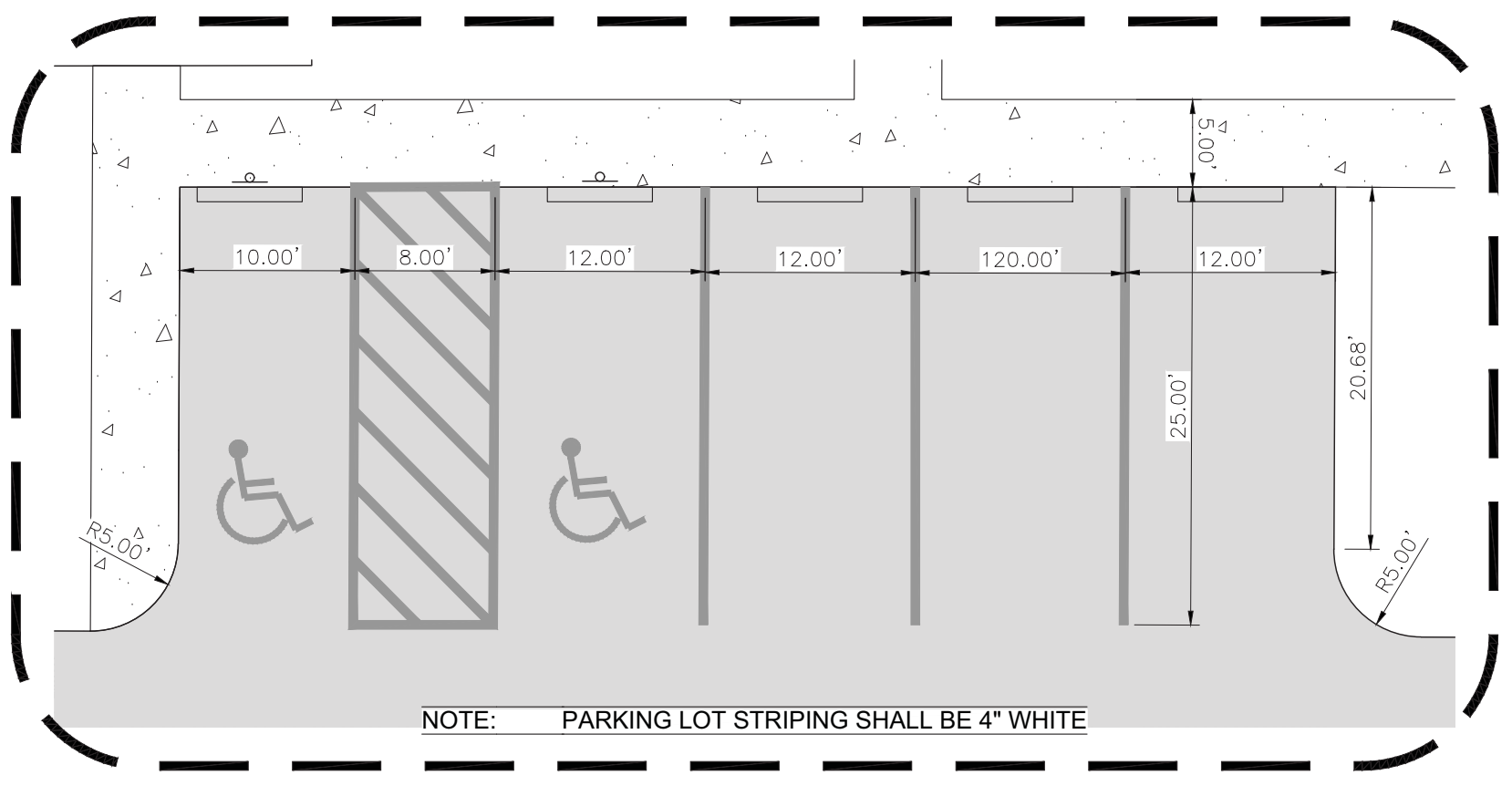
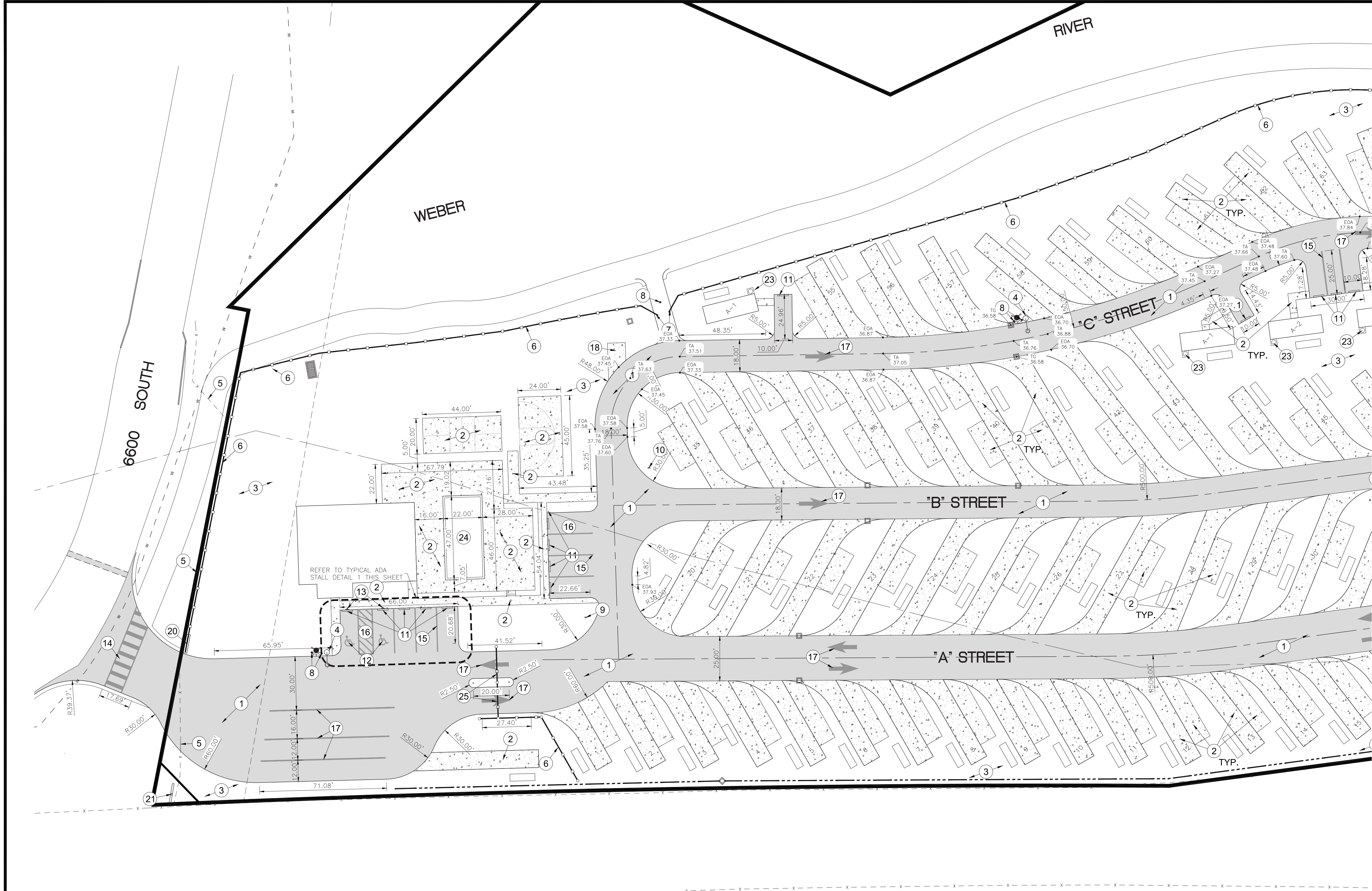
REVISIONS	
DATE	DESCRIPTION
DWG: R\2326 - WINKEL, MCKAY DESIGN\PROV PARK - CDS.DWG	



EXISTING SITE CONDITIONS
RIVERSIDE R.V. PARK
851 COTTONWOOD DRIVE
SOUTH WEBER, DAVIS COUNTY, UTAH



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TYPICAL ADA STALL DETAIL 1
NOT TO SCALE

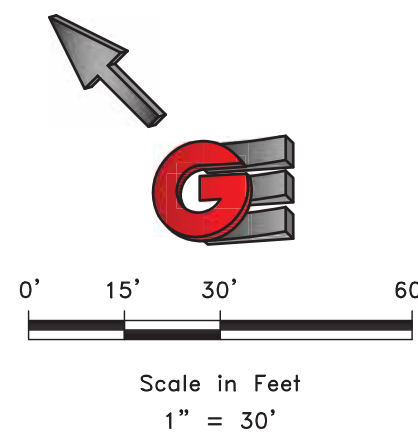
NOTE:
THE ELEVATION DIFFERENCE BETWEEN THE ASPHALT SURFACE AND THE CONCRETE SURFACE SHALL NOT EXCEED 1/4" VERTICAL OR 1/2" WHEN BEVELED. 2009 ANSI 117.303.502.5

- SITE PLAN NOTES**
1. STALLS DESIGNATED AS ADA WILL REQUIRE A PAINTED ADA SYMBOL AND SIGN. (SEE SHEET D1 FOR DETAIL)
 2. ACCESSIBLE ROUTES AND ADA RAMPS TO BE INSTALLED AS PER ADA STANDARDS.
 3. ACCESSIBLE ROUTE TO BE A MAX. SLOPE OF 5% AND A MAX. CROSS SLOPE OF 2% 2009 ANSI 117.403.3.
 4. MAXIMUM ELEVATION DIFFERENCE BETWEEN THE ASPHALT SURFACE OF THE PARKING SURFACE AND THE BOTTOM OF THE CONCRETE CURB RAMPS OR SIDEWALK HEIGHT SHALL NOT EXCEED 1/4" VERTICAL OR 1/2" WHEN BEVELED. 2009 ANSI 117.303.502.5
 5. AISLE MARKINGS, SOLID DIRECTIONAL ARROWS AND STOP BARS WILL BE PAINTED AT EACH DRIVEWAY AS SHOWN ON THE PLANS.
 6. BUILDING SIDEWALKS, RAMPS, AND BOLLARDS ARE RESPONSIBILITY OF THE BUILDING CONTRACTOR.
 7. SEE ELECTRICAL SITE PLAN FOR SITE LIGHTING DETAILS.
 8. DETAILED UTILITY DESIGN CAN BE FOUND ON PLAN AND PROFILE SHEETS PP1 THROUGH PP6.

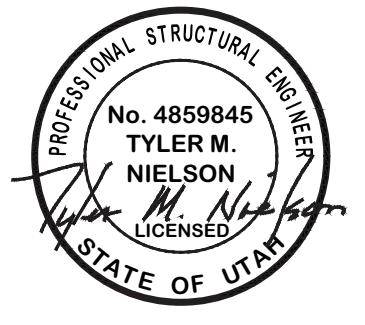
SITE PLAN KEY NOTES

- 1 ASPHALT PAVING SECTION (SEE DETAIL 1 ON SHEET D1)
- 2 CONCRETE SIDEWALK/PAVING. (SEE DETAIL 2 OR 4 ON SHEET D1)
- 3 PROPOSED LANDSCAPE AREA (SEE LANDSCAPE PLANS)
- 4 PROPOSED LIGHT POST AND BASE. (SEE ELECTRICAL PLANS)
- 5 EXISTING FENCE TO BE REMOVED.
- 6 SPLIT RAIL FENCE. (SEE DETAIL 1 SHEET D2)
- 7 SPLIT RAIL FENCE GATE.
- 8 6" STEEL PIPE BOLLARD. (SEE DETAIL 3 SHEET D1)
- 9 PROPOSED STOP SIGN POST. (SEE DETAIL 6 ON SHEET D1)
- 10 PROPOSED "DO NOT ENTER" SIGN POST. (SEE DETAIL 6 ON SHEET D1)
- 11 PRECAST CONCRETE WHEEL STOP
- 12 PROPOSED ADA PARKING SYMBOL. (SEE DETAIL 10 ON SHEET D1)
- 13 PROPOSED ADA PARKING SIGN. (SEE DETAIL 7 ON SHEET D1)
- 14 TYPICAL CROSSWALK STRIPING (SEE DETAIL 8 ON SHEET D1)
- 15 TYPICAL PARKING STRIPING TO BE 4" WHITE.
- 16 TYPICAL NO PARKING STRIPING (SEE DETAIL 9 ON SHEET D1)
- 17 TYPICAL PAVEMENT MARKINGS. (SEE SITE PLAN NOTES)
- 18 PROPOSED DUMPSTER ENCLOSURE. (SEE DETAIL 5 SHEETS D1)
- 19 PROPOSED TOOL SHED (SEE ARCH. PLAN SHEETS)
- 20 PROPOSED MONUMENT SIGN
- 21 PROPOSED POLE SIGN
- 22 PROPOSED TENT SITES
- 23 PROPOSED 120 GALLON PROPANE TANK
- 24 PROPOSED SWIMMING POOL
- 25 PARK ENTRANCE/EXIST GATES

LEGEND	
(NOTE: ALL LINES OR SYMBOLS MAY NOT APPEAR ON EACH SHEET)	
	BOUNDARY LINE
	CENTERLINE
	PUBLIC UTILITY AND DRAINAGE EASEMENT
	RIDGE LINE
	NEW DRAINAGE SWALE / DITCH
	EXISTING 5' CONTOUR AND ELEVATION
	EXISTING 1' CONTOUR AND ELEVATION
	DESIGN CONTOUR AND ELEVATION
	ASPHALT PAVING
	CONCRETE PAVING
	CONCRETE PAVING
	CULINARY WATERLINE
	CULINARY WATER LATERAL
	NEW FIRE HYDRANT
	WATER METER
	WATER VALVE
	STORM DRAIN LINE
	STORM DRAIN MANHOLE
	STORM DRAIN CATCH BASIN/INLET SUMP
	STORM DRAIN INLET BOX
	SANITARY SEWER PIPE
	SANITARY SEWER LATERAL
	SANITARY SEWER MANHOLE
	LIGHT POLE AND BASE

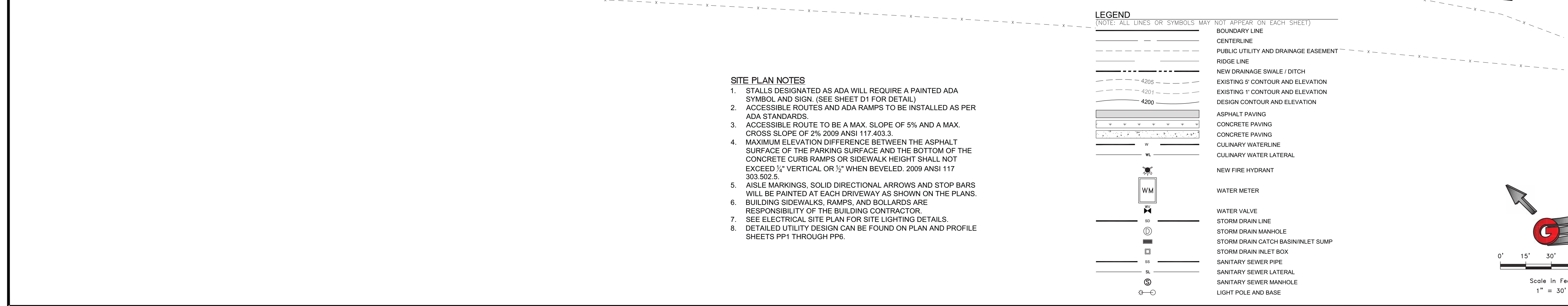


REVISIONS	
DATE	DESCRIPTION

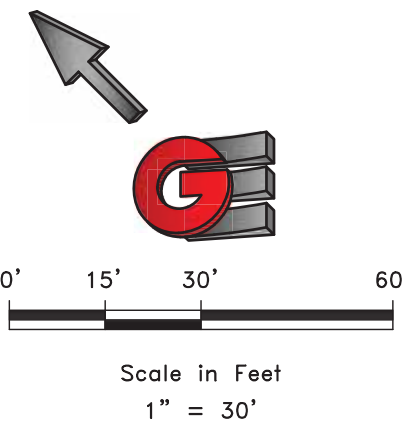


ENLARGED SITE PLAN
RIVERSIDE R.V. PARK
851 COTTONWOOD DRIVE
SOUTH WEBER, DAVIS COUNTY, UTAH

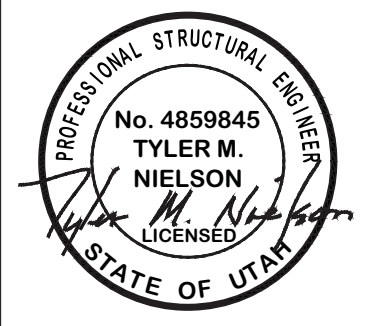
GARDNER ENGINEERING
CIVIL • LAND PLANNING
MUNICIPAL • LAND SURVEYING
5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801.476.0202 FAX: 801.476.0066



- | LEGEND | | (NOTE: ALL LINES OR SYMBOLS MAY NOT APPEAR ON EACH SHEET) | |
|--------|--------------------------------------|---|-----------------------------------|
| | BOUNDARY LINE | | CENTERLINE |
| | PUBLIC UTILITY AND DRAINAGE EASEMENT | | RIDGE LINE |
| | NEW DRAINAGE SWALE / DITCH | | EXISTING 5' CONTOUR AND ELEVATION |
| | EXISTING 1' CONTOUR AND ELEVATION | | DESIGN CONTOUR AND ELEVATION |
| | ASPHALT PAVING | | CONCRETE PAVING |
| | CONCRETE PAVING | | CULINARY WATERLINE |
| | CULINARY WATER LATERAL | | NEW FIRE HYDRANT |
| | WATER METER | | WATER VALVE |
| | STORM DRAIN LINE | | STORM DRAIN MANHOLE |
| | STORM DRAIN CATCH BASIN/INLET SUMP | | STORM DRAIN INLET BOX |
| | SANITARY SEWER PIPE | | SANITARY SEWER LATERAL |
| | SANITARY SEWER MANHOLE | | LIGHT POLE AND BASE |



REVISIONS		SCALE: 1" = 30'
DATE	DESCRIPTION	
DESIGN	ESD	
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DWG:		R:\2228 - WINKLE, MCKAY\DESIGN\DWG\RY PARK - CDS.DWG



ENLARGED SITE PLAN
RIVERSIDE R.V. PARK
851 COTTONWOOD DRIVE
SOUTH WEBER, DAVIS COUNTY, UTAH



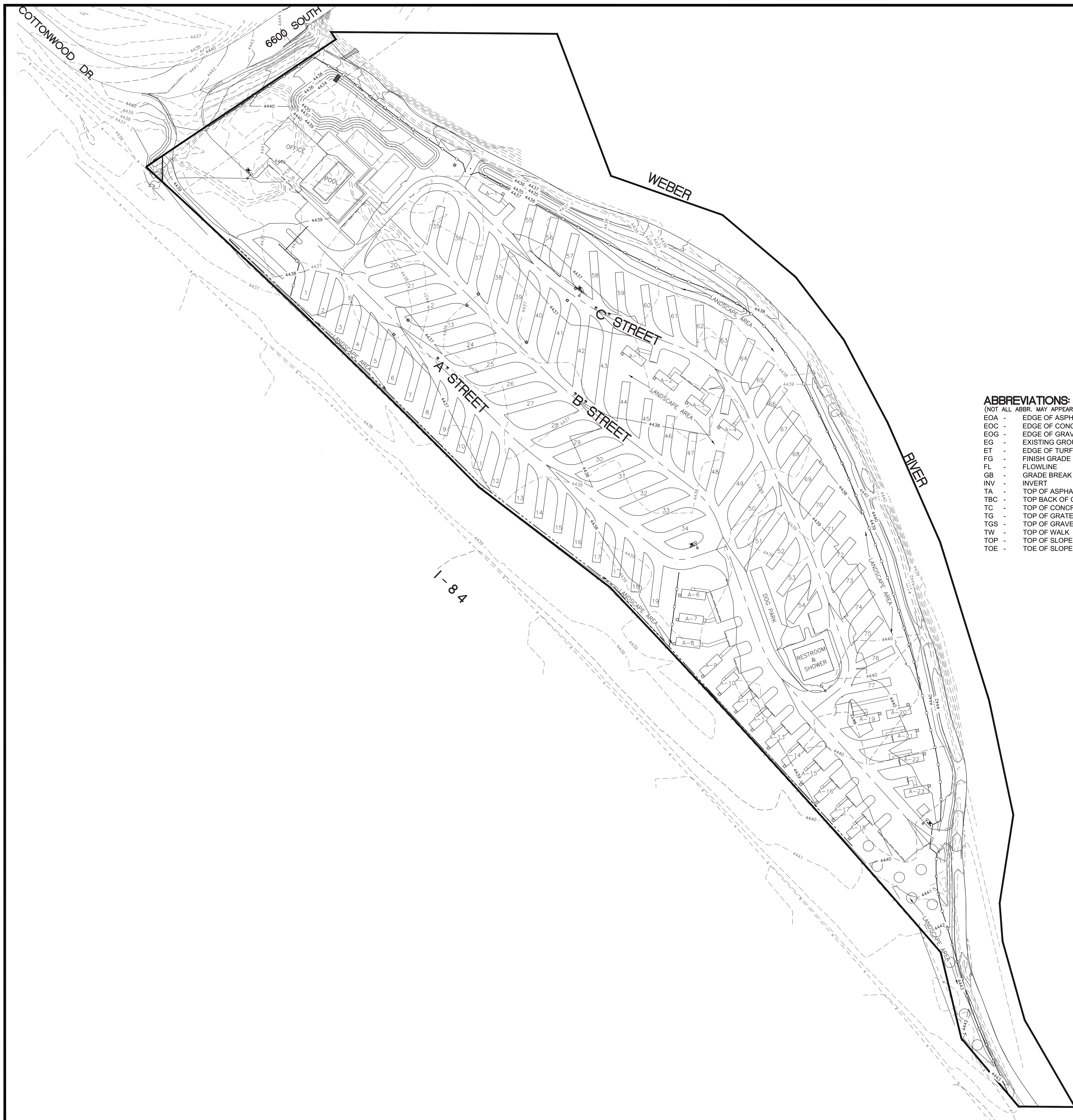
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C4

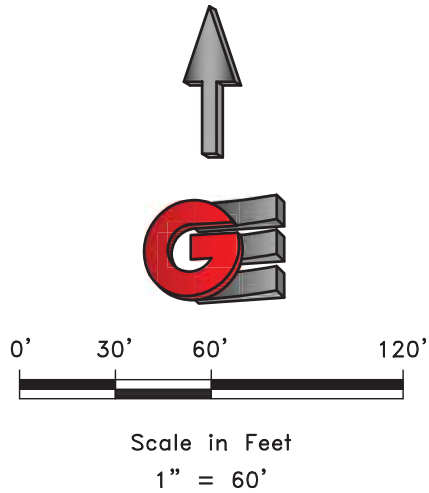
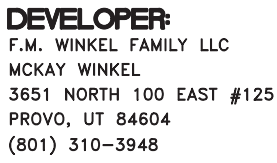
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ABBREVIATIONS:

- ## GENERAL GRADING NOTES:
- Refer to proposed road plan and profiles on sheets PP1 - P.P6.
 - All work shall be in accordance with South Water Public Works Standard.
 - Cut slopes shall be no steeper than 2 horizontal to 1 vertical.
 - Fill slopes shall be no steeper than 2 horizontal to 1 vertical.
 - Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by the geotechnical engineer.
 - Areas to receive fill shall be properly prepared and approved by the City inspector and geotechnical Engineer prior to placing fill.
 - Fills shall be benched into competent material as per specifications and geotechnical report.
 - All trench backfill shall be tested and certified by the site geotechnical engineer per the grading code.
 - A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
 - The final compaction report and certification from the geotechnical engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring, and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
 - Dust shall be controlled by watering.
 - The location and protection of all utilities is the responsibility of the permittee.
 - Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading project. (See SWPPP plans - sheet CSW011)
 - All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the city engineer.
 - The site shall be cleared and grubbed of a all vegetation and obstructions matter prior to grading.
 - The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
 - Aggregate base shall be compacted per the geotechnical report prepared for the project.
 - Elevations shown on this plan are finish grades. Rough grades are the subgrades of the improvements shown hereon.
 - As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
 - Accessible route to be a max. slope of 5% and a max. cross slope of 2% 2009 ANSI 117.403.3.
 - Maximum elevation difference between the asphalt surface of the parking surface and the bottom of the concrete curb ramps or sidewalk height shall not exceed $\frac{1}{4}$ " vertical or $\frac{1}{2}$ " when beveled. 2009 ANSI 117 303.502.5.

LEGEND



REVISIONS SCALE: 1" = 60' DATE: 3-26-2019 DESIGN: BSD DRAWN: BSD CHECKED: TMM		DWG: R:\2228 - WINKLE, MCATY\DESIGN\DWG\RY PARK - CDS.DWG
DATE	DESCRIPTION	



OVERALL SITE GRADING PLAN

RIVERSIDE R.V. PARK

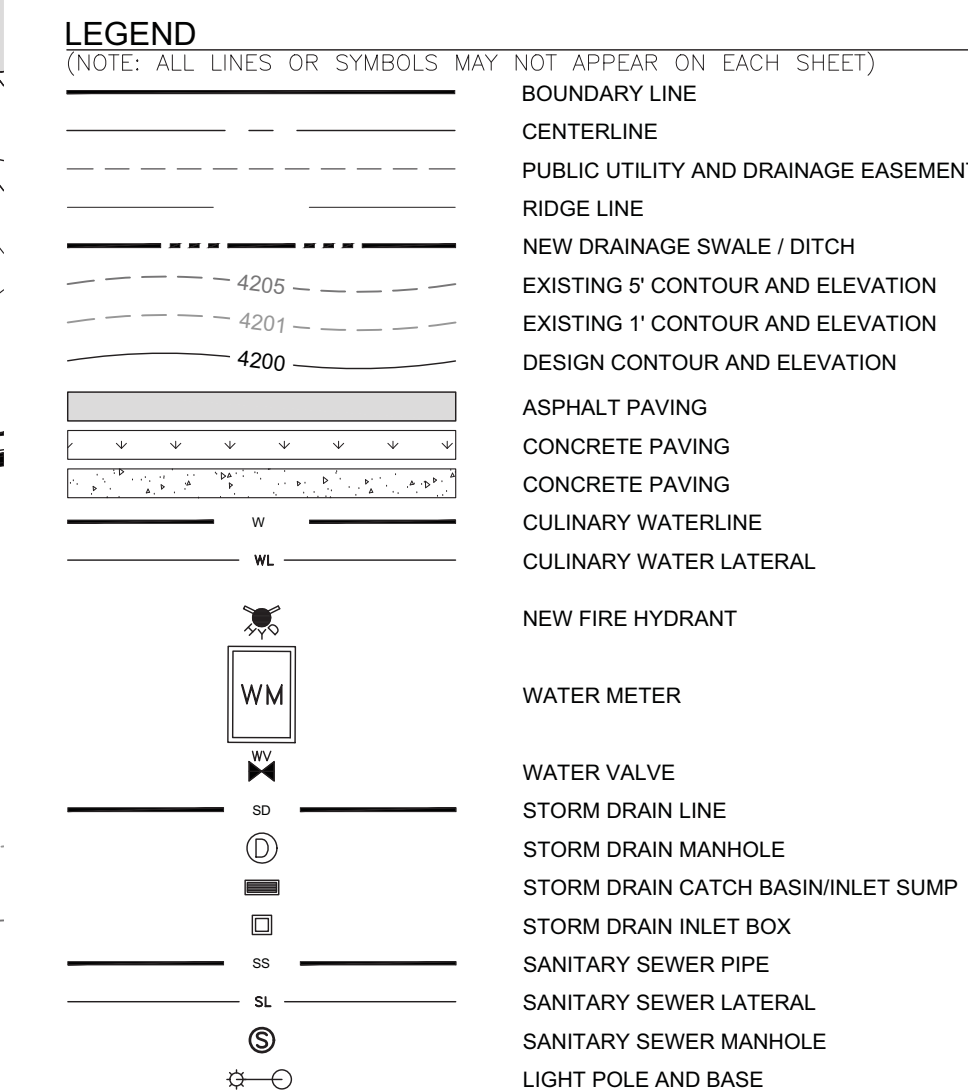
851 COTTONWOOD DRIVE

SOUTH WEBER, DAVIS COUNTY, UTAH



C5

20



NOTE:
THE ELEVATION DIFFERENCE BETWEEN THE ASPHALT SURFACE AND THE CONCRETE SURFACE SHALL NOT EXCEED $\frac{1}{4}$ " VERTICAL OR $\frac{1}{2}$ " WHEN BEVELED. 2009 ANSI 117 303. 502.5

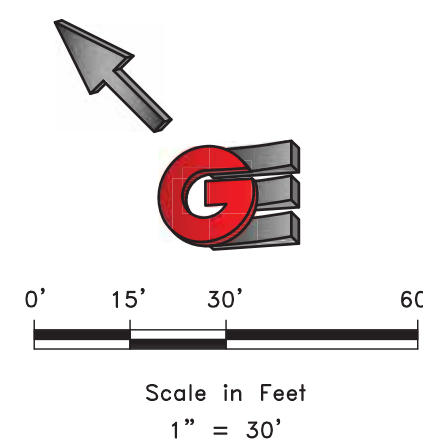
ABBREVIATIONS:

(NOT ALL ABBR. MAY APPEAR ON EACH SHEET)

- | | |
|-----|-----------------------|
| EOA | EDGE OF ASPHALT |
| EOC | EDGE OF CONCRETE |
| EOG | EDGE OF GRAVEL |
| EG | EXISTING GROUND |
| ET | EDGE OF TURF |
| FG | FINISH GRADE |
| FL | FLOWLINE |
| GB | GRADE BREAK |
| INV | INVERT |
| TA | TOP OF ASPHALT |
| TBC | TOP BACK OF CURB |
| TC | TOP OF CONCRETE |
| TG | TOP OF GRATE |
| TGS | TOP OF GRAVEL SURFACE |
| TW | TOP OF WALK |
| TOP | TOP OF SLOPE |
| TOE | TOE OF SLOPE |

GENERAL GRADING NOTES:

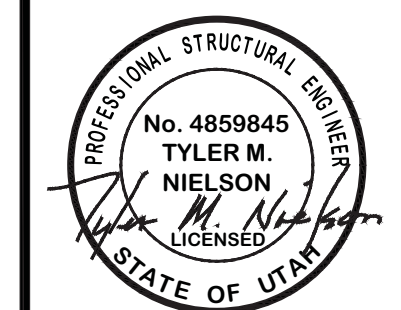
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6. Areas to receive fill shall be properly prepared and approved by the City inspector and geotechnical Engineer prior to placing fill.
7. Fills shall be benched into competent material as per specifications and geotechnical report.
8. All trench backfill shall be tested and certified by the site geotechnical engineer per the grading code.
9. A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the road grading.
10. The final compaction report and certification from the geotechnical engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
11. Dust shall be controlled by watering.
12. The location and protection of all utilities is the responsibility of the permittee.
13. Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading project. (See SWPPP plans - sheet CSW101)
14. All public roadways must be cleared daily of dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the city engineer.
15. The site shall be cleared and grubbed of a all vegetation and deleterious matter prior to grading.
16. The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
17. Aggregate base shall be prepared and approved by the geotechnical report prepared for the project.
18. Elevations shown on this plan are finish grades. Rough grades are the subgrades of the improvements shown hereon.
19. As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
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21. Maximum elevation difference between the asphalt surface of the parking surface and the bottom of the concrete curb ramps or sidewalk height shall not exceed $\frac{1}{4}"$ vertical or $\frac{1}{2}"$ when beveled. 2009 ANSI 117.303.502.5.



REVISIONS	
DATE	DESCRIPTION

SCALE	" = 30'
DATE	9-26-2009
DESIGN	BSD
DRAWN	BSD
CHECKED:	TUN

DWG: R:\2228 - WINKLE, MCKAY DESIGN\DWG\EN PLAN - CDS.DWG



ENLARGED GRADING PLAN

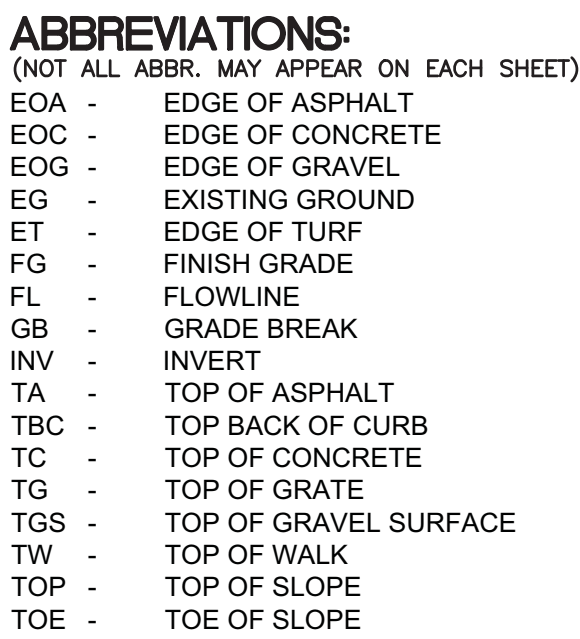
RIVERSIDE R.V. PARK

851 COTTONWOOD DRIVE

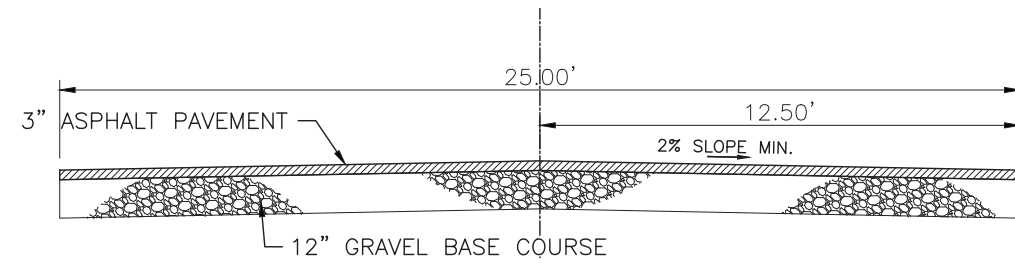
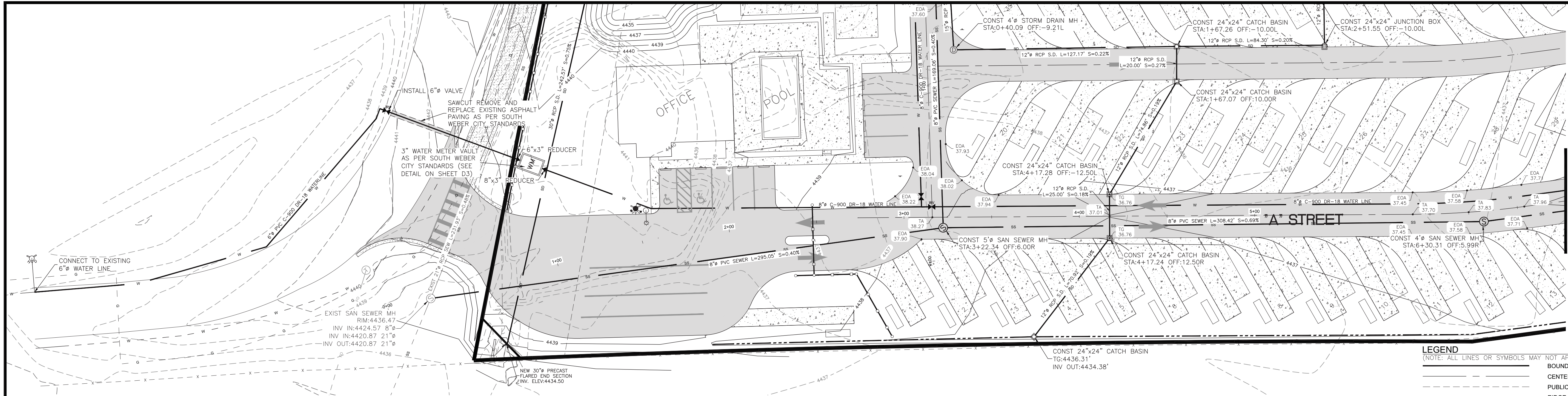
SOUTH WEBER, DAVIS COUNTY, UTAH



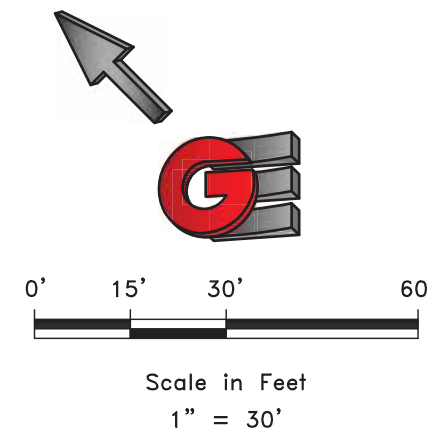
C6



1. Refer to proposed road plan and profiles on sheets PP1 - PP6.
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5. Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by the geotechnical engineer.
6. Areas to receive fill shall be properly prepared and approved by the City inspector and geotechnical Engineer prior to placing fill.
7. Fills shall be benched into competent material as per specifications and geotechnical report.
8. All trench backfill shall be tested and certified by the site geotechnical engineer per the grading code.
9. A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
10. The final compaction report and certification from the geotechnical engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
11. Dust shall be controlled by watering.
12. The location and protection of all utilities is the responsibility of the permittee.
13. Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading project. (See SWPPP plans - sheet CSW101)
14. All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the city engineer.
15. The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
16. The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
17. Aggregate base shall be compacted per the geotechnical report prepared for the project.
18. Elevations shown on this plan are finish grades. Rough grades are the subgrades of the improvements shown hereon.
19. As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
20. Accessible route to be a max. slope of 5% and a max. cross slope of 2% 2009 ANSI 117.403.3.
21. Maximum elevation difference between the asphalt surface of the parking surface and the bottom of the concrete curb ramps or sidewalk height shall not exceed $\frac{1}{4}$ " vertical or $\frac{1}{2}$ " when beveled. 2009 ANSI 117.502.5.

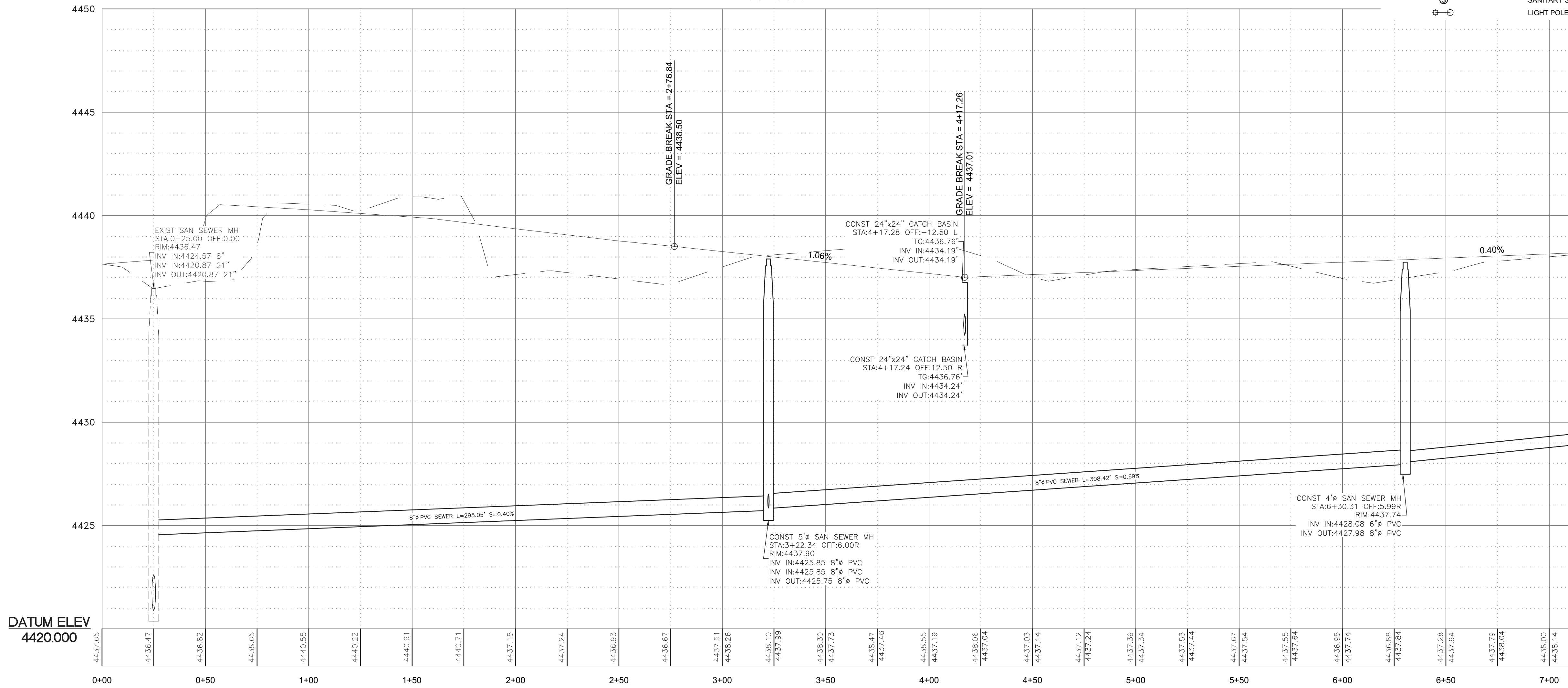


25' WIDE ROAD SECTION
NOT TO SCALE

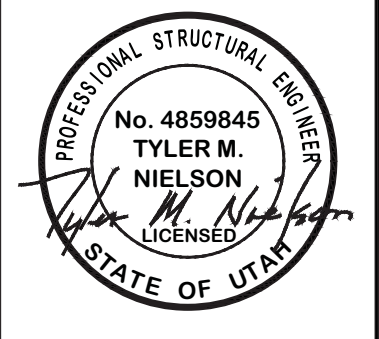


- LEGEND**
(NOTE: ALL LINES OR SYMBOLS MAY NOT APPEAR ON EACH SHEET)
- | | |
|--------------------------------------|------------------------------------|
| BOUNDARY LINE | NEW DRAINAGE SWALE / DITCH |
| CENTERLINE | EXISTING 5' CONTOUR AND ELEVATION |
| PUBLIC UTILITY AND DRAINAGE EASEMENT | EXISTING 1' CONTOUR AND ELEVATION |
| RIDGE LINE | DESIGN CONTOUR AND ELEVATION |
| ASPHALT PAVING | ASPHALT PAVING |
| CONCRETE PAVING | CONCRETE PAVING |
| CULINARY WATERLINE | CULINARY WATERLINE |
| CULINARY WATER LATERAL | CULINARY WATER LATERAL |
| NEW FIRE HYDRANT | NEW FIRE HYDRANT |
| WATER METER | WATER METER |
| WATER VALVE | WATER VALVE |
| STORM DRAIN LINE | STORM DRAIN LINE |
| STORM DRAIN MANHOLE | STORM DRAIN MANHOLE |
| STORM DRAIN CATCH BASIN/INLET SUMP | STORM DRAIN CATCH BASIN/INLET SUMP |
| STORM DRAIN INLET BOX | STORM DRAIN INLET BOX |
| SANITARY SEWER PIPE | SANITARY SEWER PIPE |
| SANITARY SEWER LATERAL | SANITARY SEWER LATERAL |
| SANITARY SEWER MANHOLE | SANITARY SEWER MANHOLE |
| LIGHT POLE AND BASE | LIGHT POLE AND BASE |

"A" STREET - PROFILE

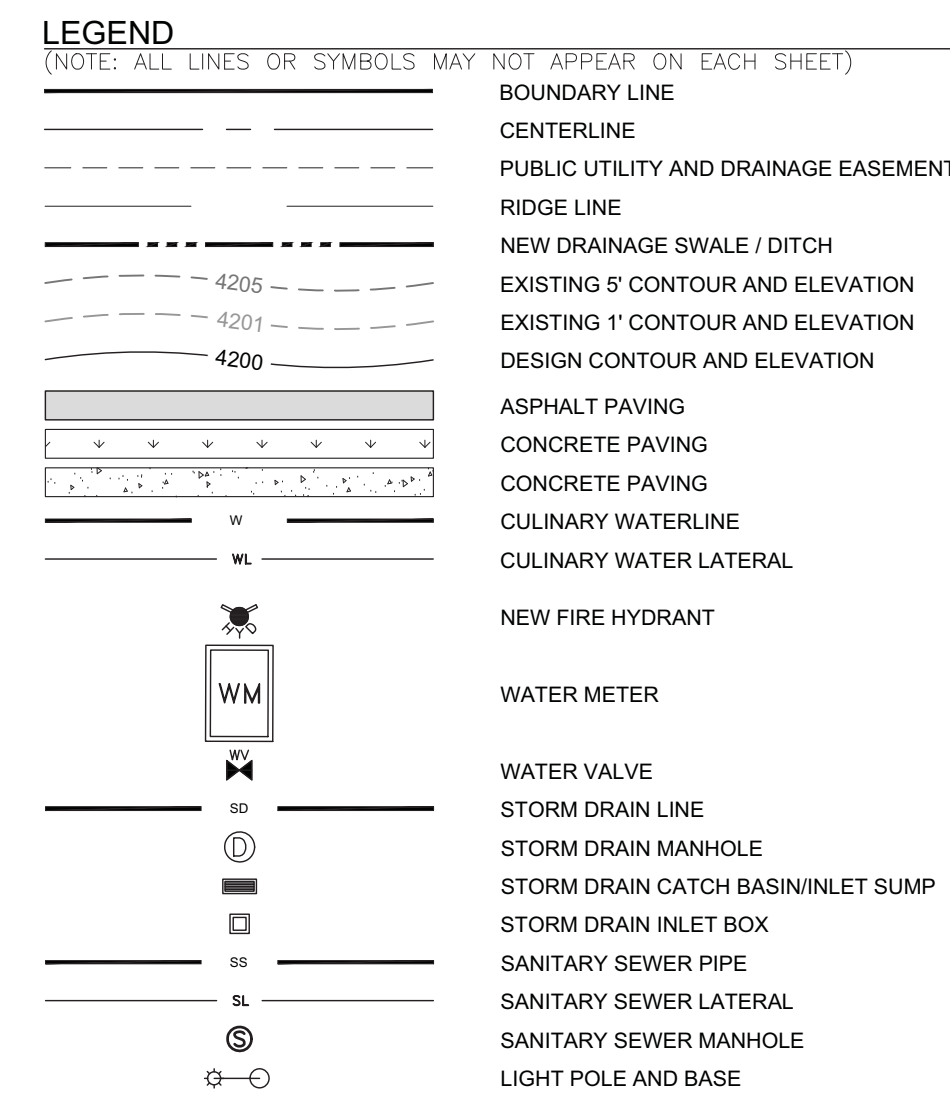
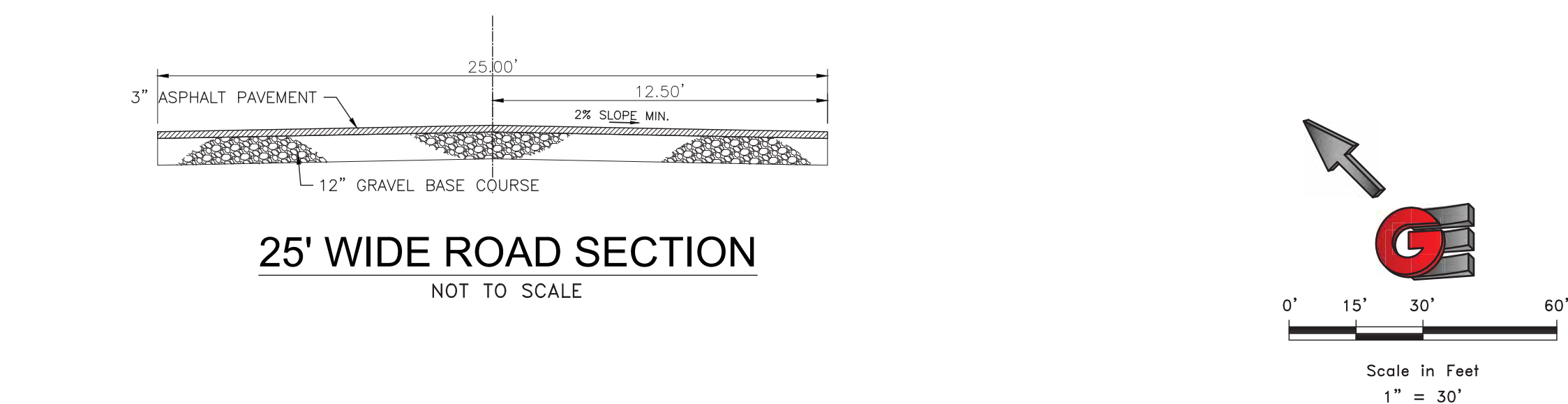
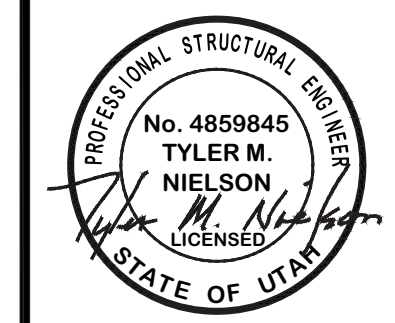


REVISIONS	DESCRIPTION
DATE	
DATE	
DATE	
DATE	
DATE	



A STREET - PLAN AND PROFILE
RIVERSIDE R.V. PARK
851 COTTONWOOD DRIVE
SOUTH WEBER, DAVIS COUNTY, UTAH



[illegible]

A STREET - PLAN AND PROFILE

RIVERSIDE R.V. PARK

851 COTTONWOOD DRIVE

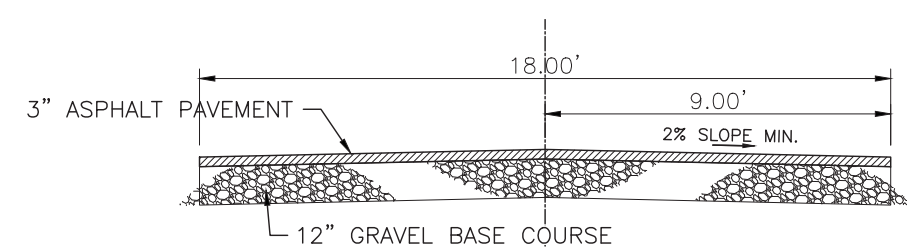
SOUTH WEBER, DAVIS COUNTY, UTAH



5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801.476.0202 FAX: 801.476.0066

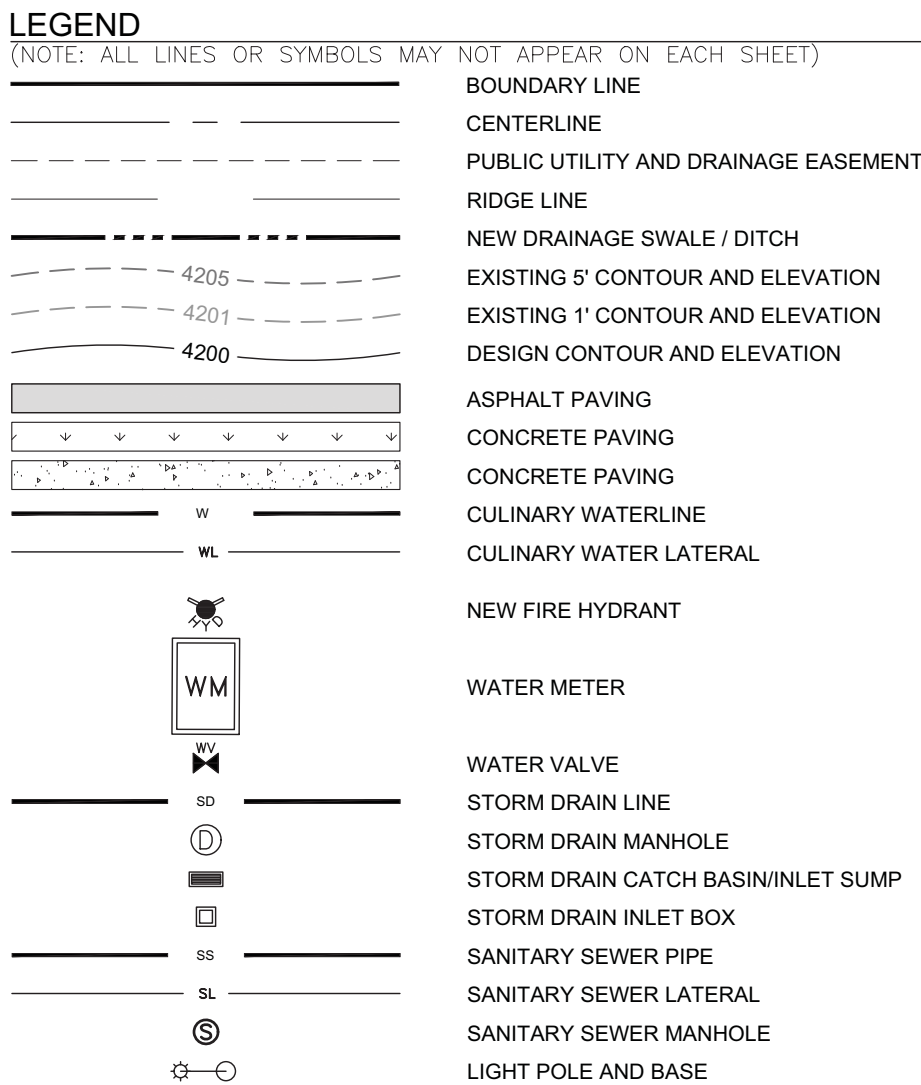
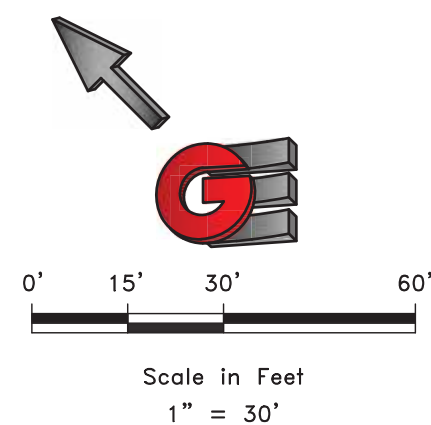
PP2

20

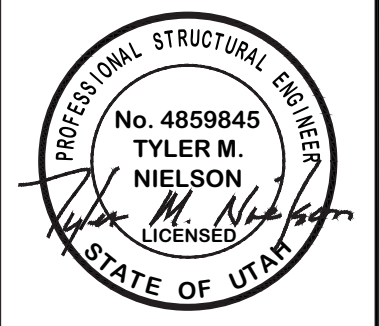


18' WIDE ROAD SECTION

NOT TO SCALE



DWG. RA-2228 - MINNELL MCKAY DESIGN, L.L.C. PARK - CDS.DWG	
DATE	9-26-2019
REVISIONS	
DESCRIPTION	
DESIGN	ESD
DRAWN	ESD
CHECKED	TMM
SCALE	1" = 30'



B STREET - PLAN AND PROFILE

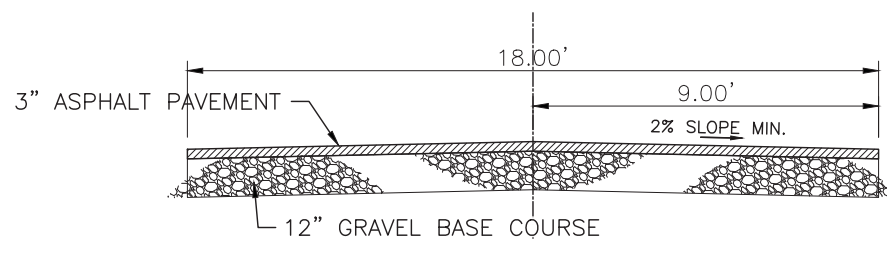
RIVERSIDE R.V. PARK

851 COTTONWOOD DRIVE

SOUTH WEBER, DAVIS COUNTY, UTAH

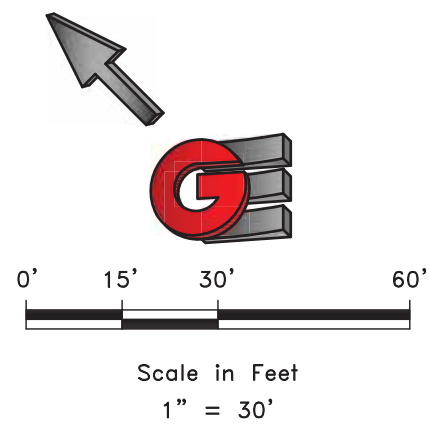


PP3



18' WIDE ROAD SECTION

NOT TO SCALE



Sanitary Sewer Profile

The profile shows a sanitary sewer line with three manholes (MH) and three pipe segments. The stationing ranges from 5+00 to 11+00, and the elevations range from 4425 to 4450.

Manhole Details:

- Manhole 1 (Station 6+09.84):** CONST 4' SAN SEWER MH, STA:6+15.73 OFF:6.00R, RIM:4439.06, INV IN:4431.30 6" PVC, INV OUT:4431.20 6" PVC.
- Manhole 2 (Station 7+62.83):** CONST 4' SAN SEWER MH, STA:7+62.83 OFF:9.03R, RIM:4439.68, INV IN:4432.89 6" PVC, INV OUT:4432.79 6" PVC.
- Manhole 3 (Station 10+30.80):** CONST 4' SAN SEWER MH, STA:10+30.80 OFF:6.00R, RIM:4440.92, INV OUT:4435.59 6" PVC.

Pipe Segments:

- Segment 1 (Station 6+09.84 to 7+62.83):** 6" PVC SEWER L=148.67' S=1.00%.
- Segment 2 (Station 7+62.83 to 10+30.80):** 6" PVC SEWER L=269.55' S=1.00%.
- Segment 3 (Station 10+30.80 to 11+00):** 6" PVC SEWER L=79.20' S=0.40%.

Grade Breaks:

- Grade Break 1 (Station 6+09.84):** GRADE BREAK STA = 6+09.84, ELEV = 4439.05.
- Grade Break 2 (Station 8+42.70):** GRADE BREAK STA = 8+42.70, ELEV = 4440.29.
- Grade Break 3 (Station 10+72.08):** GRADE BREAK STA = 10+72.08, ELEV = 4441.21.

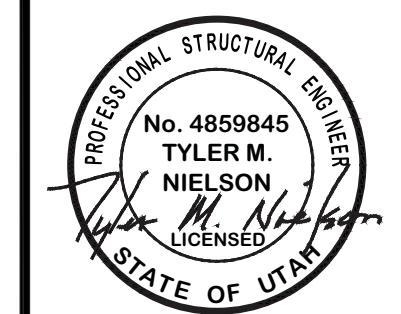
Profile Data Table:

Station	Elevation	Feature
5+00	4437.55	Profile Point
5+00	4438.61	Profile Point
5+00	4437.87	Profile Point
5+00	4438.71	Profile Point
5+50	4438.26	Profile Point
5+50	4438.81	Profile Point
5+50	4438.60	Profile Point
5+50	4438.91	Profile Point
6+00	4439.88	Profile Point
6+00	4439.01	Profile Point
6+00	4439.03	Profile Point
6+00	4439.13	Profile Point
6+50	4439.08	Profile Point
6+50	4439.26	Profile Point
6+50	4439.22	Profile Point
6+50	4439.40	Profile Point
7+00	4439.36	Profile Point
7+00	4439.53	Profile Point
7+00	4439.38	Profile Point
7+00	4439.66	Profile Point
7+50	4439.39	Profile Point
7+50	4439.50	Profile Point
7+50	4439.29	Profile Point
7+50	4439.53	Profile Point
8+00	4439.49	Profile Point
8+00	4440.06	Profile Point
8+00	4439.69	Profile Point
8+00	4440.20	Profile Point
8+50	4439.97	Profile Point
8+50	4440.32	Profile Point
8+50	4440.17	Profile Point
8+50	4440.42	Profile Point
9+00	4440.12	Profile Point
9+00	4440.52	Profile Point
9+00	4439.96	Profile Point
9+00	4440.62	Profile Point
9+50	4439.75	Profile Point
9+50	4440.72	Profile Point
9+50	4439.43	Profile Point
9+50	4440.82	Profile Point
10+00	4439.40	Profile Point
10+00	4440.92	Profile Point
10+00	4439.82	Profile Point
10+00	4441.02	Profile Point
10+50	4440.20	Profile Point
10+50	4441.12	Profile Point
10+50	4440.20	Profile Point
11+00	4440.20	Profile Point

LEGEND

(NOTE: ALL LINES OR SYMBOLS MAY NOT APPEAR ON EACH SHEET)

	BOUNDARY LINE
	CENTERLINE
	PUBLIC UTILITY AND DRAINAGE EASEMENT
	RIDGE LINE
	NEW DRAINAGE SWALE / DITCH
	EXISTING 5' CONTOUR AND ELEVATION
	EXISTING 1' CONTOUR AND ELEVATION
	DESIGN CONTOUR AND ELEVATION
	ASPHALT PAVING
	CONCRETE PAVING
	CONCRETE PAVING
	CULINARY WATERLINE
	CULINARY WATER LATERAL
	NEW FIRE HYDRANT
	WATER METER
	WATER VALVE
	STORM DRAIN LINE
	STORM DRAIN MANHOLE
	STORM DRAIN CATCH BASIN/INLET SUMP
	STORM DRAIN INLET BOX
	SANITARY SEWER PIPE
	SANITARY SEWER LATERAL
	SANITARY SEWER MANHOLE
	LIGHT POLE AND BASE

[illegible]

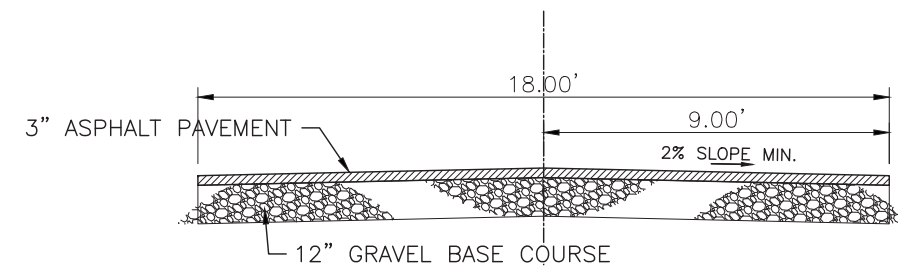
B STREET - PLAN AND PROFILE

RIVERSIDE R.V. PARK

851 COTTONWOOD DRIVE
SOUTH WEBER, DAVIS COUNTY, UTAH

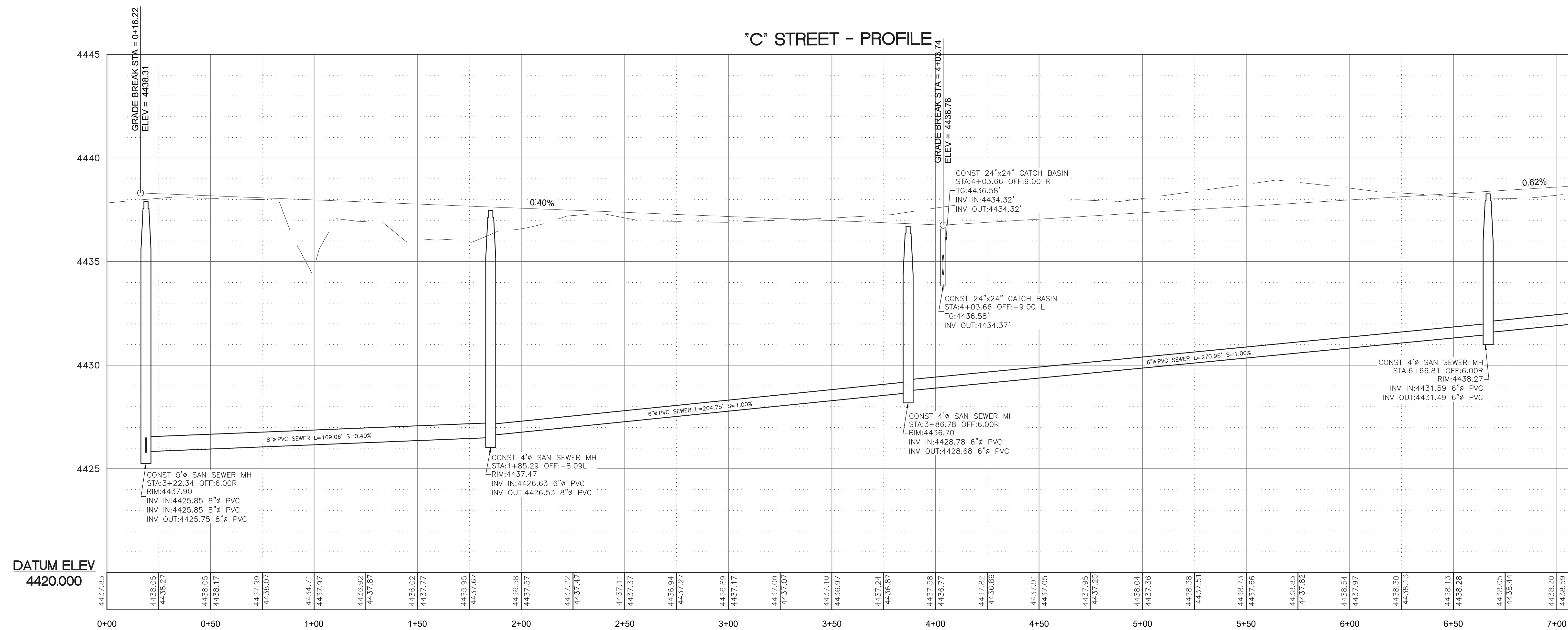
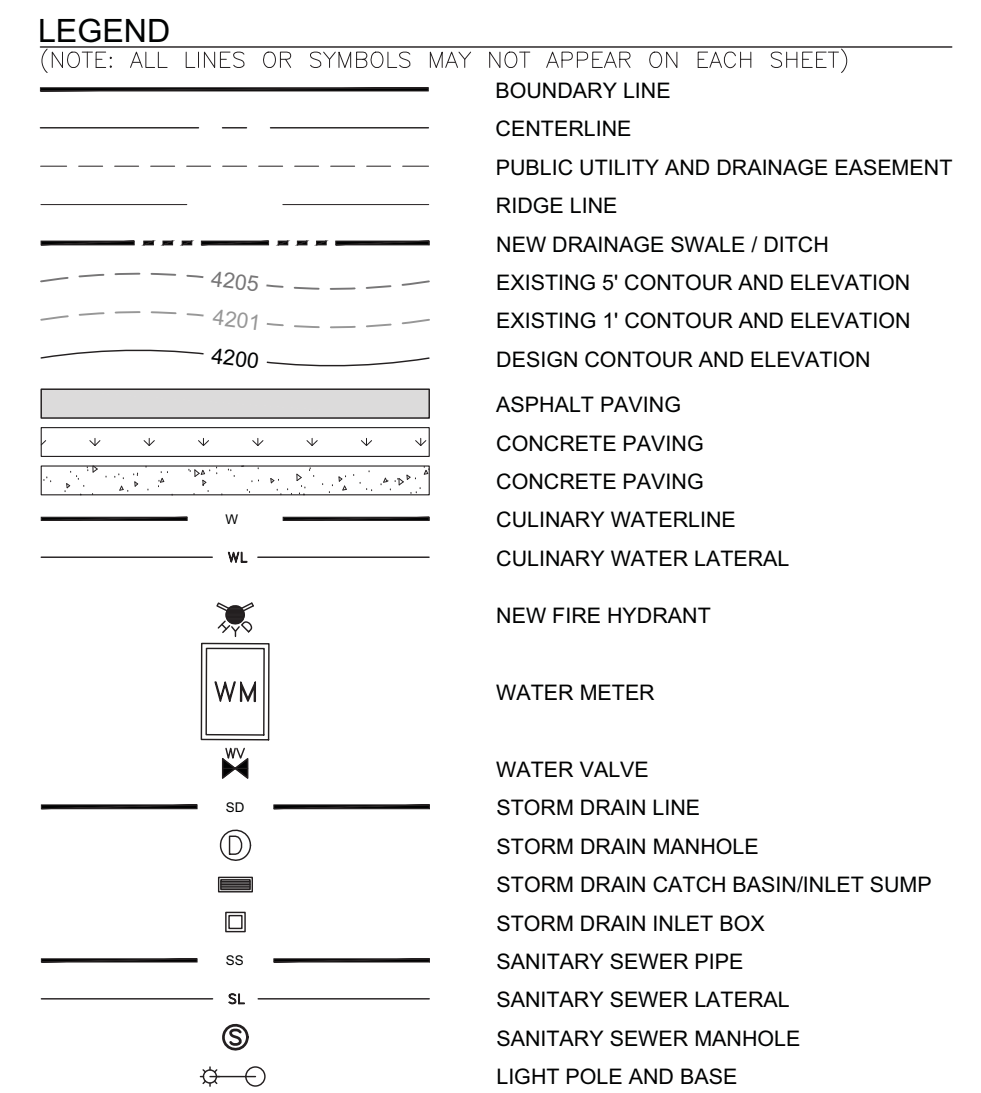
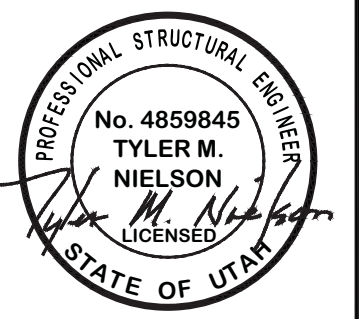


PP4



0' 15' 30' 60'

Scale in Feet
1" = 30'

[illegible]

C STREET - PLAN AND PROFILE

RIVERSIDE R.V. PARK

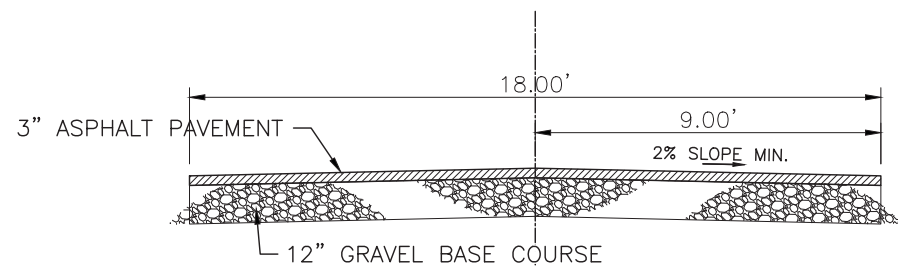
851 COTTONWOOD DRIVE

SOUTH WEBER, DAVIS COUNTY, UTAH

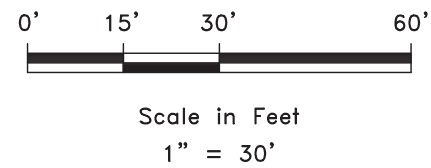


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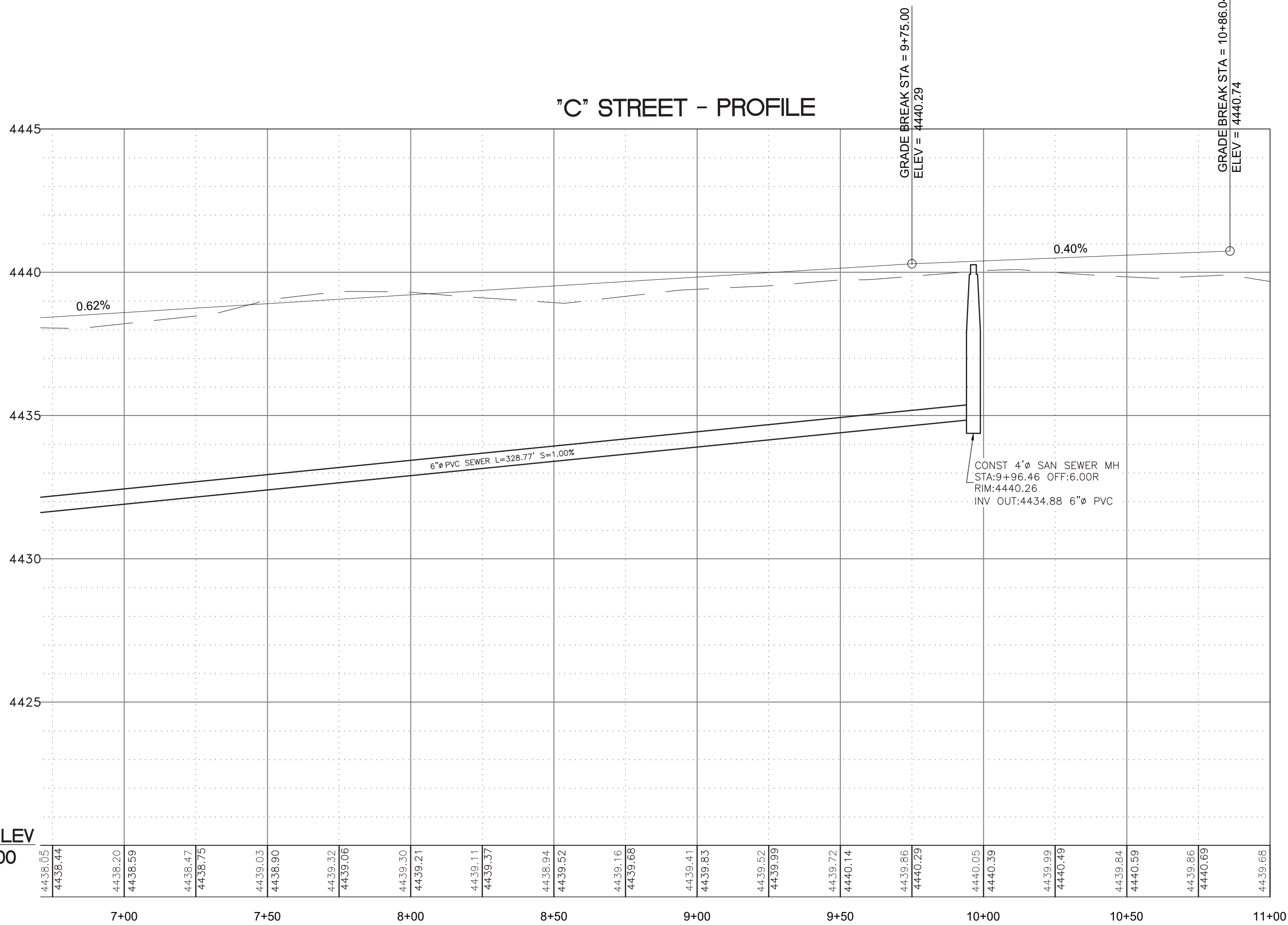
PP5



18' WIDE ROAD SECTION
NOT TO SCALE

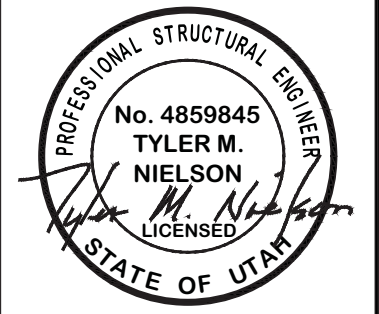


"C" STREET - PROFILE



LEGEND	
(NOTE: ALL LINES OR SYMBOLS MAY NOT APPEAR ON EACH SHEET)	
	BOUNDARY LINE
	CENTERLINE
	PUBLIC UTILITY AND DRAINAGE EASEMENT
	RIDGE LINE
	NEW DRAINAGE SWALE / DITCH
	EXISTING 5' CONTOUR AND ELEVATION
	EXISTING 1' CONTOUR AND ELEVATION
	DESIGN CONTOUR AND ELEVATION
	ASPHALT PAVING
	CONCRETE PAVING
	CONCRETE PAVING
	CULINARY WATERLINE
	CULINARY WATER LATERAL
	NEW FIRE HYDRANT
	WATER METER
	WATER VALVE
	STORM DRAIN LINE
	STORM DRAIN MANHOLE
	STORM DRAIN CATCH BASIN/INLET SUMP
	SANITARY SEWER PIPE
	SANITARY SEWER LATERAL
	SANITARY SEWER MANHOLE
	LIGHT POLE AND BASE

REVISIONS	
DATE	DESCRIPTION
DWG: R12325 - WINKLE, MCKAY DESIGN GROUP, INC. - CDS.DWG	



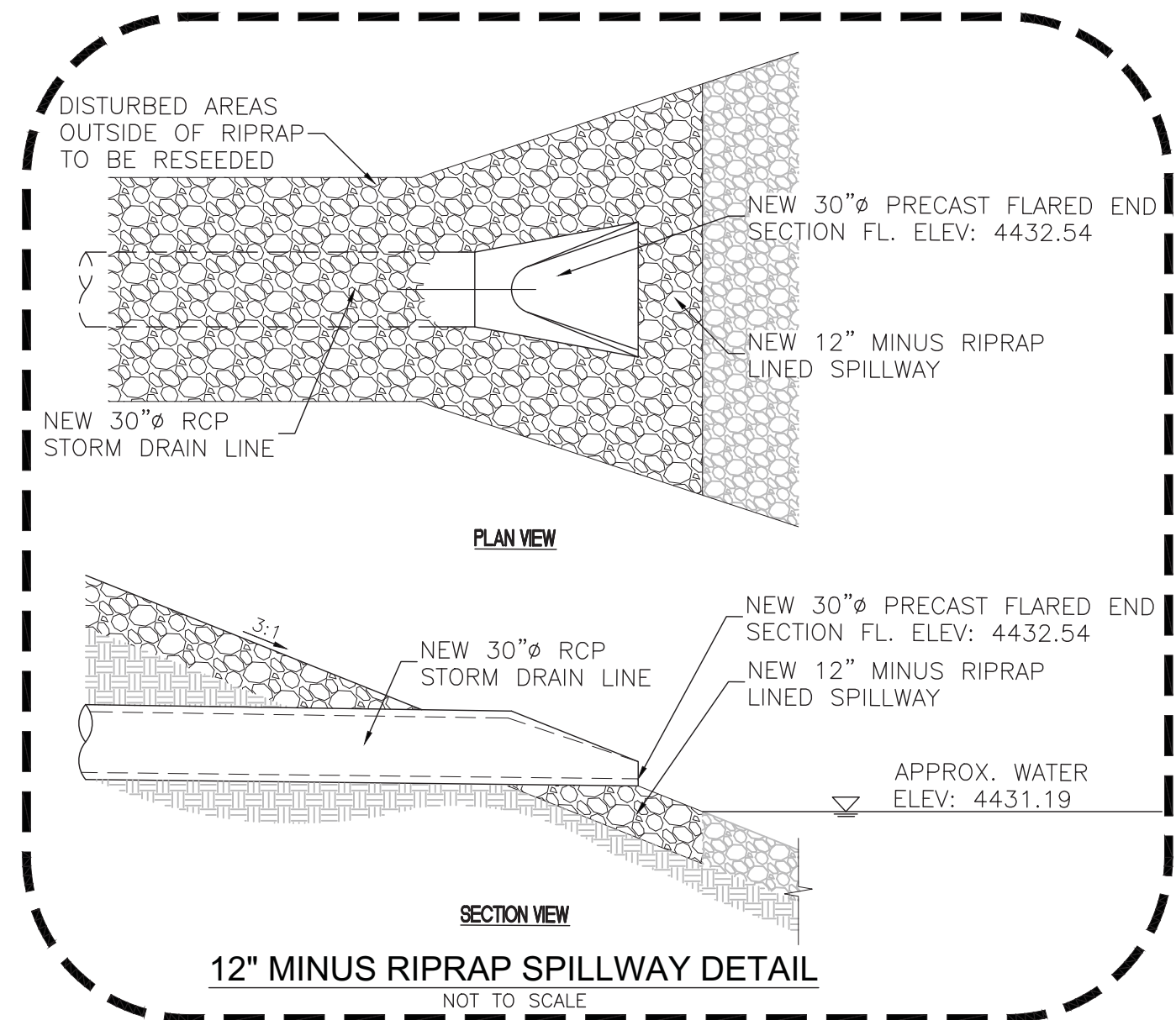
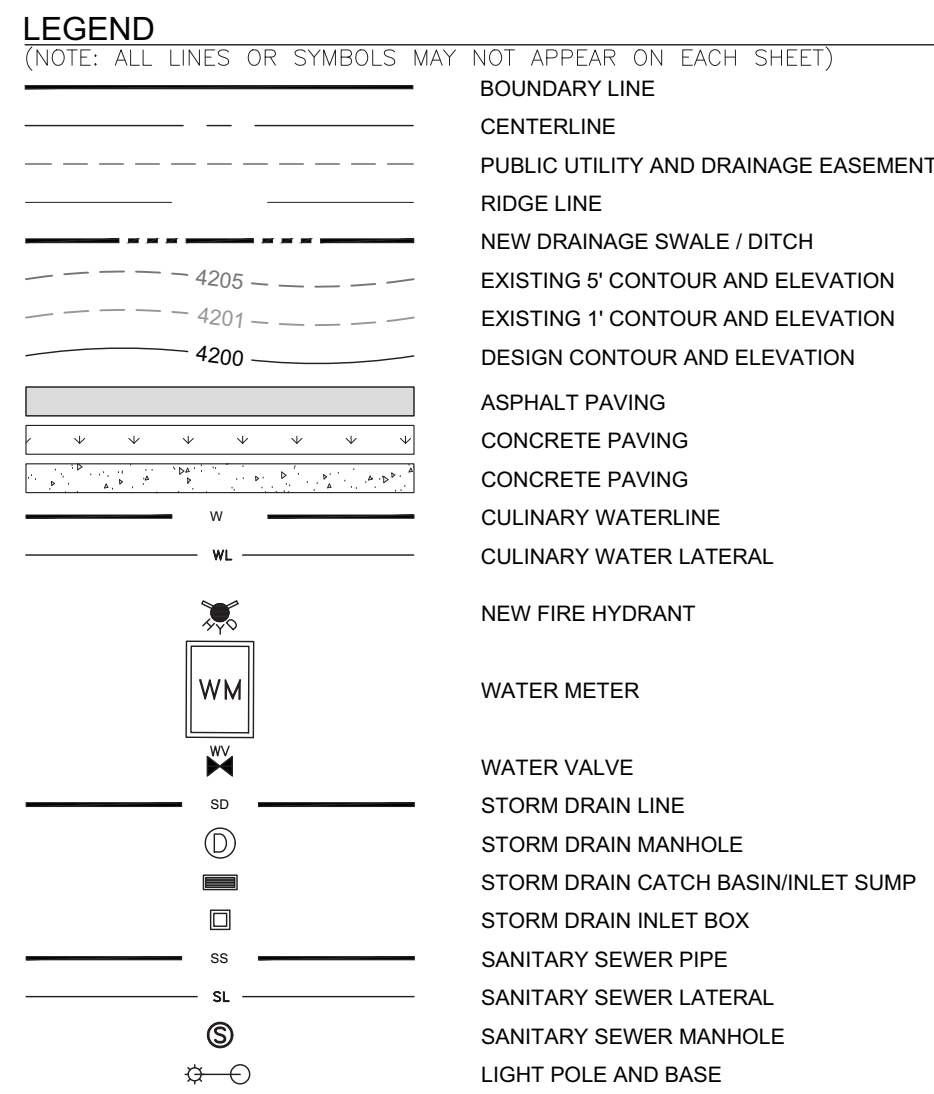
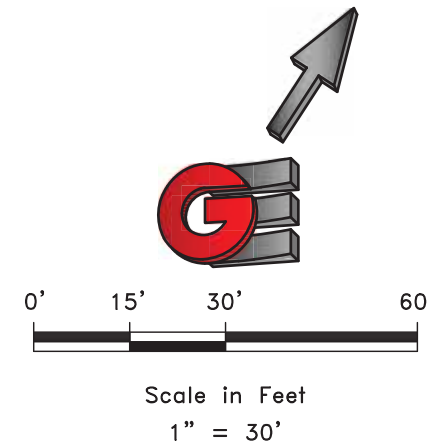
C STREET - PLAN AND PROFILE
RIVERSIDE R.V. PARK
851 COTTONWOOD DRIVE
SOUTH WEBER, DAVIS COUNTY, UTAH



GARDNER
ENGINEERING

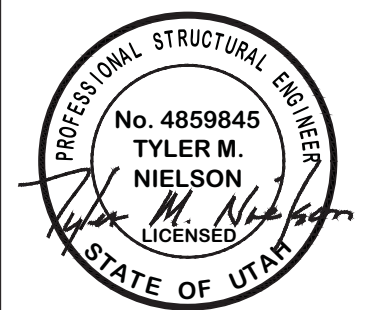
CIVIL • LAND PLANNING
MUNICIPAL • LAND SURVEYING

5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801.476.0202 FAX: 801.476.0066



GENERAL NOTES:

3. Best management practices should be implemented and maintained along any streamside or instream work to minimize erosion, sediment, debris, and debris-related vegetation damage or alteration to the streambed.
4. Disturbed areas must be replanted with appropriate vegetation to stabilize the streambank and prevent erosion.
5. Excavated material and construction debris may not be wasted into the stream. Debris may be placed in a container of some material such as grease, oil, joint coating, or any other possible contaminant, and then placed in a container and carried away from any channel. Construction materials, bedding material, excavated material, etc. may not be stockpiled in channel areas. If stockpiling is necessary, it must be properly fenced, implemented and monitored until revegetation becomes well established.
6. Sediment must be removed from the streambed and fill, in order to prevent sediments from entering flow ways. Particular attention is required to assure that silt fencing is properly installed and maintained. If a sediment fence is not established at which time the silt fence can be removed, it must be maintained until the stream is stabilized.
7. Sediment introduced into stream flows during construction must be controlled to prevent increases in turbidity downstream. Flows must be controlled to prevent erosion of streambeds, streambanks, cofferdams or other means of bypass.
8. Debris must be removed from the stream and be made unrecognizable as debris.
9. Riprap must consist of only clean, properly sized angular rock, which must be keyed deeply into the streambed to prevent movement. No filter material is to be placed in the streambed.
10. Demolition debris or refuse will not be allowed, nor material such as tires, oil, paint, etc. to be placed in the stream.
11. Disturbed areas must be planted with naturally occurring vegetation. Plantings shall be protected from grazing animals by fencing.

[illegible]

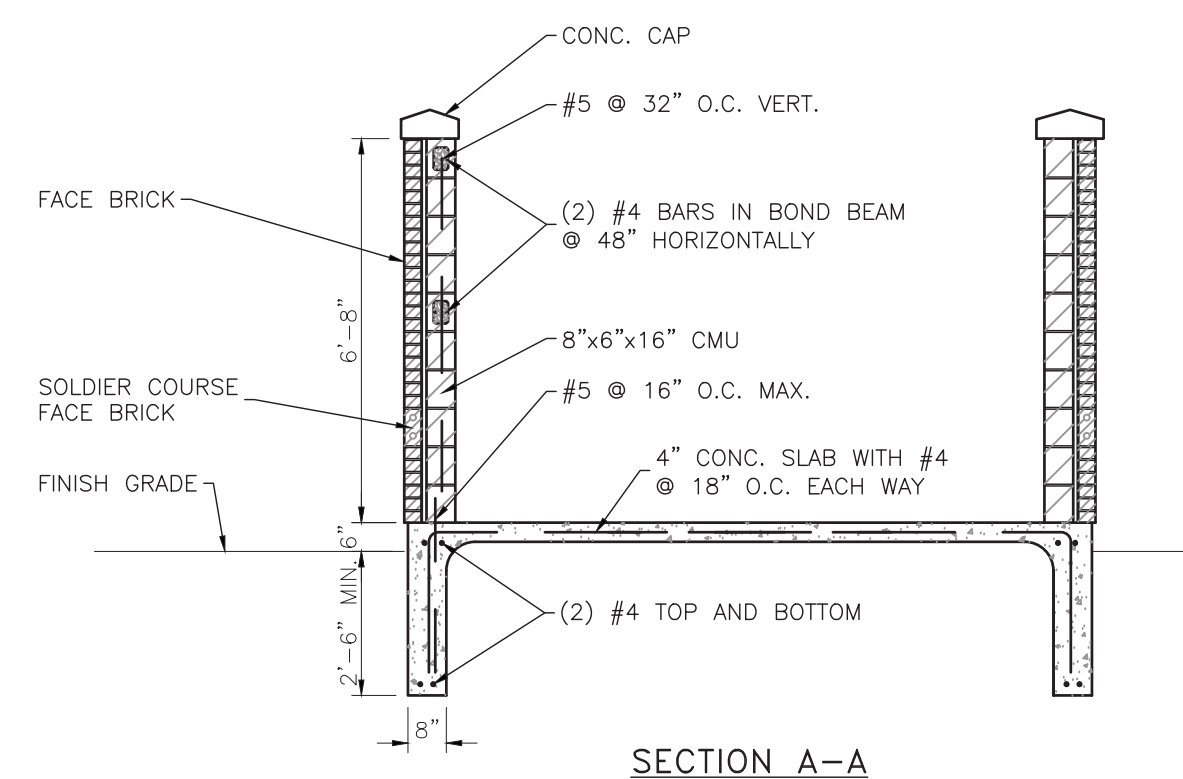
STORM DRAIN - PLAN AND PROFILE

RIVERSIDE R.V. PARK

851 COTTONWOOD DRIVE
SOUTH WEBER, DAVIS COUNTY, UTAH

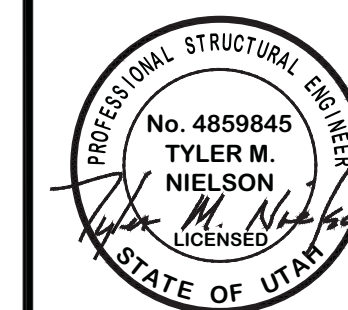


PP7



REVISIONS		SCALE: (AS NOTED)
DATE	DESCRIPTION	
		DATE 3-26-2019
		DESIGN BSD
		DRAWN BSD
		CHECKED TMM

DWG: RY.2328 - WINKLE, MCCARTY DESIGN DOWRY PARK - CUS DING



TYPICAL SITE DETAILS
RIVERSIDE R.V. PARK
851 COTTONWOOD DRIVE
SOUTH WEBER, DAVIS COUNTY, UTAH

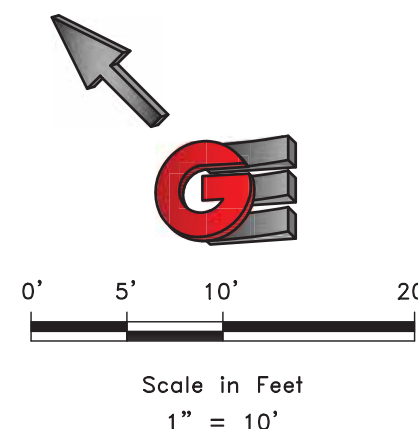
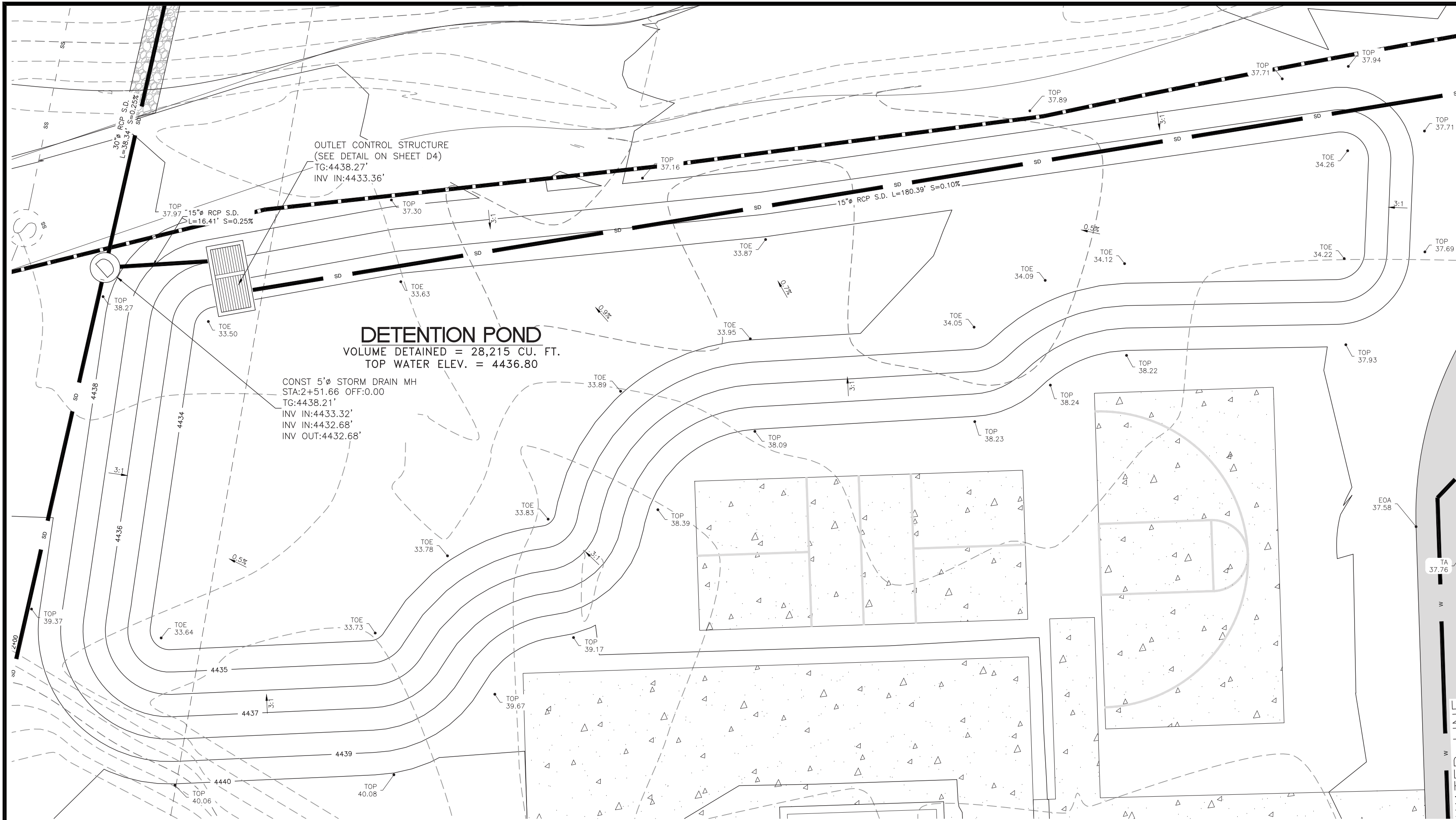
**GARDNER
ENGINEERING**
CIVIL • LAND PLANNING
MUNICIPAL • LAND SURVEYING

5150 SOUTH 1720 EAST, SUITE
1000, SALT LAKE CITY, UT 84119
PHONE: 801.476.0726 FAX: 801.476.0727
WWW.GARDNERENGINEERING.COM

D1	20
----	----



A square is divided into two triangles by a diagonal line from the bottom-left corner to the top-right corner. The top-left triangle is labeled 'D2' and the bottom-right triangle is labeled '20'.



Riverside R.V. Park
South Weber, Davis County, Utah



Areas	Sq. Ft.	Acre	C
Hard Surface	186,660	4.2622	0.85
Landscape	174,785	4.0125	0.15
Total/Weighted	360,445	8.2746	0.51

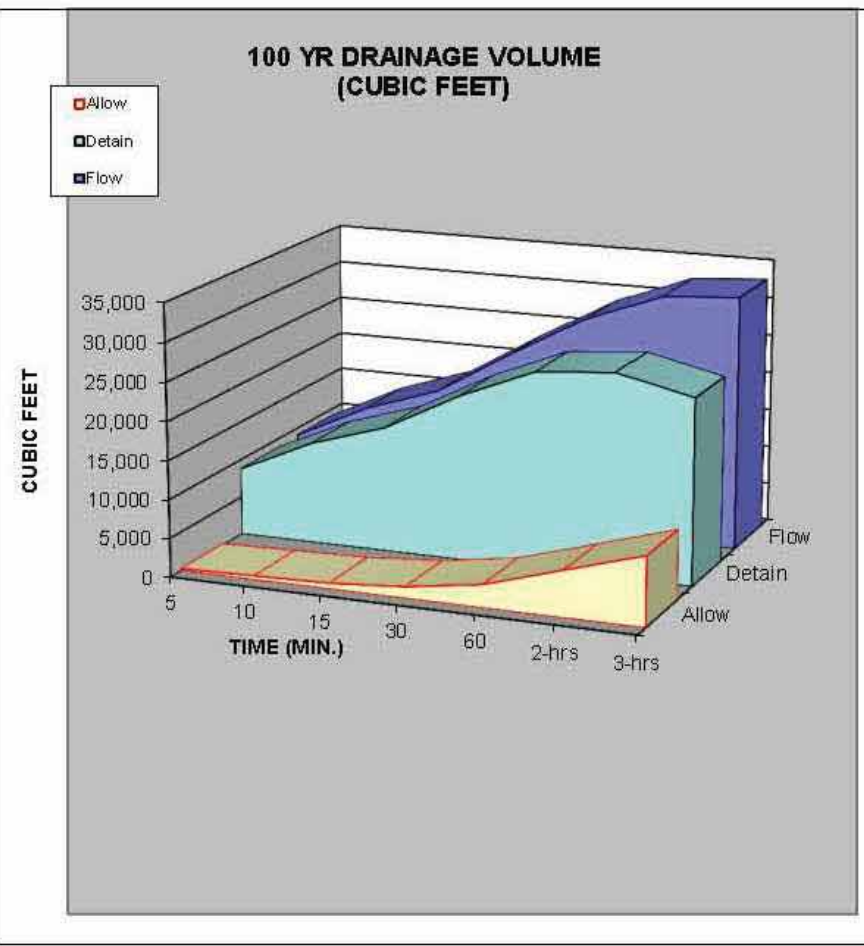
Allow Release Rate (cfs/acre)
Q Allowable (cfs)

0.100
0.83

100yr

MIN	Runoff Vol (cf)	1inch / Hr	Total Vol (cf)	Detain Vol (cf)
5	248	7.13	9,037	8,788
10	496	5.42	13,739	13,242
15	745	4.48	17,034	16,289
30	1,489	3.01	22,889	21,400
60	2,979	1.87	28,441	25,462
120	5,958	1.06	32,243	26,285
180	8,937	0.723	32,988	24,052
360	17,873	0.4	36,501	18,628
720	35,746	0.246	44,897	9,150
1440	49,642	0.136	49,642	0

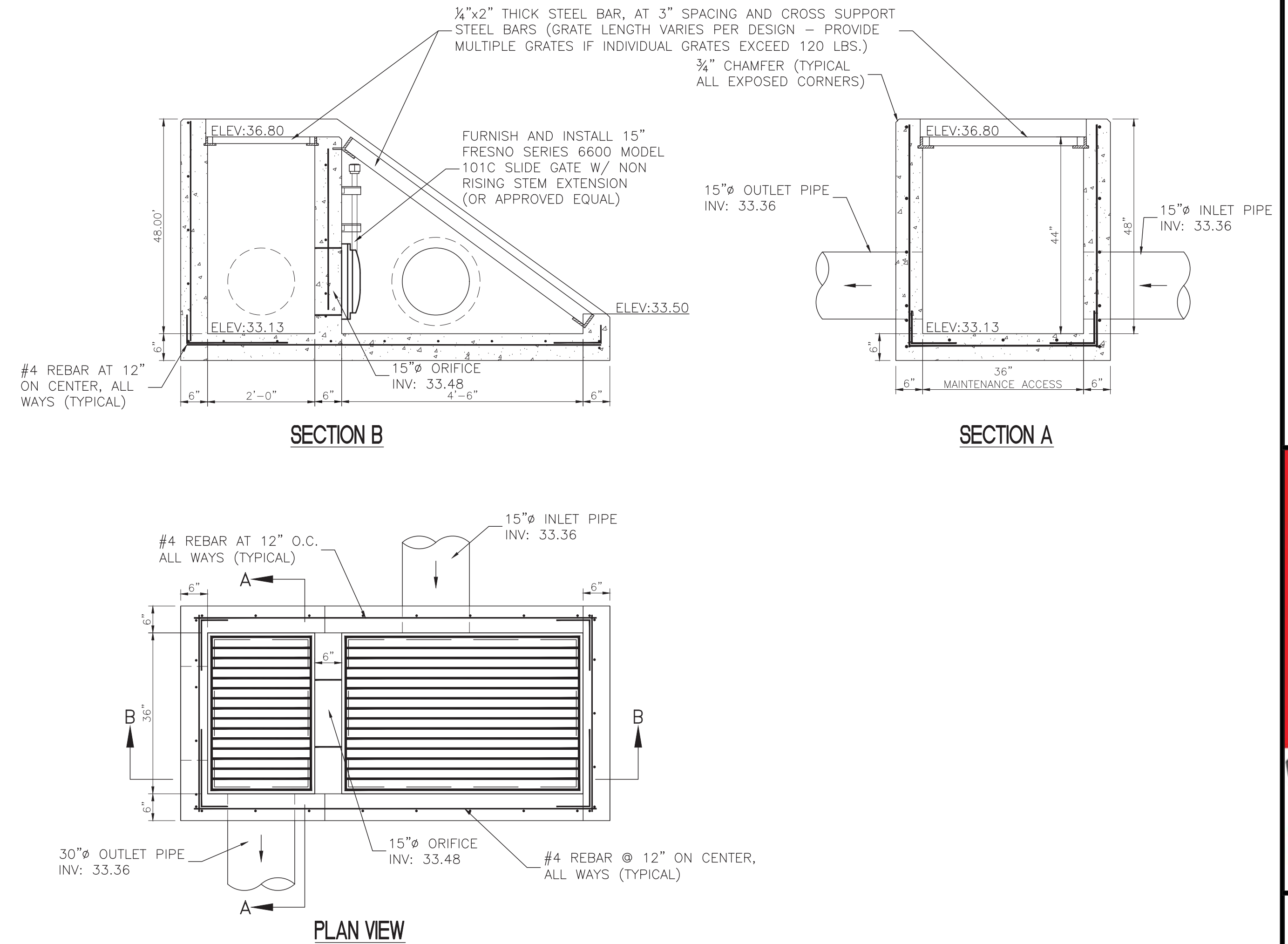
NOAA Data



	CUBIC FEET	CUBIC YARDS
100 YEAR STORM RECOMMENDED MIN. VOLUME DETAINED	26,285	974

Orifice Calculation

H = 3.3 Maximum water height (ft)
Q = 0.83 Flowrate out of orifice (cfs)
Cc = 0.62 Coefficient of contraction
Cv = 0.98 Coefficient of velocity
Area = 0.093 Orifice Area (ft²)
Tl = 3.14
g = 32.17 Gravitational Constant
d = 4.14 Orifice Diameter (in)

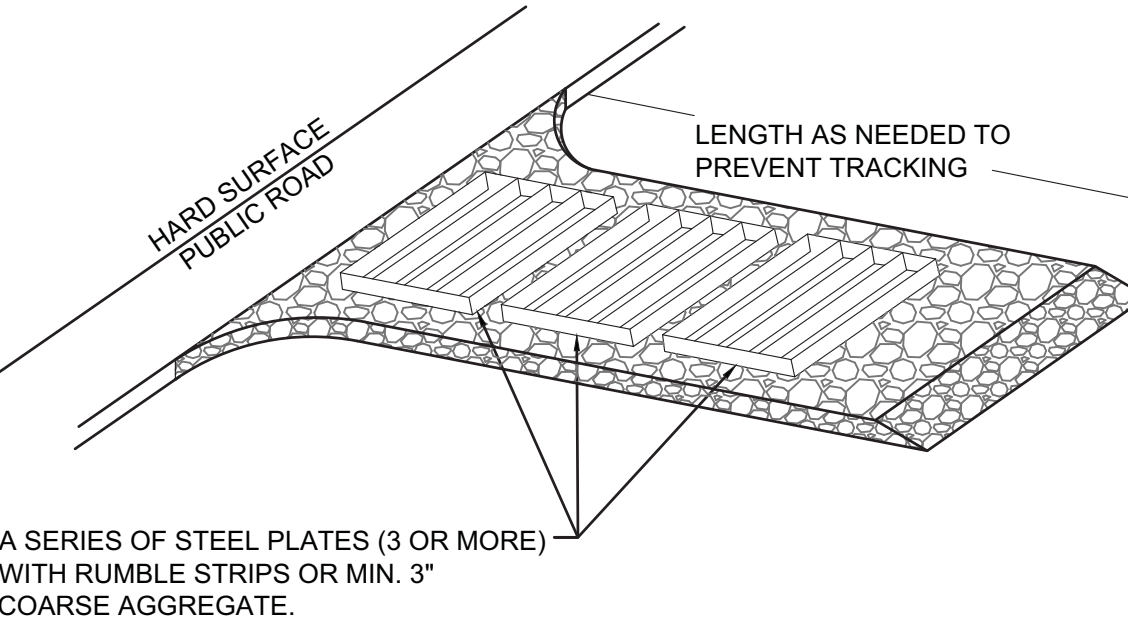


OUTLET CONTROL STRUCTURE DETAIL
NOT TO SCALE

SCALE: 1" = 10'	DATE: 3-28-2019	DESIGN: BSD	DRAWN: BSD	CHECKED: TJN	DWG: R-2326 - WINKLE, MCKAY DESIGN UNITS, R.V. PARK - CDS.DWG
REVISIONS	DESCRIPTION	DATE			
DETENTION POND AND DETAILS					
RIVERSIDE R.V. PARK					
851 COTTONWOOD DRIVE					
SOUTH WEBER, DAVIS COUNTY, UTAH					
GARDNER ENGINEERING CIVIL • LAND PLANNING MUNICIPAL • LAND SURVEYING 5150 SOUTH 375 EAST OGDEN, UT OFFICE: 801.476.0202 FAX: 801.476.0066					
D4					
20					

EROSION CONTROL NOTES:

1. SANDBAGS WILL BE PLACED AT DISCHARGE LOCATIONS TO CONTAIN AND DIVERT STORM WATER THROUGH THE INLET PROTECTION.
2. AN EARTHEN BERM 6" HIGH WILL BE CONSTRUCTED TO CONTAIN THE STORM WATER AND DIVERT IT TO DISCHARGE AREAS.
3. STORM WATER WILL BE DISCHARGED INTO AN EXISTING DRAINAGE SYSTEM. EXISTING LINES SHALL BE INSPECTED PRIOR TO CERTIFICATE OF OCCUPANCY AND CLEANED IF NECESSARY.
4. THE STORM WATER POLLUTION PREVENTION PLAN SHALL CONFORM TO ALL STATE DIVISION OF ENVIRONMENTAL PROTECTION REGULATIONS.



ENTRANCE STABILIZATION NOTES:

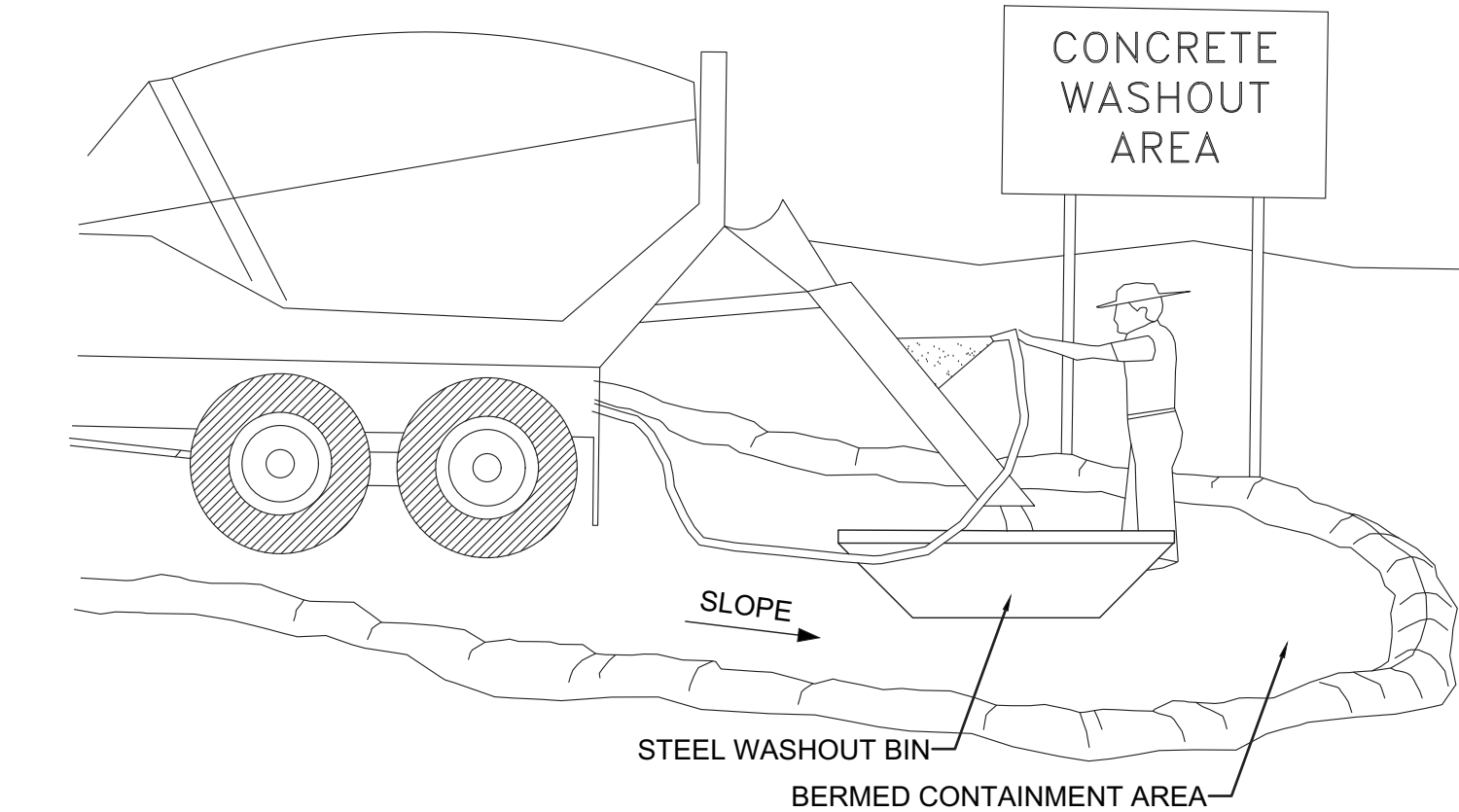
1. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE STORM DRAIN SYSTEMS. DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM.
2. STABILIZED CONSTRUCTION ENTRANCE SHALL BE:
 - a. LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY AND SIDEWALK OR PARKING AREA.
 - b. A SERIES OF STEEL PLATES WITH "RUMBLE STRIPS", AND/OR MIN. 3" COARSE AGGREGATE WITH LENGTH, WIDTH AND THICKNESS AS NEEDED TO ADEQUATELY PREVENT ANY TRACKING ONTO PAVED SURFACES.
3. ADDING A WASH RACK WITH A SEDIMENT TRAP LARGE ENOUGH TO COLLECT ALL WASH WATER CAN GREATLY IMPROVE EFFICIENCY.
4. ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE SITES.

STREET MAINTENANCE NOTES:

1. REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY.
2. SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
3. PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM.

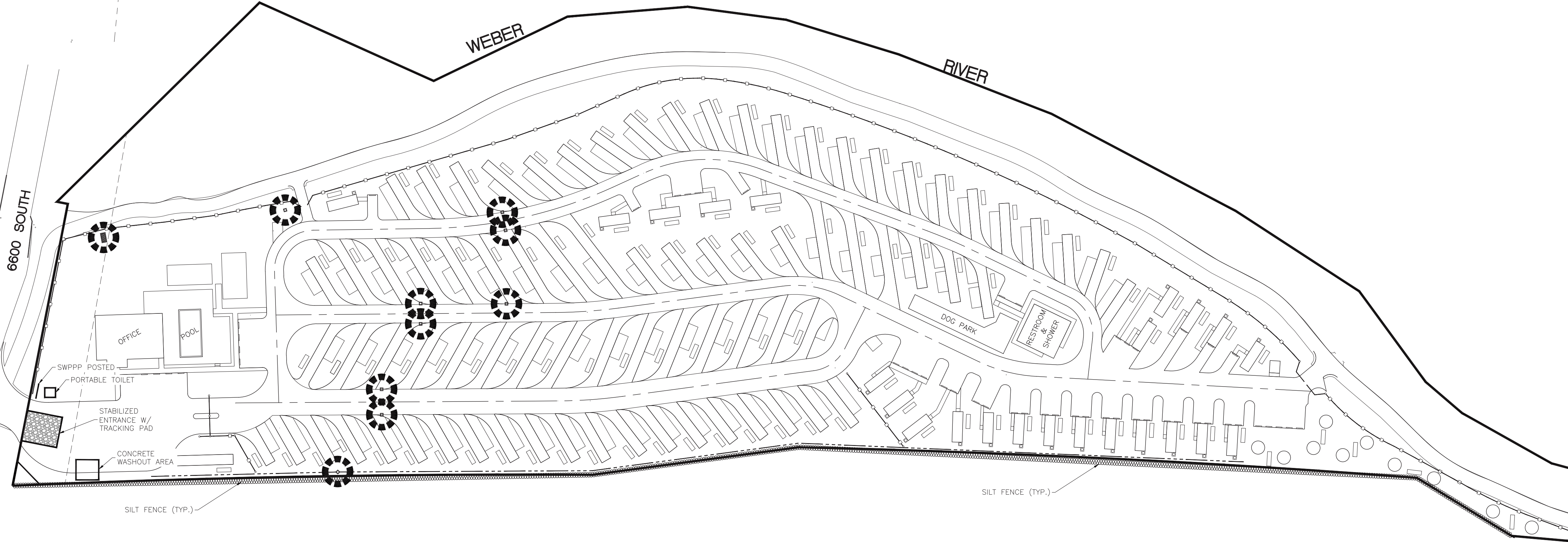
NOTE:

CONTRACTOR SHALL COMPLETE AND SUBMIT A STATE NOTICE OF INTENT (NOI) AND A STORM WATER POLLUTION PREVENTION PLAN BOOKLET



NOTES:

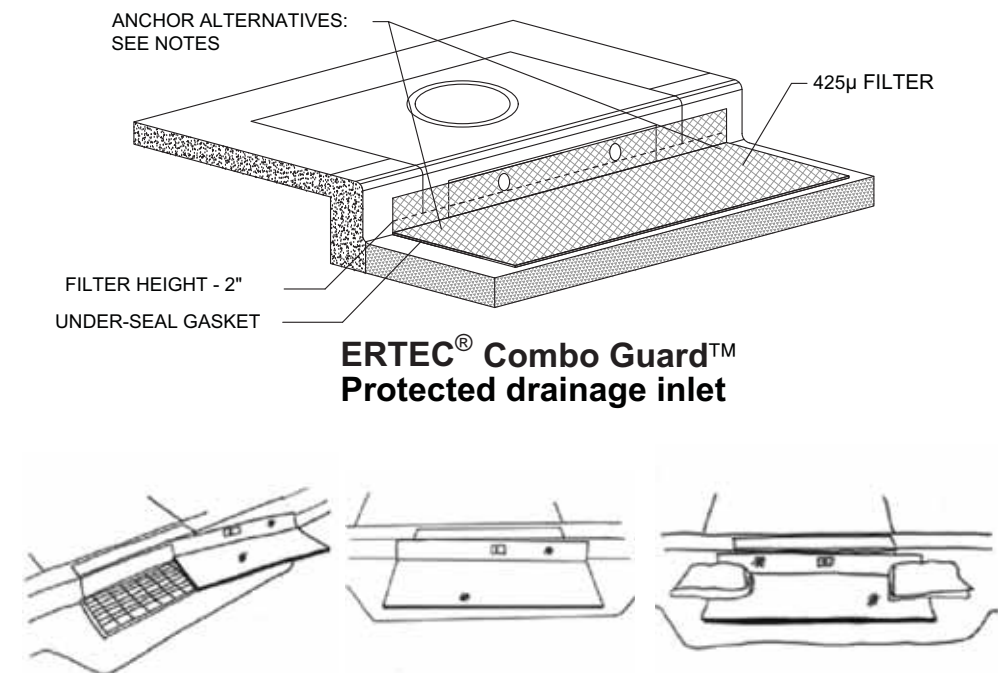
1. EXCESS AND WASTE CONCRETE SHALL BE DISPOSED OF OFF SITE OR AT DESIGNATED AREAS ONLY.
2. EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
3. FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS ONSITE, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED.
4. ONSITE CONCRETE WASHOUT CONTAINMENT FACILITY SHALL BE A STEEL BIN OR APPROVED ALTERNATE.
5. SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP AND DISPOSED OF PROPERLY.



I - 8 4

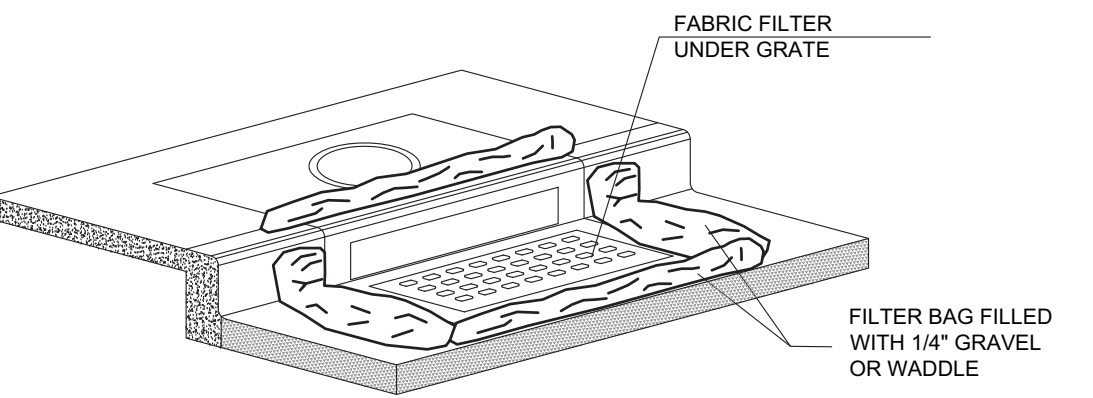
INSTALLATION NOTES

1. PLACEMENT: PLACE CG TIGHTLY AGAINST CURB OPENING AND COVER ENTIRE GRATE. CG SHOULD EXTEND AT LEAST 2 INCHES PAST GRATE TOWARDS STREET.
2. OVERLAP FOR LONG OPENINGS: OVERLAP CG UNITS AT LONGER OPENINGS.
3. ANCHOR: ANCHOR CG SO THAT WATER CANNOT FLOW BEHIND IT.
4. ALTERNATE ANCHOR METHODS: A) INSTALL GRAVEL BAGS AT EACH SIDE OF CG - HALF-ON AND HALF-OFF THE EDGES. USE HALF-FILLED GRAVEL BAGS (15 OR 20 LBS). ROUND ROCK IS RECOMMENDED. OR B) ATTACH WITH 16 GAUGE TIE-WIRE. CUT WIRE TO 18" LENGTH. AT EACH CORNER OF CG, FEED ONE END OF WIRE DOWN THROUGH CG, AROUND GRATE BAR, AND BACK UP THRU CG. ABOVE GROUND, TWIST WIRES SEVERAL TIMES. CUT-OFF EXCESS. OR C) FASTEN WITH CONCRETE ANCHORS/NAILS AT THE OUTSIDE EDGES OF CG.



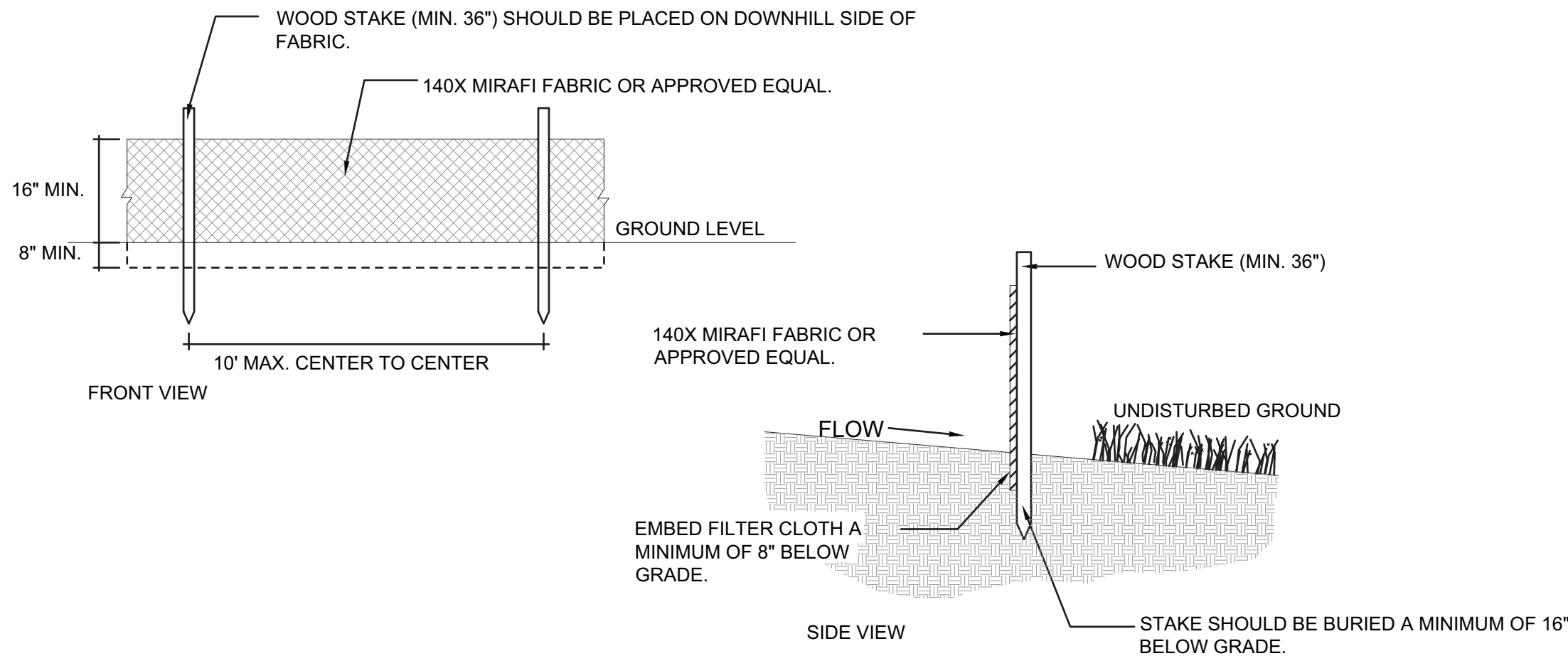
1A INLET PROTECTION - OPTION 1

Scale: NTS



1B INLET PROTECTION - OPTION 2

Scale: NTS



2 SILT FENCE

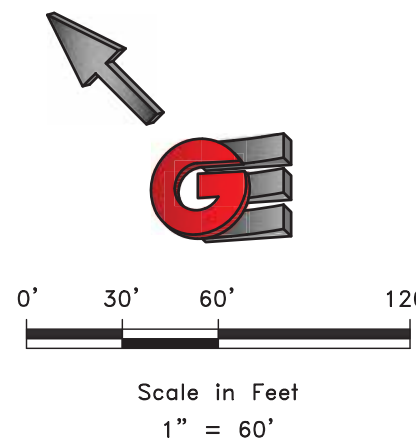
Scale: NTS

LEGEND

- INLET PROTECTION (EITHER OPTION)
- SILT FENCE

DEVELOPER:

F.M. WINKEL FAMILY LLC
MCKAY WINKEL
3651 NORTH 100 EAST #125
PROVO, UT 84604
(801) 310-3948



STORM WATER POLLUTION PREVENTION PLAN

RIVERSIDE R.V. PARK

851 COTTONWOOD DRIVE

SOUTH WEBER, DAVIS COUNTY, UTAH



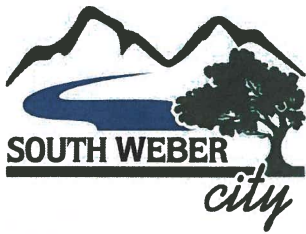
SWP

20

REVISIONS	DATE	DESCRIPTION
DATE		
DESIGN	BSD	
DRAWN	BSD	
CHECKED	TWN	

SCALE	1" = 60'
DATE	3-28-2019
DESIGN	BSD
DRAWN	BSD
CHECKED	TWN

DWG.: RA-2228 - WINKEL MCKAY DESIGN/DWGS BY PARK - CDS.DWG



1600 E. South Weber Drive

801-479-3177

South Weber, UT 84405

www.southwebercity.com

FAX 801-479-0066

Planning Commission Agenda Application

Planning Commission meetings are held the second Thursday of each month beginning at 6:30 p.m. This application must be submitted by 5:00 p.m. fifteen (15) days or more prior to the meeting date requested. This application allows you to be placed on the Planning Commission agenda for items of discussion only, no official action will be taken.

Date of Planning Commission Meeting you request to be placed on: May 23, 2019

NAME: Nilson Homes
ADDRESS: 5617 S. 1475 E.
So. Daden, UT 84403
PHONE: 801-342-8100
E-MAIL: land@nilsonhomes.com

SUMMARIZE YOUR TOPIC OR QUESTION: Final Approval on
Harvest Park Subdivision Phase 2 16 lots

IF A PARTICULAR PARCEL WILL BE REFERENCED, PLEASE FILL OUT

PARCEL ID#: 13-018-0085 CURRENT ZONE: R-M:R-P

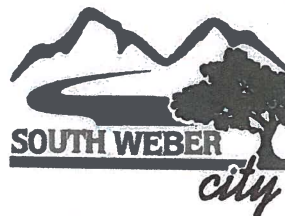
SIGNATURE: Amy Roskelley DATE: 4-30-19

For Office Use Only

Fees received by: _____ Date of submittal: _____
Amount Paid: _____ Receipt #: _____

Initial Review, all of the required supporting materials have
been provided: _____

PC/CC Meeting Date: _____



Final Plan Application

Project/Subdivision Name: Harvest Park Subdivision Phase 2
Approx. Location: 725 East South Bench Drive
Parcel Number(s): 13-018-0085 Total Acres: 2.070
Current Zone: RM-RP
Surrounding Land Uses: Residential & Agriculture
Number of Lots: 6 # Lots Per Acre: 3
Phase: 2 of 3 PUD: Yes / No

Contact Information

Developer or Agent

Name: Bruce Nilson
Company Name: Harvest Park Community LLC
Address: 5617 S. 1475 E.
City/State/Zip: South Ogden, UT 84403
Phone: 801-392-8100 Fax: _____
Email: Bruce@Nilsonhomes.com

Best Way/Preferred Method of Contact:

☒ Email ☒ Phone _____ Fax _____ Mail _____

Surveyor

☒ Check here if same as Engineer

Name: _____
Company: _____
License #: _____
Address: _____
City/State/Zip: _____
Phone: _____ Fax: _____
Email: _____

Developer's Engineer

Name: Thomas Hunt
Company: Reeve & Associates
License #: 10854988-2202
Address: 5160 S. 1500 W.
City/State/Zip: Riverdale, UT 84405
Phone: 801-621-3100 Fax: _____
Email: thunt@reeve-assoc.com

Best Way/Preferred Method of Contact:

☒ Email ☒ Phone _____ Fax _____ Mail _____
Cell # 801-664-4724

Property Owner(s)

☒ Check here if same as Developer

Name: _____
Address: _____
City/State/Zip: _____
Phone: _____ Fax: _____
Email: _____

Final Plan Requirements

- ☒ Complete all conditions/requirements set by the Planning Commission at Preliminary Approval
- ☒ Finalized Draft of Covenants, Conditions, and Restrictions (if applicable)
- ☒ Finalized Storm Drain Calculations
- ☒ Any applicable agreements finalized, signed, and proof of recording with county provided (agreements with South Weber City must be finalized and remain unsigned)
- ☒ Finalized set of certified, stamped construction drawings and specifications as prepared by a licensed civil engineer**

**One full sized (24" x 36"), one reduced (11" x 17"), and one electronic PDF form shall be submitted of the following (the north area to point up or to the left):

- ☐ Format of Final Plat for Recording Required by the County

*All plans must be prepared and stamped by a licensed and/or certified professionals including, but not limited to, architects, landscape architects, land planners, engineers, surveyors, transportation engineers or other professionals as deemed necessary by the City Planner.

Applicant Certification

I certify under penalty of perjury that this application and all information submitted as a part of this application are true, complete, and accurate to the best of my knowledge. I also certify that I am the owner of the subject property and that the authorized agent noted in this application has my consent to represent me with respect to this application. Should any of the information or representations submitted in connection with this application be incorrect or untrue, I understand that The City of South Weber may rescind any approval, or take any other legal or appropriate action. I also acknowledge that I have reviewed the applicable sections of the South Weber City Land Development Code and that items and checklists contained in this application are basic and minimum requirements only and that other requirements may be imposed that are unique to individual projects or uses. Additionally, I agree to pay all fees associated with this project, as set by the current adopted Consolidated Fee Schedule as well as any fees associated with any City Consultant (i.e. engineer, attorney). The applicant shall also be responsible for all collection fees incurred including a collection fee of up to 40% (pursuant to the provisions of the Utah Code Ann. §12-1-11). I also agree to allow the Staff, Planning Commission, or City Council or appointed agent(s) of the City to enter the subject property to make any necessary inspections thereof.

Applicant's Signature: Bruce L. Wilson Date: _____

Property Owner's Signature: Bruce L. Wilson Date: 4/30/19

**HARVEST PARK PHASE 2
DEVELOPMENT REVIEW
By Barry Burton 5.16.19**

Plat/Layout:

This is a 6 lot phase that is different from the original phase 2 as shown on the preliminary plat. The reason for this deviation from the original phasing is because There are a lot of utilities that go through this area to serve Phase 1. Also, with the imminent construction of the abutting part of South Bench Drive this summer, the construction of this small phase will provide the needed second access and allow potential buyers to get there more directly. The lot layout is exactly as approved in the Preliminary Approval. This part of the development is entirely in the R-M zoned portion of the development, therefore no worries about building height.


There will be a minimum 6' chain link fence required along the east side of this phase.

Recommendation:

The Phase 2 Plat meets the requirements of Preliminary Approval except for the phasing. Since nothing has changed in the approved layout of the entire subdivision, I see no problem with approving this and recommend forwarding this plat to the City Council with a recommendation of approval.

MEMORANDUM

TO: South Weber City Planning Commission

FROM: Brandon K. Jones, P.E.
South Weber City Engineer 

CC: Barry Burton – South Weber City Planner
Mark Larsen – South Weber City Public Works Director

RE: **HARVEST PARK SUBDIVISION – PHASE 2**
Final Review

Date: May 16, 2019

Our office has completed a review of the Final Plat and Improvement Plans for the Harvest Park Subdivision Phase 2, dated April 30, 2019. We recommend approval subject to the following items being addressed prior to approval from the City Council. Some items are mentioned for information purposes only.

GENERAL

1. Final plans need to be submitted to the South Weber Irrigation Company and an approval letter provided indicating that the improvement plans meet their requirements.
2. This phase provides the second ingress/egress for this subdivision, connecting to South Bench Drive. The 30-lot limitation is no longer in affect for the Harvest Park development.
3. A letter from the geotechnical engineer needs to be provided with recommended depths for the basements, due to high groundwater.

PLAT

4. The subdivision boundary needs to be revised to exclude South Bench Drive, as that property has already been deeded to the City for the road.
5. Addresses for the lots are as follows:

Lot 201 -	6737 S.	Lot 202 -	6729 S.	Lot 203 -	6721 S.
Lot 204 -	6713 S.	Lot 205 -	6726 S.	Lot 206 -	6734 S.
Open Space -	6718 S.				
6. The basement depth table needs to be populated according to the recommendations of the geotechnical engineer.
7. The Rocky Mountain Power notes and signature block can be removed, as they do not apply to any of the property within this plat.

8. The Open Space is being dedicated to the City, as required with the overall preliminary plan that was approved. We recommend determining the final use of this ground when the adjacent property to the east (currently owned by Watts) develops.

IMPROVEMENT PLANS

9. The streetlight at the Harvest Park Lane / South Bench Drive intersection needs to be moved to the southeast corner behind the sidewalk pointed out to South Bench Drive.
10. A 6' vinyl fence needs to be shown and called out in the plans along the east property line as shown in the preliminary plans.
11. The new land drain laterals to lots 201 – 204 appear to be in conflict with the 30" storm drain.
12. The note for the land drain laterals needs to be revised as follows: "Land Drain laterals to be perforated & sleeved with geotechnical sock, *outside the road right-of-way only.*"

PART OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
CITY OF SOUTH WEBER, DAVIS COUNTY, UTAH



FOR: NILSON HOMES

RESIDING IN _____ COUNTY, _____

RESIDING IN _____ COUNTY, _____

NILSON HOMES
5617 S. 1475 E.
OGDEN, UT. 84403

Surveyor:	T. HATCH	Project Name:	HARVEST PARK PHASE 2
Designer:	N. ANDERSON	Number:	1301-025
Begin Date:	4-25-19	Scale:	1"=40'
		Revision:	
		Checked:	

ENTRY NO. _____ FEE PAID
_____ FILED FOR RECORD
AND RECORDED, _____ A
_____ IN BOOK _____ OF
THE OFFICIAL RECORDS, PAGE _____

RECORDED FOR:



Reeve
& Associates, Inc.
5180 S 1500 W, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 FAX: (801) 621-2666 www.reeve-assoc.com
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS

increase in traffic. A connection to the south will add an additional critical means of ingress and egress, thus helping to disperse the anticipated increased traffic.

Furthermore, it is also recommended that another access to the same area be provided by extending Old Fort Rd. south across South Weber Dr. connecting with 1160 East and continuing southward and eastward up the bluff. Other recommendations for the City wide transportation system can be found on the Vehicle Transportation Recommendations Map #5.

TRAILS

In order to promote the health and general welfare of the citizens of South Weber, it is the intent of the City to develop a network of non-motorized trails throughout the community. These trails should be readily available to all residents and others so far as possible with trailheads and access points located all through the city. These trails should provide a variety of walking, jogging, running, biking and equestrian experiences through use of different widths, surfaces and degrees of difficulty. Trails should generally be off-street, not sidewalks in the street right-of-way. There may be locations where trails and sidewalks are coterminous for a short distance where other options are not practical. Specific trail recommendations follow.

BONNEVILLE SHORELINE TRAIL:

The Bonneville Shoreline Trail (BST) is a regional trail conceptually traversing the entire Wasatch Front and extending into Cache County approximately along the high water level of ancient Lake Bonneville. A portion of this trail runs along the foothills east of the City at approximately 5200 ft. elevation. Though most of this trail lies outside the city boundaries, it is nevertheless of great importance to the residents of South Weber. The City should cooperate and encourage Davis County and others to complete the trail.

This trail should be constructed at approximately 4 ft. in width and have a natural material surface. Special care to reduce impacts and keep grades manageable will need to be taken in crossing Corbet Creek and other ravines. At some point above the Weber Basin Job Corps this trail needs to transition from the 5200 ft. level to the proposed Weber Canyon Trailhead just above river level at the mouth of the canyon. This trailhead will support and provide cross access to two other trails, the proposed Canal Trail and the proposed Weber River Parkway Trail.

CANAL TRAIL:

The Canal Trail is proposed to run adjacent to or on top of the Davis and Weber Counties Canal running the length of the City on the south side. The City should seek an agreement with the Davis and Weber Counties Canal Company and any private property owners along the route to allow public use and development of the trail. Safety precautions should be used in designing a trail along open portions of the canal.

The City should also encourage Riverdale City officials to continue this trail through their city as well.

This trail should be developed partly as natural surface trail and partly as a paved trail utilizing the existing maintenance road along the canal or directly on top of the canal where it has been piped. This trail should be paved to at least 10 ft. in width where it passes through residential areas from 2700 East to approximately 1550 East. The rest of the trail east of Hwy 89 and west of 1550 East should be graded dirt with some possible surface stabilization where necessary.

CHATER SCHOOL TRAIL:

This proposed new trail should extend from View Drive to South Weber Drive near the west side of the charter school property. This will better facilitate pedestrian access to the school from the south.

OLD FORT TRAIL:

This trail is intended to be a 10 ft. wide paved trail running from approximately 1200 East to near the west end of the City following along the south side of I-84. It should run within the buffer zone proposed previously in this document so far as practical. Special attention to safety will be warranted at the trail crossing of 475 East. This trail should become the responsibility of the City for maintenance and control.

It is anticipated that the majority of this trail will be constructed by developers of adjacent property. As these developments are proposed, the City should see that a continuous trail is established with consistent width and surface.

WEBER RIVER PARKWAY TRAIL:

The Weber River Parkway Trail is proposed extension of an existing trail in Riverdale. In general this trail will run along the south bank of the river between the river and I-84. At the west end of the City this will vary due to existing residences abutting the river. In this area it will run between Cottonwood Dr. and I-84 going under Adams Ave. toll bridge and run along the south river bank again westward.

Some of the property involved is privately owned and some is owned by the Utah Department of Transportation. The City should work with other interested groups in securing the easements or right-of-ways for this trail. South Weber seems to be the most likely candidate to maintain this section of the trail and should consider accepting responsibility for Weber River Parkway Trail within its borders.

Because the existing trail in Riverdale is paved, it is recommended that this section of the trail be paved at the time of construction. It should be approximately 10ft. wide with a compacted granular surface. It could be paved at some point in the future, should that prove to be a wise course of action.

Pedestrian access from the Canyon Drive Trailhead at Canyon Drive and 1325 East over I-84 to the Weber River Parkway should be a high priority trail improvement.

Other recommendations for the City wide pedestrian transportation system can be found on the Parks and Trails Map #6.

Projected Land Use Map may be granted in exchange for such amenities as trails, buffers, etc. as deemed in the best interest of the city. The Zoning Ordinance should be structured so that a particular residential zone corresponds with each of the density categories and the maximum density allowed within that zone falls within the range described above. The maximum density allowed in any zone would be exclusive of any density bonuses which may be offered as incentives to achieve listed goals of this plan.

High density residential areas have been purposefully spread out and kept small in nature so that associated impacts are reduced in any given area. These designations represent some areas which could be acceptable for high density housing if adequate protections or buffers to nearby lower density housing are incorporated in the development.

The Commercial Overlay Zone (C-O) is an area that allows multi-family development in conjunction with commercial development. These areas are suitable for mixed use development where the residential becomes an important component in the commercial project. Currently the City does not have any projects of this type. It is the desire of the community to create a mixed-use walkable area along South Weber Drive.

MODERATE INCOME HOUSING

In accordance with section 10-9a-403 Utah Code Annotated, South Weber is providing reasonable opportunities for a variety of housing including housing which would be considered moderate income housing. Moderate income housing is defined in the Utah Code as:

Housing occupied or reserved for occupancy by households with a gross household income equal to or less than 80% of the median gross income for households of the same size in the county in which the city is located.

According to this definition, any dwelling occupied by an individual or family with income equal to or less than 80% of the median income of the county would qualify as moderate income housing, regardless of the circumstances under which the dwelling is occupied. For instance, it could be that the house was inherited and though valued at something far more than a family of moderate income could afford to purchase; it is nevertheless, occupied by a family whose income is below 80% of the regional median. That house, therefore, is a moderate income house by definition. The same could be said for homes that have been in the same ownership for a long time and for which the mortgage was established prior to many years of inflation and rising housing costs. The occupants might be able to afford what, if mortgaged today, would be far out of their financial reach.

In order to determine how many homes fall into the moderate income housing category, it would be necessary to determine the actual gross income of every

household in South Weber. This information; however, would not be of a great significance in the ability to provide moderate income housing as the information would not provide an adequate picture of the housing which can be purchased or rented today.

According to the U.S. Census Bureau, the 2012 median household income for South Weber City is \$85,133. Eighty percent of that median income is then \$68,106. Information extrapolated from the Utah Affordable Housing Manual indicates that a household with this income level could afford to purchase a dwelling which has a maximum purchase price of 3.1 times the annual income. In the case of South Weber that translates **to a maximum purchase price of \$211,128**. The same manual indicates that 27% of the monthly income could be spent on rent which would mean a **maximum monthly rent of \$1532**.

PRESERVING MODERATE INCOME HOUSING: There are primarily three areas in which South Weber can significantly affect the cost of housing.

1. Lot Size Requirements: The cost of land is one of the major factors affecting the cost of housing. Land prices along the Wasatch Front have increased dramatically in recent years with the resultant increase in housing costs. It is also true that the cost of developing large lot developments is high due to the extensive infrastructure that must be installed to serve it. Therefore the size of lots required by the city must have some effect on the cost of housing. Requiring large lots in all development would certainly make it less likely that moderate income housing would be developed within the City. Allowing all small lots and high density residential development, however goes contrary to other stated goals of this plan.

2. Zoning: The cost of housing is also affected by the zoning which not only regulates dwelling density, but it also controls the type of dwelling that can be built. Zones that allow multi-family dwellings help to reduce the cost of housing construction. South Weber has seven such zones. An inventory of zones which allow residential uses follows:

August 2014 Zoning Inventory

R-M	748 acres
R-LM	84 acres
R-L	291 acres
A	1187 acres
R-H	31 acres
C-O	91 acres

There are currently 291 acres which allow two-family dwelling development under some conditions. This R-L zone allows only 1.45 dwelling units per acre so it is not likely there will be a significant number of two-family dwellings.

The 31 acres of R-H zoning has resulted in 166 dwelling units so far that would be considered in the moderate income range. It is expected that another 100 moderate income apartments will be added soon. The C-O zone does not have any residential development to date, but has the potential to provide a number of affordable units for the City.

3. Impact Fees: The imposition of impact fees is another cost of building over which the City has control. These fees exist as a direct result of the impacts that development has on certain vital systems that the City is responsible to maintain in a state of efficiency. These systems such as the water system, storm drains, sewer system, roads and parks are just as necessary for residents living in moderate income housing as for those in more expensive housing. Furthermore the impacts of a moderate income house in these systems are comparable to those impacts of more expensive housing.

MODERATE INCOME HOUSING NEEDS: The exact number of moderate income housing units recommended for any community by the Utah Affordable Housing Manual depends on a number of variables. An analysis the existing housing and income situation using available information and come to some reasonable conclusions as to need.

Number of Dwelling Units 2013	1755
2013 Population	6525
Persons Per Household 2010	3.54
2005 Median Annual Household Income	\$85,133
2005 Moderate Annual Household Income	\$68,106

Once again by extrapolating from information contained in the Utah Affordable Housing Manual, we find that a household with this income level could afford a mortgage of approximately 3.1 times the annual income or could afford to spend 27% of their monthly income on rent.

Maximum Purchase Price	$\$68,106 \times 3.1 = \$211,128$
Maximum Monthly Rent	$\$68,106/12 = \$5,675 \times .27 = \$1,532$

There are a few older residences within the City that would fall under the maximum purchase price of a moderate income family. The City currently has two built out condominium project with prices that fall into that range.

The maximum monthly rent, however, points to rental units as the most attainable type of moderate income housing likely to be established in South Weber. There are currently 87 rental units in the City, 60 being in one apartment complex and the rest are basement type apartments. The City has recently approved zoning for a 100 unit apartment complex that is expected to be constructed in the next year. It is believed

that all rental units do, or will, qualify as moderate income housing. The 106 existing condominium units, along with the existing rental units comprise 11% of the housing in the City. Within a short time, the addition of another 100 rental units will bring that up to over 16% of South Weber's housing stock will be moderate income housing.

Recommendations: It is apparent that to meet demands for moderate income housing, as well as meet the recommendations of this Plan for open space and agricultural character of the community, multi-family residences will continue to be the primary type of housing in this price range. In addition the completed condominium units , there is the potential of expanding one of the existing R-H areas by 3.5 acres and the other by 1.5 acres. That could produce another 52 units in the future. This is in addition to the unknown potential for mixed-use zoning in the C-O zone to provide additional moderate income housing.

If the growth rate continues at an average rate of 3% over the next five years the population will reach 7,562. At the current number of people per household, this equates to 2,144 dwelling units. If the City acquires no more than the 170 currently existing multi-family units, they will still comprise 7.9% of the housing stock. If South Weber reaches its projected build out population of 12,814, the number of housing units at that time would be approximately 3,619. By that time we can expect that there would be 297 multi-family dwelling units or 8.2% of the total housing stock would be in the moderate income range. Bear in mind this count does not include any potential multi-family housing developed as in the C-O zone. By this estimate, South Weber can expect to carry its fair share of Moderate income housing for the region. It is recommended that South Weber continue to support the development of multifamily housing in the areas designated in this Plan.