

## SOUTH WEBER CITY COUNCIL AGENDA

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PUBLIC NOTICE is hereby given that the City Council of SOUTH WEBER CITY, Utah, will meet in a regular public meeting on Tuesday, August 25, 2020 in the Council Chambers, 1600 E. South Weber Dr., commencing at 6:00 p.m. \*Due to physical distancing guidelines, there is limited room for the public to attend. Unless commenting, please watch on YouTube at the link above. **Attendees are encouraged to wear a face mask.** If you are unable or uncomfortable attending in person, you may also comment live via Zoom if you register prior to 5 pm the day of the meeting at <https://forms.gle/PMJFhYFJsD3KCi899>. You may also email [publiccomment@southwebercity.com](mailto:publiccomment@southwebercity.com) for inclusion with the minutes.

**OPEN** (Agenda items may be moved in order or sequence to meet the needs of the council.)

1. Pledge of Allegiance: Councilman Halverson
2. Prayer: Councilwoman Petty
3. Corona Update
4. \*Public Comment: Please respectfully follow these guidelines
  - a. Individuals may speak once for 3 minutes or less
  - b. Do not make remarks from the audience
  - c. State your name and address
  - d. Direct comments to the entire Council (Council will not respond)

### **PRESENTATIONS**

5. New Public Works Employees Introduction
6. Recognition of 2020 Country Fair Days Committee

### **ACTION ITEMS**

7. Approval of Consent Agenda
  - a. July Check Register
8. Resolution 2020-34: Final Plat, Site Plan, and Improvement Plan Harvest Park, Phase 3
- 9. Public Hearing: Budget 2020-2021 Amendment**
10. Resolution 2020-35: Budget Amendment
11. Resolution 2020-36: Staker Parson Allocation Advisory Board

### **REPORTS**

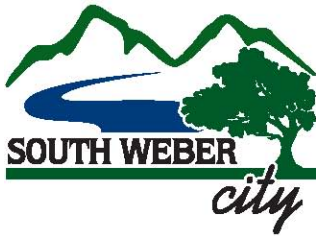
12. New Business
13. Council & Staff
14. Adjourn

In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify the city recorder, 1600 East South Weber Drive, South Weber, Utah 84405 (801-479-3177) at least two days prior to the meeting.

THE UNDERSIGNED DULY APPOINTED CITY RECORDER FOR THE MUNICIPALITY OF SOUTH WEBER CITY HEREBY CERTIFIES THAT A COPY OF THE FOREGOING NOTICE WAS MAILED, EMAILED, OR POSTED TO: 1. CITY OFFICE BUILDING 2. FAMILY ACTIVITY CENTER 3. CITY WEBSITE [www.southwebercity.com](http://www.southwebercity.com) 4. UTAH PUBLIC NOTICE WEBSITE [www.pmn.utah.gov](http://www.pmn.utah.gov) 5. THE GOVERNING BODY MEMBERS 6. OTHERS ON THE AGENDA

DATE: 08-20-2020

CITY RECORDER: Lisa Smith



## Agenda Item Introduction

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**Council Meeting Date:** 08-25-2020

**Name:** Mark Larsen

**Agenda Item:** New Public Works Employees Introduction

**Background:** Public Works budgeted for an additional parks employee to help with the growing acreage within the city. Jody Nielson is moving his family to Las Vegas and thought the commute was too long, so he has put in his notice. After interviews, we chose two employees from the pool of applicants. Jacob Anderson has worked for the postal service, Home Depot, FedEx, and Centerville Parks among other jobs. Jared Clark has small engine, concrete work, plumbing, and sprinkler installation skills. Both men are fitting in well with the team and we are looking forward to continued success as they learn their duties.

**Summary:** Please welcome the newest parks employees.

**Budget Amendment:** n/a

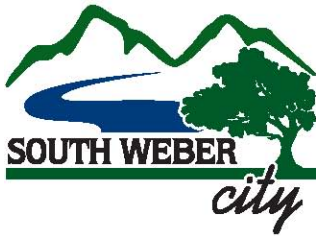
**Procurement Officer Review:** n/a

**Committee Recommendation:** n/a

**Planning Commission Recommendation:** n/a

**Staff Recommendation:** n/a

**Attachments:** n/a



## Agenda Item Introduction

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**Council Meeting Date:** August 25, 2020

**Name:** Hayley Alberts

**Agenda Item:** Recognition of 2020 Country Fair Days Committee

**Background:** For decades, South Weber citizens have gathered together the first week of August to celebrate Country Fair Days. In the midst of Covid-19 it was unclear if we would be able to celebrate this long held and cherished tradition. However, under the dedication and direction of Holly Schenck, Tani Lynch and Victoria Christensen, the Country Fair Days committee was able to make the necessary adjustments so we could still move forward. These women stayed in constant contact with state leadership and the local health department to ensure our celebration would keep everyone safe and healthy. Though Country Fair Days was a little different this year, we had a great turnout and started some new creative and fun events we hope will continue. In a year where so many things were cancelled, it was wonderful for South Weber Days to continue. We want to recognize the additional time and work putting this event with the restrictions in place and give our greatest thanks to them for their hard work and dedication.

**Summary:** The City Council would like to commend and honor the Country Fair Days Committee.

**Budget Amendment:** na

**Procurement Officer Review:** na

**Committee Recommendation:** na

**Planning Commission Recommendation:** na

**Staff Recommendation:** na

**Attachments:** na

Report Criteria:  
Report type: GL detail

Chk. Date	Check #	Payee	Inv. Date	Description	GL Account	G/L Amt	Merchant Name	
07/09/20	41501	ADVANTAGE RENTAL	06/24/20	Sod cutter for wetlands install	1070730	71.40	ADVANTAGE RENTAL	
	Total 41501:						71.40	
07/09/20	41502	Ahlstrom, Douglas J.	06/30/20	Legal Services - June 2020	1043313	600.00	Ahlstrom, Douglas J.	
	Total 41502:						600.00	
07/09/20	41503	AICPA	07/01/20	Membership Renewal	1043210	750.00	AICPA	
	Total 41503:						750.00	
07/23/20	41555	Allied Underground Technology	06/30/20	2020 Canyon Meadows Wetlands Restoration P	4570730	67,088.90	Allied Underground Technology	
	Total 41555:						67,088.90	
07/09/20	41504	Anixter Inc	07/06/20	Streetlight Controllers (39)	4560730	6,318.00	Anixter Inc	
	Total 41504:						6,318.00	
07/23/20	41556	APPARATUS EQUIPMENT & SERVICE	06/30/20	Brush Pants	1057250	307.45	APPARATUS EQUIPMENT & SERVICE	
	Total 41556:						307.45	
07/02/20	41491	AT&T MOBILITY	06/02/20	Telecom Service - May 2020	1057280	113.32	AT&T MOBILITY	
07/02/20	41491	AT&T MOBILITY	06/02/20	Telecom Service - May 2020	1058250	13.24	AT&T MOBILITY	
07/02/20	41491	AT&T MOBILITY	06/02/20	Telecom Service - May 2020	1060250	36.48	AT&T MOBILITY	
07/02/20	41491	AT&T MOBILITY	06/02/20	Telecom Service - May 2020	1070250	13.24	AT&T MOBILITY	
07/02/20	41491	AT&T MOBILITY	06/02/20	Telecom Service - May 2020	5140490	58.84	AT&T MOBILITY	
07/02/20	41491	AT&T MOBILITY	06/02/20	Telecom Service - May 2020	5240490	13.24	AT&T MOBILITY	
07/02/20	41491	AT&T MOBILITY	06/02/20	Telecom Service - May 2020	5340492	13.24	AT&T MOBILITY	
	Total 41491:						261.60	
07/23/20	41557	AT&T MOBILITY	06/30/20	First Net for April, May, and June	1057280	796.08	AT&T MOBILITY	

M = Manual Check, V = Void Check



Chk. Date	Check #	Payee	Inv. Date	Description	GL Account	G/L Amt	Merchant Name
Total 41557:						796.08	
07/09/20	41505	Barry Burton	06/30/20	Planner Services - June 2020	1058310	1,645.00	Barry Burton
Total 41505:						1,645.00	
07/02/20	41492	Beehive Buildings	06/30/20	Refund of Completion Bond SWC200224030	1021340	500.00	Beehive Buildings
Total 41492:						500.00	
07/09/20	41506	BELL JANITORIAL SUPPLY	06/30/20	Paper Towels and Hand Soap - City Hall	1043262	77.02	BELL JANITORIAL SUPPLY
Total 41506:						77.02	
07/30/20	41585	BELL JANITORIAL SUPPLY	06/26/20	Paper Towel and Hand Soap - Restrooms	1070261	116.71	BELL JANITORIAL SUPPLY
Total 41585:						116.71	
07/09/20	41507	BLUE STAKES OF UTAH	06/30/20	Blue Stakes - June 2020	5140490	124.62	BLUE STAKES OF UTAH
Total 41507:						124.62	
07/23/20	41558	CAL RANCH STORES	07/17/20	cat supplys	1070261	21.98	CAL RANCH STORES
Total 41558:						21.98	
07/23/20	41559	CENTURYLINK	07/10/20	SCADA Data Line - July 2020	5140490	117.48	CENTURYLINK
Total 41559:						117.48	
07/23/20	41560	CHEMTECH-FORD LABORATORIES	06/03/20	DBP Testing	5140480	480.00	CHEMTECH-FORD LABORATORIES
Total 41560:						480.00	
07/23/20	41561	Christensen, Anders - Attorney-at-Law	06/30/20	Public Defender - 2 cases	1042313	350.00	Christensen, Anders - Attorney-at-Law
Total 41561:						350.00	
07/09/20	41508	Christensen, Attorney-at-Law, Anders	06/30/20	Public Defender - 2 cases	1042313	350.00	Christensen, Anders - Attorney-at-Law

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SOUTH WEBER CITY

Check Register - Council Approval w/ inv date  
Check Issue Dates: 7/1/2020 - 7/31/2020

Page: 3  
Aug 13, 2020 02:25PM

Chk. Date	Check #	Payee	Inv. Date	Description	GL Account	G/L Amt	Merchant Name
07/20/20	41508	Christensen, Attorney-at-Law, Anders	V 06/30/20	Public Defender - 2 cases	1042313	350.00	Christensen, Anders - Attorney-at-Law
Total 41508:						700.00	
07/23/20	41562	CHRISTENSEN, KEITH	07/20/20	Paint Supplies for Fire Station	1057260	114.90	CHRISTENSEN, KEITH
Total 41562:						114.90	
07/16/20	41535	CHRISTOPHER F ALLRED	06/30/20	Prosecution Services - June 2020	1042313	600.00	CHRISTOPHER F ALLRED
Total 41535:						600.00	
07/16/20	41536	CINTAS CORPORATION	07/10/20	First Aid - Shops - July 2020	1060260	19.38	CINTAS CORPORATION
Total 41536:						19.38	
07/23/20	41563	CINTAS CORPORATION	07/16/20	First Aid - FAC	2071241	35.16	CINTAS CORPORATION
Total 41563:						35.16	
07/09/20	41509	CINTAS CORPORATION LOC 180	06/24/20	MATS/TOWELS - 06/24/2020	1060250	20.48	CINTAS CORPORATION LOC 180
07/09/20	41509	CINTAS CORPORATION LOC 180	06/24/20	PW Uniforms - 06/24/2020	5240140	7.20	CINTAS CORPORATION LOC 180
07/09/20	41509	CINTAS CORPORATION LOC 180	06/24/20	PW Uniforms - 06/24/2020	5140140	14.41	CINTAS CORPORATION LOC 180
07/09/20	41509	CINTAS CORPORATION LOC 180	06/24/20	PW Uniforms - 06/24/2020	5440140	7.20	CINTAS CORPORATION LOC 180
07/09/20	41509	CINTAS CORPORATION LOC 180	06/24/20	PW Uniforms - 06/24/2020	1060140	14.41	CINTAS CORPORATION LOC 180
07/09/20	41509	CINTAS CORPORATION LOC 180	06/24/20	PW Uniforms - 06/24/2020	1070140	28.80	CINTAS CORPORATION LOC 180
07/09/20	41509	CINTAS CORPORATION LOC 180	06/24/20	PW Uniforms - 06/24/2020	1058140	14.40	CINTAS CORPORATION LOC 180
07/09/20	41509	CINTAS CORPORATION LOC 180	07/01/20	MATS/TOWELS - 07/01/2020	1060250	20.48	CINTAS CORPORATION LOC 180
07/09/20	41509	CINTAS CORPORATION LOC 180	07/01/20	PW Uniforms - 07/01/2020	5240140	7.20	CINTAS CORPORATION LOC 180
07/09/20	41509	CINTAS CORPORATION LOC 180	07/01/20	PW Uniforms - 07/01/2020	5140140	14.41	CINTAS CORPORATION LOC 180
07/09/20	41509	CINTAS CORPORATION LOC 180	07/01/20	PW Uniforms - 07/01/2020	5440140	7.20	CINTAS CORPORATION LOC 180
07/09/20	41509	CINTAS CORPORATION LOC 180	07/01/20	PW Uniforms - 07/01/2020	1060140	14.41	CINTAS CORPORATION LOC 180
07/09/20	41509	CINTAS CORPORATION LOC 180	07/01/20	PW Uniforms - 07/01/2020	1070140	28.80	CINTAS CORPORATION LOC 180
07/09/20	41509	CINTAS CORPORATION LOC 180	07/01/20	PW Uniforms - 07/01/2020	1058140	14.40	CINTAS CORPORATION LOC 180
07/09/20	41509	CINTAS CORPORATION LOC 180	07/08/20	MATS/TOWELS - 07/08/2020	1060250	20.48	CINTAS CORPORATION LOC 180
07/09/20	41509	CINTAS CORPORATION LOC 180	07/08/20	PW Uniforms - 07/08/2020	5240140	7.20	CINTAS CORPORATION LOC 180
07/09/20	41509	CINTAS CORPORATION LOC 180	07/08/20	PW Uniforms - 07/08/2020	5140140	14.41	CINTAS CORPORATION LOC 180
07/09/20	41509	CINTAS CORPORATION LOC 180	07/08/20	PW Uniforms - 07/08/2020	5440140	7.20	CINTAS CORPORATION LOC 180
07/09/20	41509	CINTAS CORPORATION LOC 180	07/08/20	PW Uniforms - 07/08/2020	1060140	14.41	CINTAS CORPORATION LOC 180
07/09/20	41509	CINTAS CORPORATION LOC 180	07/08/20	PW Uniforms - 07/08/2020	1070140	28.80	CINTAS CORPORATION LOC 180

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07/09/20	41509	CINTAS CORPORATION LOC 180	07/08/20	PW Uniforms - 07/08/2020	1058140	14.40	CINTAS CORPORATION LOC 180
Total 41509:						320.70	
07/23/20	41564	CINTAS CORPORATION LOC 180	07/15/20	MATS/TOWELS - 07/15/2020	1060250	20.48	CINTAS CORPORATION LOC 180
07/23/20	41564	CINTAS CORPORATION LOC 180	07/15/20	PW Uniforms - 07/15/2020	5240140	7.20	CINTAS CORPORATION LOC 180
07/23/20	41564	CINTAS CORPORATION LOC 180	07/15/20	PW Uniforms - 07/15/2020	5140140	14.41	CINTAS CORPORATION LOC 180
07/23/20	41564	CINTAS CORPORATION LOC 180	07/15/20	PW Uniforms - 07/15/2020	5440140	7.20	CINTAS CORPORATION LOC 180
07/23/20	41564	CINTAS CORPORATION LOC 180	07/15/20	PW Uniforms - 07/15/2020	1060140	14.41	CINTAS CORPORATION LOC 180
07/23/20	41564	CINTAS CORPORATION LOC 180	07/15/20	PW Uniforms - 07/15/2020	1070140	28.80	CINTAS CORPORATION LOC 180
07/23/20	41564	CINTAS CORPORATION LOC 180	07/15/20	PW Uniforms - 07/15/2020	1058140	14.40	CINTAS CORPORATION LOC 180
Total 41564:						106.90	
07/30/20	41586	CINTAS CORPORATION LOC 180	07/22/20	MATS/TOWELS - 07/22/2020	1060250	20.48	CINTAS CORPORATION LOC 180
07/30/20	41586	CINTAS CORPORATION LOC 180	07/22/20	PW Uniforms - 07/22/2020	5240140	7.20	CINTAS CORPORATION LOC 180
07/30/20	41586	CINTAS CORPORATION LOC 180	07/22/20	PW Uniforms - 07/22/2020	5140140	14.41	CINTAS CORPORATION LOC 180
07/30/20	41586	CINTAS CORPORATION LOC 180	07/22/20	PW Uniforms - 07/22/2020	5440140	7.20	CINTAS CORPORATION LOC 180
07/30/20	41586	CINTAS CORPORATION LOC 180	07/22/20	PW Uniforms - 07/22/2020	1060140	14.41	CINTAS CORPORATION LOC 180
07/30/20	41586	CINTAS CORPORATION LOC 180	07/22/20	PW Uniforms - 07/22/2020	1070140	28.80	CINTAS CORPORATION LOC 180
07/30/20	41586	CINTAS CORPORATION LOC 180	07/22/20	PW Uniforms - 07/22/2020	1058140	14.40	CINTAS CORPORATION LOC 180
07/30/20	41586	CINTAS CORPORATION LOC 180	07/29/20	MATS/TOWELS - 07/29/2020	1060250	20.48	CINTAS CORPORATION LOC 180
07/30/20	41586	CINTAS CORPORATION LOC 180	07/29/20	PW Uniforms - 07/29/2020	5240140	7.20	CINTAS CORPORATION LOC 180
07/30/20	41586	CINTAS CORPORATION LOC 180	07/29/20	PW Uniforms - 07/29/2020	5140140	14.41	CINTAS CORPORATION LOC 180
07/30/20	41586	CINTAS CORPORATION LOC 180	07/29/20	PW Uniforms - 07/29/2020	5440140	7.20	CINTAS CORPORATION LOC 180
07/30/20	41586	CINTAS CORPORATION LOC 180	07/29/20	PW Uniforms - 07/29/2020	1060140	14.41	CINTAS CORPORATION LOC 180
07/30/20	41586	CINTAS CORPORATION LOC 180	07/29/20	PW Uniforms - 07/29/2020	1070140	28.80	CINTAS CORPORATION LOC 180
07/30/20	41586	CINTAS CORPORATION LOC 180	07/29/20	PW Uniforms - 07/29/2020	1058140	14.40	CINTAS CORPORATION LOC 180
Total 41586:						213.80	
07/16/20	41537	COLONIAL FLAG SPECIALTY CO INC	07/08/20	Flag Rotation - City Hall - July 2020	1043262	37.00	COLONIAL FLAG SPECIALTY CO INC
07/16/20	41537	COLONIAL FLAG SPECIALTY CO INC	07/08/20	Flag Rotation - Memorial Park	1070261	127.00	COLONIAL FLAG SPECIALTY CO INC
Total 41537:						164.00	
07/02/20	41493	Core and Main	06/19/20	Meter replacement parts	5140490	2,615.99	Core and Main
Total 41493:						2,615.99	

SOUTH WEBER CITY

Check Register - Council Approval w/ inv date  
Check Issue Dates: 7/1/2020 - 7/31/2020

Page: 5  
Aug 13, 2020 02:25PM

Chk. Date	Check #	Payee	Inv. Date	Description	GL Account	G/L Amt	Merchant Name
07/16/20	41538	Core and Main	06/30/20	Water Meters (12)	5140490	3,540.00	Core and Main
Total 41538:						3,540.00	
07/09/20	41510	DAVIS COUNTY GOVERNMENT	06/30/20	Law Enforcement Services - June 2020	1054310	18,490.00	DAVIS COUNTY GOVERNMENT
07/09/20	41510	DAVIS COUNTY GOVERNMENT	06/30/20	Dispatch Fees - June 2020	1057370	652.58	DAVIS COUNTY GOVERNMENT
07/09/20	41510	DAVIS COUNTY GOVERNMENT	06/30/20	REDIWeb Activity	1058370	6.40	DAVIS COUNTY GOVERNMENT
07/09/20	41510	DAVIS COUNTY GOVERNMENT	06/30/20	Animal Control Services - June 2020	1054311	1,722.80	DAVIS COUNTY GOVERNMENT
Total 41510:						20,871.78	
07/30/20	41587	DE LAGE LANDEN	07/25/20	COPIER MAINT AGREEMENT - SHARP	1042240	21.47	DE LAGE LANDEN
07/30/20	41587	DE LAGE LANDEN	07/25/20	COPIER MAINT AGREEMENT - SHARP	1043240	50.10	DE LAGE LANDEN
07/30/20	41587	DE LAGE LANDEN	07/25/20	COPIER MAINT AGREEMENT - SHARP	5140240	35.78	DE LAGE LANDEN
07/30/20	41587	DE LAGE LANDEN	07/25/20	COPIER MAINT AGREEMENT - SHARP	5240240	35.78	DE LAGE LANDEN
Total 41587:						143.13	
07/23/20	41565	DR. SUMMER GRACE DO	06/30/20	Medical Director Contract - March 2020 - May 2	1057370	2,000.00	DR. SUMMER GRACE DO
Total 41565:						2,000.00	
07/09/20	41511	DURKS PLUMBING	06/23/20	Parts for wetlands sprinklers	1070730	14.34	DURKS PLUMBING
07/09/20	41511	DURKS PLUMBING	06/23/20	SPRINKLER PARTS FOR PARKS	1070261	20.43	DURKS PLUMBING
07/09/20	41511	DURKS PLUMBING	06/26/20	Swamp cooler parts for shop	1060250	38.60	DURKS PLUMBING
Total 41511:						73.37	
07/16/20	41539	DURKS PLUMBING	07/10/20	4" Part Circle Sprinklers (10)	1070261	280.80	DURKS PLUMBING
Total 41539:						280.80	
07/23/20	41566	DURKS PLUMBING	07/15/20	SPRINKLER PARTS FOR PARKS	1070261	363.86	DURKS PLUMBING
Total 41566:						363.86	
07/16/20	41540	EXECUTECH	06/30/20	Antivirus, Backup, Email - June 2020	1043350	985.70	EXECUTECH
07/16/20	41540	EXECUTECH	06/30/20	Server Upgrade	1043740	455.00	EXECUTECH
07/16/20	41540	EXECUTECH	07/01/20	IT Services for July 2020	1043308	715.00	EXECUTECH

M = Manual Check, V = Void Check

Chk. Date	Check #	Payee	Inv. Date	Description	GL Account	G/L Amt	Merchant Name
Total 41540:						2,155.70	
07/30/20	41588	EXECUTECH	07/20/20	Computer for PW Shop	5140250	665.00	EXECUTECH
07/30/20	41588	EXECUTECH	07/20/20	Computer for PW Shop	5240250	649.99	EXECUTECH
Total 41588:						1,314.99	
07/23/20	41567	Fernandez, Myrna	06/30/20	Refund for Sports Registrations	2034756	77.00	Fernandez, Myrna
Total 41567:						77.00	
07/16/20	41541	FREEDOM MAILING SERVICES INC.	06/30/20	Utility Billing - June 2020	5140370	559.69	FREEDOM MAILING SERVICES INC.
07/16/20	41541	FREEDOM MAILING SERVICES INC.	06/30/20	Utility Billing - June 2020	5240370	389.35	FREEDOM MAILING SERVICES INC.
07/16/20	41541	FREEDOM MAILING SERVICES INC.	06/30/20	Utility Billing - June 2020	5340370	182.51	FREEDOM MAILING SERVICES INC.
07/16/20	41541	FREEDOM MAILING SERVICES INC.	06/30/20	Utility Billing - June 2020	5440370	85.16	FREEDOM MAILING SERVICES INC.
Total 41541:						1,216.71	
07/16/20	41542	FRONTIER CORPORATION USA	06/30/20	Wetlands Project Management	1070312	1,121.00	FRONTIER CORPORATION USA
Total 41542:						1,121.00	
07/23/20	41568	GAYLORD, LUTHER	07/16/20	INTERPRETER FOR COURT 07/16/2020	1042610	39.80	GAYLORD, LUTHER
Total 41568:						39.80	
07/30/20	41589	HANSEN & ASSOCIATES	06/30/20	EB Transmissions line Topo and Ties	5140730	9,680.32	HANSEN & ASSOCIATES
Total 41589:						9,680.32	
07/23/20	41569	Henry Schein, Inc.	06/30/20	Medical Supplies	1057450	372.55	Henry Schein, Inc.
07/23/20	41569	Henry Schein, Inc.	06/30/20	Medical Supplies	1057450	503.33	Henry Schein, Inc.
07/23/20	41569	Henry Schein, Inc.	06/30/20	Medical Dressing	1057450	21.32	Henry Schein, Inc.
Total 41569:						897.20	
07/02/20	41494	INFOBYTES, INC.	06/25/20	Website Hosting - June 2020	1043308	234.14	INFOBYTES, INC.

SOUTH WEBER CITY

Check Register - Council Approval w/ inv date  
 Check Issue Dates: 7/1/2020 - 7/31/2020

Page: 7  
 Aug 13, 2020 02:25PM

Chk. Date	Check #	Payee	Inv. Date	Description	GL Account	G/L Amt	Merchant Name
Total 41494:						234.14	
07/30/20	41590	INFOBYTES, INC.	07/25/20	Website Hosting - July 2020	1043308	234.14	INFOBYTES, INC.
Total 41590:						234.14	
07/23/20	41570	INTERMOUNTAIN TESTING SERVICES	06/30/20	Soil Testing - South Bench Drive	4560730	254.30	INTERMOUNTAIN TESTING SERVICES
07/23/20	41570	INTERMOUNTAIN TESTING SERVICES	06/30/20	Soil Testing - South Bench Drive	4560730	68.60	INTERMOUNTAIN TESTING SERVICES
Total 41570:						322.90	
07/09/20	41512	Interstate Barricades, LLC	06/30/20	Street Signs (2)	1060415	48.80	Interstate Barricades, LLC
07/09/20	41512	Interstate Barricades, LLC	06/30/20	Street Signs (4)	1060415	206.55	Interstate Barricades, LLC
Total 41512:						255.35	
07/09/20	41513	JERRYS PLUMBING SPECIALTIES	06/30/20	Drinking fountain faucet for central park.	1070261	71.86	JERRYS PLUMBING SPECIALTIES
Total 41513:						71.86	
07/09/20	41514	John J Dobson	06/30/20	Refund for Gym Rental	2034720	100.00	John J Dobson
Total 41514:						100.00	
07/09/20	41515	JOHNSON ELECTRIC	06/03/20	Lights at Cherry Farms Park	1070261	914.96	JOHNSON ELECTRIC
Total 41515:						914.96	
07/30/20	41591	Johnson, Mark H	06/30/20	Tuition Reimbursement for Spring 2020 Semest	1043610	394.20	Johnson, Mark H
Total 41591:						394.20	
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	Potential Revisions to City Code	1058312	283.75	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	General Budget Discussion & Information	1058312	125.00	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	General Information related to Potential Develo	1058312	93.75	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	General Engineering Assistance	1058312	783.75	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	General Planning Commission Meeting - Planni	1058312	468.75	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	Project Review Meetings	1058312	1,593.75	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	Municipal Utilities Committee (MUC)	1058312	250.00	JONES AND ASSOCIATES

M = Manual Check, V = Void Check

Chk. Date	Check #	Payee	Inv. Date	Description	GL Account	G/L Amt	Merchant Name
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	City Standards Update	1058312	110.00	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	GRAMA Requests	1058312	41.00	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	New Public Works Facility - Site Study and Acq	4560730	31.25	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	New Street Light Policy Implementation	1060312	318.75	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	2019 General Plan Update - General	1058312	2,828.25	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	RFQ for Appraisal Services	1058312	56.50	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	RFQ for Property Acquisition Services	1058312	147.25	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	2020 Streetlight Installation Project	4560730	345.00	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	Canyon Meadows PUD - Surplus Property	1058312	184.00	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	CofO - General Locations	1058312	94.00	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	CofO - Canyon Meadows Subdivision	1058312	47.00	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	CofO - Riverside Place Phases 1 & 2	1058312	47.00	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	CofO - Riverside Place Phase 3	1058312	164.50	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	CofO - Old Maple Farms Phases 1 & 2	1058312	164.50	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	CofO - Old Maple Farms Phase 3	1058312	47.00	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	CofO - Freedom Landing Phase 3	1058312	94.00	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	CofO - Harvest Park Phase 1	1058312	47.00	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	South Bench Drive - Construction Management	4560730	1,858.25	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	2019 Street Maintenance Projects	5676312	32.50	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	2020 Street Maintenance Projects	5676312	7,848.25	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	2700 East Red Curb Striping	1060312	375.00	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	UDOT Park 'n' Ride Striping	1060312	697.00	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	WRRP - Tank Rehabilitation and Site Improvem	5140730	56.50	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	EBRWR - ROW Acquisition	5140730	1,220.75	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	EBRWR - Design	5140730	1,062.25	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	JCWR - Design	5140730	1,738.50	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	Cottonwood Drive Waterline Replacement Proje	5140730	4,276.50	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	Low Impact Development (LID) Standards	1058312	233.25	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	2020 Capital Facilities Plan - Storm Water (CFP	5440312	4,897.00	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	CWSID Outfall Line - OMF1, Lot 101 (Jordan Lo	5240312	187.50	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	Canyon Meadows Park - Wetlands Restoration	1070312	8,961.00	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	View Drive Trail	1070312	369.00	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	General Plan Maps	1058325	401.00	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	Utility Maps - Storm Drain	5440325	2,149.50	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	Projects Map	1058325	447.75	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	Street Light Map	1060325	2,276.00	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	Valley Flats Subdivision	1058319	47.00	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	Old Maple Farms Subdivision - Phase 3	1058319	93.75	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	Freedom Landing Townhomes - Phase 2	1058319	93.75	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	Ray Creek Estates	1058319	172.25	JONES AND ASSOCIATES

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Chk. Date	Check #	Payee	Inv. Date	Description	GL Account	G/L Amt	Merchant Name
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	Harvest Park Subdivision - Phase 1	1058319	377.75	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	Harvest Park Subdivision - Phase 2	1058319	191.50	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	Riverside RV Park Resort	1058319	2,531.25	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	The Lofts at Deer Run	1058319	687.50	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	Transition Subdivision - Car Wash (Dan Murray)	1058319	343.75	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	Mountainside Plaza (Gundersen)	1058319	125.00	JONES AND ASSOCIATES
07/09/20	41516	JONES AND ASSOCIATES	06/30/20	Jensen Salon - Site Plan	1058319	125.00	JONES AND ASSOCIATES
Total 41516:						52,241.75	
07/09/20	41517	Kirk Mobile Repair Inc	07/01/20	Fix tailgate on dumptruck #7	1060250	95.00	Kirk Mobile Repair Inc
07/09/20	41517	Kirk Mobile Repair Inc	07/01/20	Repair on Backhoe	1070261	275.40	Kirk Mobile Repair Inc
Total 41517:						370.40	
07/16/20	41543	Kirk Mobile Repair Inc	07/08/20	PTO Repair on 2017 F550	5140250	279.26	Kirk Mobile Repair Inc
Total 41543:						279.26	
07/23/20	41571	Kirk Mobile Repair Inc	07/03/20	Ambulance Repair	1057250	114.58	Kirk Mobile Repair Inc
07/23/20	41571	Kirk Mobile Repair Inc	07/07/20	Safety Inspection Ambulance	1057250	90.00	Kirk Mobile Repair Inc
07/23/20	41571	Kirk Mobile Repair Inc	07/07/20	Safety Inspection Tactical Tender	1057250	90.00	Kirk Mobile Repair Inc
07/23/20	41571	Kirk Mobile Repair Inc	07/07/20	Safety Inspection E1	1057250	90.00	Kirk Mobile Repair Inc
07/23/20	41571	Kirk Mobile Repair Inc	07/07/20	Safety Inspection E2	1057250	90.00	Kirk Mobile Repair Inc
07/23/20	41571	Kirk Mobile Repair Inc	07/07/20	Safety Inspection Hummer	1057250	90.00	Kirk Mobile Repair Inc
07/23/20	41571	Kirk Mobile Repair Inc	07/08/20	Safety Repairs on Tactical Tender	1057250	102.56	Kirk Mobile Repair Inc
07/23/20	41571	Kirk Mobile Repair Inc	07/09/20	Safety Repairs on Hummer	1057250	869.82	Kirk Mobile Repair Inc
Total 41571:						1,536.96	
07/23/20	41572	LES OLSON COMPANY	07/10/20	Copier Quarterly Contract	1043250	422.35	LES OLSON COMPANY
Total 41572:						422.35	
07/09/20	41518	LES SCHWAB TIRE CENTER	06/25/20	TRAILER TIRES	1070250	257.94	LES SCHWAB TIRE CENTER
Total 41518:						257.94	
07/09/20	41519	Mackay, Amie	06/30/20	Refund for Gym Rental	2034720	100.00	Mackay, Amie



Chk. Date	Check #	Payee	Inv. Date	Description	GL Account	G/L Amt	Merchant Name
Total 41519:						100.00	
07/23/20	41573	Mitel	07/01/20	Telecom services - July 2020	1043280	885.03	Mitel
Total 41573:						885.03	
07/09/20	41520	NATIONAL BATTERY SALES	06/30/20	Batteries for Locator	5240490	20.00	NATIONAL BATTERY SALES
Total 41520:						20.00	
07/23/20	41574	NICHOLSON, TRAVIS	07/20/20	Reimbursement for Power Reel for Bay	1057450	150.09	NICHOLSON, TRAVIS
Total 41574:						150.09	
07/02/20	41495	NILSON HOMES	06/24/20	Refund of Completion Bond SWC191104199	1021340	500.00	NILSON HOMES
07/02/20	41495	NILSON HOMES	06/24/20	Refund of Completion Bond SWC191219225	1021340	500.00	NILSON HOMES
07/02/20	41495	NILSON HOMES	06/24/20	Refund of Completion Bond SWC191219226	1021340	500.00	NILSON HOMES
Total 41495:						1,500.00	
07/30/20	41592	NILSON HOMES	07/14/20	Refund of Completion Bond SWC200127009	1021340	500.00	NILSON HOMES
07/30/20	41592	NILSON HOMES	07/29/20	Refund of Completion Bond SWC200205014	1021340	500.00	NILSON HOMES
Total 41592:						1,000.00	
07/09/20	41521	OFFICE DEPOT	06/23/20	Tape (1 pkg.)	1043240	37.77	OFFICE DEPOT
Total 41521:						37.77	
07/30/20	41593	OGDEN BLUE	06/30/20	PLOTTER PAPER	1058250	89.46	OGDEN BLUE
Total 41593:						89.46	
07/23/20	41575	OREILLY AUTOMOTIVE, INC.	07/10/20	Floor Dry	1057250	77.94	OREILLY AUTOMOTIVE, INC.
07/23/20	41575	OREILLY AUTOMOTIVE, INC.	07/10/20	Battery for Tender	1057250	80.21	OREILLY AUTOMOTIVE, INC.
Total 41575:						158.15	
07/02/20	41496	Ovation Development	06/24/20	Refund of Completion Bond SWC190909155	1021340	500.00	Ovation Development

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Total 41496:						500.00	
07/30/20	41594	Ovation Development	07/02/20	Refund of Completion Bond SWC190909152	1021340	500.00	Ovation Development
07/30/20	41594	Ovation Development	07/02/20	Refund of Completion Bond SWC190909153	1021340	500.00	Ovation Development
07/30/20	41594	Ovation Development	07/02/20	Refund of Completion Bond SWC190909154	1021340	500.00	Ovation Development
07/30/20	41594	Ovation Development	07/20/20	Refund of Completion Bond SWC191010182	1021340	500.00	Ovation Development
07/30/20	41594	Ovation Development	07/20/20	Refund of Completion Bond SWC191010183	1021340	500.00	Ovation Development
07/30/20	41594	Ovation Development	07/20/20	Refund of Completion Bond SWC191010184	1021340	500.00	Ovation Development
07/30/20	41594	Ovation Development	07/20/20	Refund of Completion Bond SWC191010185	1021340	500.00	Ovation Development
07/30/20	41594	Ovation Development	07/28/20	Refund of Completion Bond SWC191010186	1021340	500.00	Ovation Development
07/30/20	41594	Ovation Development	07/28/20	Refund of Completion Bond SWC191010187	1021340	500.00	Ovation Development
07/30/20	41594	Ovation Development	07/29/20	Refund of Completion Bond SWC191119208	1021340	500.00	Ovation Development
07/30/20	41594	Ovation Development	07/29/20	Refund of Completion Bond SWC191119209	1021340	500.00	Ovation Development
Total 41594:						5,500.00	
07/09/20	41522	PITNEY BOWES PURCHASE POWER	06/24/20	Postage for court	1042240	45.00	PITNEY BOWES PURCHASE POWER
07/09/20	41522	PITNEY BOWES PURCHASE POWER	06/24/20	Postage for Administration	1043240	105.00	PITNEY BOWES PURCHASE POWER
07/09/20	41522	PITNEY BOWES PURCHASE POWER	06/24/20	POSTAGE FOR UTILITIES	5140240	75.00	PITNEY BOWES PURCHASE POWER
07/09/20	41522	PITNEY BOWES PURCHASE POWER	06/24/20	POSTAGE FOR UTILITIES	5240240	75.00	PITNEY BOWES PURCHASE POWER
Total 41522:						300.00	
07/23/20	41576	POST ASPHALT & CONSTRUCTION	07/14/20	Repair road from water leak - Sandalwood	5140490	900.00	POST ASPHALT & CONSTRUCTION
Total 41576:						900.00	
07/23/20	41577	PRAXAIR	06/30/20	Oxygen	1057450	117.00	PRAXAIR
Total 41577:						117.00	
07/23/20	41578	Pure Water Partners	06/30/20	Ice Machine Lease - June 2020	1057260	330.99	Pure Water Partners
07/23/20	41578	Pure Water Partners	07/08/20	Ice Machine Lease - July 2020	1057260	300.90	Pure Water Partners
Total 41578:						631.89	
07/09/20	41523	Rietbrock, Jaden	06/23/20	Referee	2071481	58.14	Rietbrock, Jaden

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Total 41523:						58.14	
07/30/20	41595	Rietbrock, Jaden	07/01/20	Referee	2071481	93.03	Rietbrock, Jaden
Total 41595:						93.03	
07/09/20	41524	ROBINSON WASTE SERVICES INC	06/30/20	Garbage Collection - June 2020	5340492	11,152.47	ROBINSON WASTE SERVICES INC
07/09/20	41524	ROBINSON WASTE SERVICES INC	07/01/20	Park & Ride Collection - July 2020	1070626	42.32	ROBINSON WASTE SERVICES INC
Total 41524:						11,194.79	
07/23/20	41579	ROCKY MOUNTAIN POWER	06/30/20	Kingston E Service	1070270	22.01	ROCKY MOUNTAIN POWER
07/23/20	41579	ROCKY MOUNTAIN POWER	07/15/20	Park Restroom 667 E 6650 S	1070270	54.90	ROCKY MOUNTAIN POWER
Total 41579:						76.91	
07/16/20	41544	ROSIER, RYAN	06/23/20	Reimbursement for 9 Square Parts	2071610	193.67	ROSIER, RYAN
Total 41544:						193.67	
07/23/20	41580	Schaefer Systems Intl	06/30/20	Garbage Cans (300)	5340250	15,402.00	Schaefer Systems Intl
Total 41580:						15,402.00	
07/09/20	41525	Shums Coda Associates	06/30/20	Building Inspector Services	1058326	8,610.00	Shums Coda Associates
Total 41525:						8,610.00	
07/16/20	41545	Snow Christensen Martineau	06/30/20	Land Use Professional Services - June	1043313	5,032.50	Snow Christensen Martineau
07/16/20	41545	Snow Christensen Martineau	06/30/20	General Professional Services - June	1043313	398.50	Snow Christensen Martineau
Total 41545:						5,431.00	
07/30/20	41596	Sportsites Inc.	07/06/20	Annual Fee-Sportsites	1022800	1,000.00	Sportsites Inc.
07/30/20	41596	Sportsites Inc.	07/06/20	Annual Fee-Sportsites 2020-2021	2071480	991.84	Sportsites Inc.
07/30/20	41596	Sportsites Inc.	07/06/20	Annual Fee-Sportsites 2020-2021	2071483	275.17	Sportsites Inc.
07/30/20	41596	Sportsites Inc.	07/06/20	Annual Fee-Sportsites 2020-2021	2071482	886.60	Sportsites Inc.
07/30/20	41596	Sportsites Inc.	07/06/20	Annual Fee-Sportsites 2020-2021	2071481	562.77	Sportsites Inc.
07/30/20	41596	Sportsites Inc.	07/06/20	Annual Fee-Sportsites 2020-2021	2071484	83.62	Sportsites Inc.

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Total 41596:						3,800.00	
07/09/20	41526	STAKER PARSON MATERIALS AND CONS	06/30/20	water leak in Sandlewood	5140490	220.74	STAKER PARSON MATERIALS AND CONSTRUCT
Total 41526:						220.74	
07/09/20	41527	STANDARD EXAMINER	06/30/20	June Advertisement for Bids	1043220	648.75	STANDARD EXAMINER
Total 41527:						648.75	
07/23/20	41581	Sunrise Environmental Scientific	07/02/20	ALCOHOL IPA 70% (24)	5140490	332.93	Sunrise Environmental Scientific
Total 41581:						332.93	
07/02/20	41497	SUNSTATE EQUIPMENT COMPANY	06/24/20	Trencher for wetlands	1070261	779.25	SUNSTATE EQUIPMENT COMPANY
Total 41497:						779.25	
07/02/20	41498	UNIFIRST CORPORATION	06/26/20	Towels for the FAC	2071241	36.30	UNIFIRST CORPORATION
Total 41498:						36.30	
07/16/20	41546	UNIFIRST CORPORATION	07/10/20	Towels & Rugs for FAC	2071241	76.75	UNIFIRST CORPORATION
Total 41546:						76.75	
07/30/20	41597	UNIFIRST CORPORATION	07/24/20	Towels for FAC	2071241	36.30	UNIFIRST CORPORATION
Total 41597:						36.30	
07/09/20	41528	UPPERCASE PRINTING INK	06/30/20	Newsletter - June 2020	5140370	148.19	UPPERCASE PRINTING INK
07/09/20	41528	UPPERCASE PRINTING INK	06/30/20	Newsletter - June 2020	5240370	105.38	UPPERCASE PRINTING INK
07/09/20	41528	UPPERCASE PRINTING INK	06/30/20	Newsletter - June 2020	5340370	32.93	UPPERCASE PRINTING INK
07/09/20	41528	UPPERCASE PRINTING INK	06/30/20	Newsletter - June 2020	5440370	23.06	UPPERCASE PRINTING INK
Total 41528:						309.56	
07/02/20	41499	UTAH LOCAL GOVERNMENTS TRUST	07/01/20	Trust Premium Relief Credit-Liability	1043510	1,692.00-	UTAH LOCAL GOVERNMENTS TRUST
07/02/20	41499	UTAH LOCAL GOVERNMENTS TRUST	07/01/20		1043510	24,641.00	UTAH LOCAL GOVERNMENTS TRUST

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Chk. Date	Check #	Payee	Inv. Date	Description	GL Account	G/L Amt	Merchant Name
Total 41499:						22,949.00	
07/16/20	41547	UTAH LOCAL GOVERNMENTS TRUST	07/01/20	Vehicle Insurance 2020-2021	1043510	8,551.52	UTAH LOCAL GOVERNMENTS TRUST
07/16/20	41547	UTAH LOCAL GOVERNMENTS TRUST	07/01/20	property insurance 2020-2021	1043510	11,047.04	UTAH LOCAL GOVERNMENTS TRUST
07/16/20	41547	UTAH LOCAL GOVERNMENTS TRUST	07/01/20	Add new backhoe to ppty 2020-2021 premium	1043510	105.96	UTAH LOCAL GOVERNMENTS TRUST
07/16/20	41547	UTAH LOCAL GOVERNMENTS TRUST	07/10/20	Additional items in auto insur2020-2021	1043510	742.33	UTAH LOCAL GOVERNMENTS TRUST
07/16/20	41547	UTAH LOCAL GOVERNMENTS TRUST	07/10/20	Workers Comp	1022250	1,815.62	UTAH LOCAL GOVERNMENTS TRUST
Total 41547:						22,262.47	
07/09/20	41529	UTAH STATE TREASURER	06/30/20	Court Surcharge Remittance - June 2020	1035100	5,861.32	UTAH STATE TREASURER
Total 41529:						5,861.32	
07/23/20	41582	UTAH VALLEY UNIVERSITY	06/30/20	Winter Fire School - Ketts	1057230	40.00	UTAH VALLEY UNIVERSITY
Total 41582:						40.00	
07/09/20	41530	VANGUARD CLEANING SYSTEMS OF U	07/01/20	Janitorial service - July 2020	1043262	280.00	VANGUARD CLEANING SYSTEMS OF U
Total 41530:						280.00	
07/23/20	41583	VERIZON WIRELESS	07/08/20	Public Works Air Card - July 2020	5140280	40.01	VERIZON WIRELESS
Total 41583:						40.01	
07/09/20	41531	WASATCH INTEGRATED WASTE MGMT	06/01/20	Garbage Collection - June 2020	5340492	21,124.80	WASATCH INTEGRATED WASTE MGMT
Total 41531:						21,124.80	
07/30/20	41598	Whitehouse, Amy	07/28/20	Refund of Completion Bond SWC200115004	1021340	200.00	Whitehouse, Amy
Total 41598:						200.00	
07/09/20	41532	WILKINSON SUPPLY	06/22/20	Trimmer and Heads	1070250	404.98	WILKINSON SUPPLY
Total 41532:						404.98	
07/16/20	41548	WILKINSON SUPPLY	07/09/20	String Trimmer	1070250	509.96	WILKINSON SUPPLY

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SOUTH WEBER CITY

Check Register - Council Approval w/ inv date  
 Check Issue Dates: 7/1/2020 - 7/31/2020

Page: 15  
 Aug 13, 2020 02:25PM

Chk. Date	Check #	Payee	Inv. Date	Description	GL Account	G/L Amt	Merchant Name
07/16/20	41548	WILKINSON SUPPLY	07/09/20	Wheeled String Trimmer	5440250	509.96	WILKINSON SUPPLY
Total 41548:						1,019.92	
07/23/20	41584	WILKINSON SUPPLY	07/14/20	Repair on 2014 Cat diesel mower	1070250	315.66	WILKINSON SUPPLY
07/23/20	41584	WILKINSON SUPPLY	07/17/20	Trash pump service	5140490	143.42	WILKINSON SUPPLY
Total 41584:						459.08	
Grand Totals:						319,760.03	


Approval Date: \_\_\_\_\_

Mayor \_\_\_\_\_

City Recorder: \_\_\_\_\_

**MEMORANDUM**

TO: South Weber City Mayor and Council

FROM: Brandon K. Jones, P.E.  
South Weber City Engineer 

CC: David J. Larson – South Weber City Manager

RE: **HARVEST PARK SUBDIVISION – PHASE 3, Plat & Improvement Plans Engineering Review (Final)**

Date: August 20, 2020

---

Our office has completed a review of the Final Plat and Improvement Plans for the Harvest Park Subdivision Phase 3, dated August 18, 2020. Both the plat and the Improvement Plans are consistent with the approved preliminary plans and meet the associated City Codes. The improvements also comply with City Standards.

**GENERAL**

- E1. It appears that all the comments on the final improvement plans from the South Weber Irrigation Company have been addressed. However, an approval letter from the SWIC, indicating that the improvement plans meet their requirements, has not yet been received.

**PLAT**

- E2. No comments.

**IMPROVEMENT PLANS**

- E3. No comments.

**RECOMMENDATION**

- E4. We recommend approval of the plat and associated improvement plans subject to receiving an official approval letter from the SWIC prior to the commencement of construction.

HARVEST PARK PHASE 3 FINAL REVIEW

By Barry Burton 8.6.20  
For the Planning Commission

**Zoning Compliance:**

**PL1** – All lots are in compliance with the requirements of the R-P zone for those lots within that zone and are in compliance with the R-M zone with the PUD overlay for those lots in that zone.

**PL2** – This phase, though not that same as shown on the approved preliminary plat, is in conformance with the preliminary as far as the number and size of lots in that given area. (Originally there were only two phases. The change in phasing issue was covered and approved with Phase 2.)

**PL3** – The typical setback detail on the subdivision plat complies with requirements of the R-P zone and PUD overlay.

**Final Plat:**

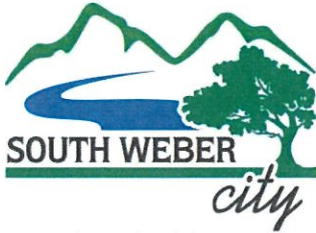
**PL4** – Formatting of the plat looks good. There are two street names that need to be decided and added. (If looking for address grid coordinates for street names, the City Engineer can provide.)

**PL5** – The basement chart describing maximum basement depths on each lot will need to be completed prior of final approval by the City Council.

**Recommendation:**

I advise the Planning Commission to recommend Harvest Park Subdivision Phase 3 final Plat to the City Council for approval.





1600 E. South Weber Drive  
South Weber, UT 84405

www.southwebercity.com

801-479-3177  
FAX 801-479-0066

Approved by PC \_\_\_\_\_  
Approved by CC \_\_\_\_\_

OFFICE USE ONLY

	1-10 lots	11 + lots	Amt Pd	Date	Rcpt #	Mtg date
Concept	\$ 200.00	\$ 400.00				
Sketch	\$ 400.00	\$ 700.00				
2nd Sketch	\$ 300.00	\$ 350.00				
Prelim	\$ 600.00	\$ 900.00				
Final	\$ 700.00	\$ 1,100.00				

**SUBDIVISION/LAND USE PROCESS APPLICATION**

Project/Subdivision Name: Harvest Park Phase 3  
 Approx. Location: 700 E. 6750 So.  
 Parcel Number(s): 13-275-0020 Total Acres: 8.66  
 Current Zone: R-M & R-P If Rezoning, to what zone: — Bordering Zones: Same  
 Surrounding Land Uses: Residential  
 Number of Lots: 28 # of Lots Per Acre: .31 PUD: Yes  No

**Developer or Agent**

Name: Harvest Park 2 Community LLC  
 Company: Nilson Homes  
 Address: 5617 S. 1475 E.  
 City/State/Zip: So. Ogden, UT 84403  
 Phone: 801-392-8100  
 Email: land@nilsonhomes.com

**Developer's Engineer**

Name: Reeve & Associates  
 Company: Chris Cave  
 Address: 5160 S. 1500 W.  
 City/State/Zip: Riverton, UT 84405  
 Phone: 801-621-3100  
 Email: ccave@reeve-assoc.com  
 State License # 375328

**Property Owner, if not Developer**

Name: N/A  
 Company: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone: \_\_\_\_\_  
 Email: \_\_\_\_\_

**Surveyor, if not Engineer**

Name: Trevor Hatch  
 Company: Reeve's Associates  
 Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone: Same  
 Email: \_\_\_\_\_

**Development Signs:**

Please note that a building permit is required for all temporary subdivision signs. Signs cannot obstruct clear and free vision and must comply with all City Codes. Failure to comply will result in sign removal.

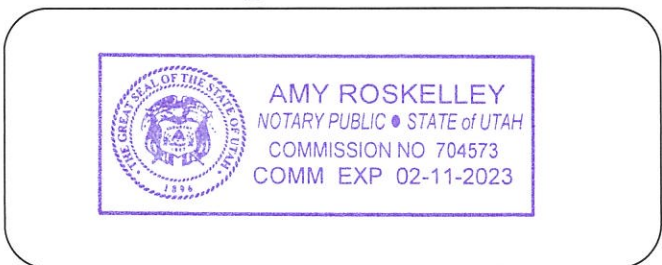
**Applicant Certification**

I swear the statements and answers contained herein, in the attached plans, and other exhibits, thoroughly, to the best of my/our ability, present the argument in behalf of the application requested herewith, and that the statements and information above referred to are in all respects true and correct to the best of my/our knowledge and belief. I also certify that I am the owner of the subject property and that the authorized agent noted in this application has my consent to represent me with respect to this application and to appear on my/our behalf before any city commission, board or council considering this application. Should any of the information or representations submitted be incorrect or untrue, I understand that The City of South Weber may rescind any approval or take any other legal or appropriate action. I also acknowledge that I have reviewed the applicable sections of the South Weber City Land Development Code (SWMC 11) and that items and checklists contained in this application are basic and minimum requirements only and that other requirements may be imposed that are unique to individual projects or uses. Additionally, I agree to pay all fees associated with this project, as set by the current adopted Consolidated Fee Schedule as well as **any fees associated with any City Consultant (i.e. engineer, attorney)**. The applicant shall also be responsible for all collection fees incurred including a collection fee of up to 40% (pursuant to the provisions of the Utah Code Ann. §12-1-11). I also agree to allow the Staff, Planning Commission, or City Council or appointed agent(s) of the City to enter the subject property to make any necessary inspections thereof.

Applicant's Signature: [Signature] Date: 6-18-20

State of Utah, County of ~~Davis~~ <sup>Weber</sup>  
Subscribed and sworn to before me on this 18<sup>th</sup> day of June, 2020  
By Steve Bingham

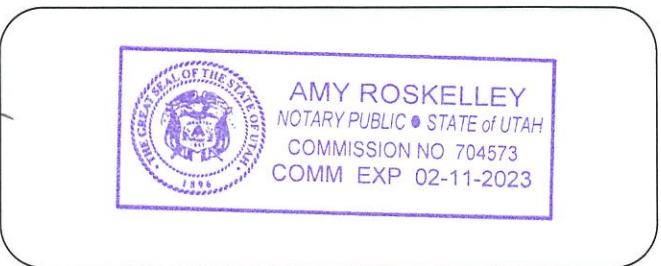
Notary [Signature]



Property Owner's Signature: [Signature] Date: 6-18-20

State of Utah, County of ~~Davis~~ <sup>Weber</sup>  
Subscribed and sworn to before me on this 18<sup>th</sup> day of June, 2020  
By Steve Bingham

Notary [Signature]



Seal

- Location and sizes of culinary water facilities
- Location and size of storm drainage facilities and detention basins
- Wetland Delineation if recommended at Sketch Plan
- Boundaries of areas subject to flooding or storm water overflow in accordance with FEMA's flood plain mapping
  - Width and direction of flow of all watercourses
  - Include existing and proposed irrigation and natural runoff channels/courses
- Location, proposed names, widths and typical cross section of streets, curbs, gutter, sidewalks, and other improvements of proposed street rights-of-way and access easements
- Dimensions and locations of all existing or proposed dedications, easements, and deed restrictions
- Location of any improvements that may be required to be constructed beyond the boundaries of the subdivision (as appropriate)
- Type and size of fencing shown along canals, waterways, and agricultural land

**Final Plan Requirements \***

- Complete all conditions/requirements set by the Planning Commission at Preliminary Approval
- Finalized Draft of Covenants, Conditions, and Restrictions (if applicable)
- Finalized Storm Drain Calculations
- Any applicable agreements finalized, signed, and proof of recording with county provided (agreements with South Weber City must be finalized and remain unsigned)
- Electronic finalized set of certified, stamped construction drawings and specifications as prepared by a licensed civil engineer\*\*

One electronic PDF form shall be submitted of the following (the north area to point up or to the left):

- Format of Final Plat for Recording Required by the County

*\*All plans must be prepared and stamped by a licensed and/or certified professional including, but not limited to, architects, landscape architects, land planners, engineers, surveyors, transportation engineers or other professionals as deemed necessary by the City Planner.*



SHEET 1 OF 2

# HARVEST PARK PHASE 3

## AMENDING STAN COOK SUBDIVISION PHASE II AMENDED

PART OF LOT 6 STAN COOK SUBDIVISION PHASE II AMENDED  
 PART OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY  
 CITY OF SOUTH WEBER, DAVIS COUNTY, UTAH

### BOUNDARY DESCRIPTION

A PORTION OF LOT 6 OF THE STAN COOK SUBDIVISION PHASE II AMENDED, LOCATED IN THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 112 OF HARVEST PARK PHASE 1, SAID POINT BEING S00°36'39"W ALONG THE SECTION LINE, 1877.17 FEET AND S89°23'21"E 1478.49 FEET FROM THE NORTHWEST CORNER OF SAID SECTION 28; THENCE ALONG HARVEST PARK PHASE 1 THE FOLLOWING EIGHT (8) COURSES: (1) S88°37'55"E 130.42 FEET; (2) S89°55'11"E 70.02 FEET; (3) S88°37'55"E 130.81 FEET; (4) N01°22'05"E 455.00 FEET; (5) N45°05'02"W 41.74 FEET; (6) N41°57'50"E 115.00 FEET; (7) N89°49'50"E 101.70 FEET; AND (8) N49°22'03"E 142.96 FEET; THENCE S48°02'10"E 101.25 FEET; THENCE S01°06'20"W 871.97 FEET; THENCE N88°37'55"W 664.59 FEET; THENCE N01°22'05"E 266.81 FEET TO THE POINT OF BEGINNING.

CONTAINING 377225 SQUARE FEET OR 8.660 ACRES MORE OR LESS.

### NARRATIVE

THE PURPOSE OF THIS PLAT IS TO DIVIDE THIS PROPERTY INTO LOTS AND STREETS. THE BOUNDARY WAS DETERMINED BY RETRACING AND MATCHING A PORTION OF LOT 6, STAN COOK SUBDIVISION PHASE 2 AMENDED PLAT (ENTRY #1630605, BK-2728 PG-689, RECORDED ON DECEMBER 22, 2000 IN THE OFFICE OF THE DAVIS COUNTY RECORDER). ALL BOUNDARY CORNERS AND REAR LOT CORNERS WERE SET WITH A 3/8" REBAR AND PLASTIC CAP STAMPED "REEVE & ASSOCIATES". ALL FRONT LOT CORNERS WERE SET WITH A LEAD PLUG IN THE TOP BACK OF CURB AT THE EXTENSION OF THE SIDE LOT LINES.

### BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS PLAT IS THE MEASURED LINE BETWEEN THE NORTHWEST CORNER AND THE WEST QUARTER CORNER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. SHOWN HEREON AS S00°36'39"W.

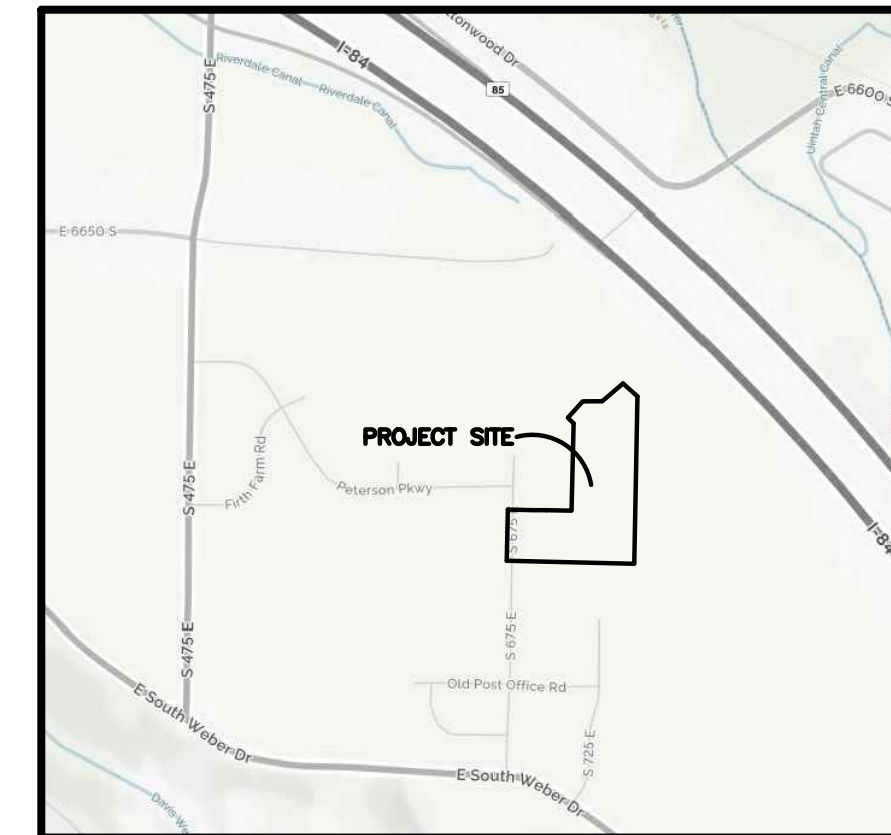
### NOTES

- ALL LOTS ARE SUBJECT TO THE REQUIREMENTS OF THE GEOTECHNICAL REPORT PREPARED BY CMT ENGINEERING LABORATORIES, DATED MARCH 8, 2018, AND THE SUBSEQUENT LETTER, DATED AUGUST 6, 2020 REGARDING BASEMENT DEPTHS.
- ALL GENERAL UTILITY EASEMENTS ARE 10' UNLESS NOTED OTHERWISE
- ALL PROPERTY OWNERS ARE RESPONSIBLE TO KEEP STORM WATER RUNOFF GENERATED FROM THEIR PROPERTY, ON THEIR PROPERTY. THEY MAY NOT DIRECT RUNOFF ONTO ADJACENT PROPERTY OWNERS. ANY GRADING OR LANDSCAPING SHOULD BE DONE IN SUCH A WAY AS TO KEEP ALL STORM WATER RUNOFF ON THEIR LOT.

### ROCKY MOUNTAIN POWER NOTES

PURSUANT TO UTAH CODE ANNEXATION 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.

PURSUANT TO UTAH CODE ANNEXATION 17-27A-603(4)(C)(II) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE P.U.E. AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN HAS UNDER (1) A RECORDED EASEMENT OR RIGHT-OF-WAY (2) THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS (3) TITLE 54, CHAPTER 8A, DAMAGE TO UNDERGROUND FACILITIES OR (4) ANY OTHER PROVISION OF LAW.



VICINITY MAP

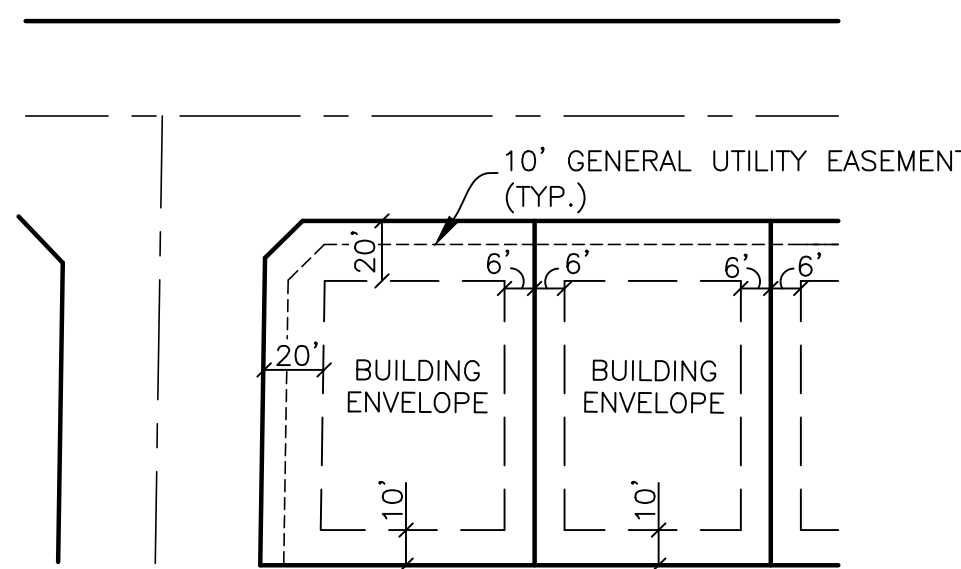
SCALE: NONE

### ADDRESS TABLE

ADDRESS TABLE			
LOT NO.	LOT ADDRESS	STREET NO.	STREET NAME
301	737 EAST	750 EAST	RIVER WAY
302	6827 SOUTH	750 EAST	RIVER WAY
303	6837 SOUTH	750 EAST	RIVER WAY
304	6845 SOUTH	750 EAST	RIVER WAY
305	6851 SOUTH	750 EAST	RIVER WAY
306	6861 SOUTH	750 EAST	RIVER WAY
307	6873 SOUTH	750 EAST	RIVER WAY
308	6883 SOUTH	750 EAST	RIVER WAY
309	6893 SOUTH	750 EAST	RIVER WAY
309	732 EAST	6900 SOUTH	SHORT STREET
310	718 EAST	6900 SOUTH	SHORT STREET
310	6894 SOUTH	700 EAST	COOK DRIVE
311	6891 SOUTH	700 EAST	SHORT STREET
312	6899 SOUTH	6900 SOUTH	SHORT STREET
313	703 EAST	6900 SOUTH	SHORT STREET
314	709 EAST	6900 SOUTH	SHORT STREET
315	715 EAST	6900 SOUTH	SHORT STREET
315	6911 SOUTH	725 EAST	COBBLESTONE STREET
316	6914 SOUTH	725 EAST	COBBLESTONE STREET
316	735 EAST	6900 SOUTH	SHORT STREET
317	741 EAST	6900 SOUTH	SHORT STREET
318	747 EAST	6900 SOUTH	SHORT STREET
319	6898 SOUTH	750 EAST	RIVER WAY
320	6892 SOUTH	750 EAST	RIVER WAY
321	6886 SOUTH	750 EAST	RIVER WAY
322	6878 SOUTH	750 EAST	RIVER WAY
323	6864 SOUTH	750 EAST	RIVER WAY
324	6852 SOUTH	750 EAST	RIVER WAY
325	6844 SOUTH	750 EAST	RIVER WAY
326	6834 SOUTH	750 EAST	RIVER WAY
326	755 EAST	6825 SOUTH	PEBBLE CREEK DRIVE
327	752 EAST	6825 SOUTH	PEBBLE CREEK DRIVE
328	748 EAST	6750 SOUTH	PEBBLE CREEK DRIVE
328	740 EAST	6750 SOUTH	PEBBLE CREEK DRIVE

### BASEMENT TABLE

LOT	TOP OF FLOOR SLAB DEPTH BELOW TOP BACK OF CURB BASED ON LAND DRAIN (FEET)
301	5.60
302	4.83
303	4.49
304	4.80
305	5.11
306	5.43
307	5.75
308	6.09
309	5.59
310	5.80
311	5.34
312	5.70
313	5.73
314	5.71
315	6.12
316	6.29
317	5.51
318	5.84
319	6.31
320	6.56
321	6.24
322	5.90
323	5.57
324	5.25
325	4.93
326	5.23
327	5.47
328	5.72



TYPICAL SETBACK DETAIL

SCALE: NONE  
 ZONE R-M

### DEVELOPER

HARVEST PARK, LLC  
 5617 S. 1475 E.  
 OGDEN, UT. 84403

### SOUTH WEBER CITY ATTORNEY

APPROVED BY THE SOUTH WEBER CITY ATTORNEY  
 THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

### SOUTH WEBER CITY COUNCIL

PRESENTED TO THE SOUTH WEBER CITY COUNCIL THIS  
 THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AT  
 WHICH TIME THIS SUBDIVISION WAS APPROVED AND  
 ACCEPTED.

ATTEST:  
 SOUTH WEBER CITY MAYOR CITY RECORDER

### SOUTH WEBER CITY ENGINEER

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED  
 THIS PLAT AND IT IS CORRECT IN ACCORDANCE  
 WITH INFORMATION ON FILE IN THIS OFFICE.

\_\_\_\_\_  
 SOUTH WEBER CITY ENGINEER DATE

### SOUTH WEBER CITY PLANNING COMMISSION

APPROVED BY THE SOUTH WEBER PLANNING  
 COMMISSION ON  
 THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
 CHAIRMAN, SOUTH WEBER CITY PLANNING COMMISSION

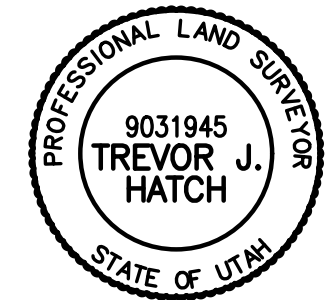
### SURVEYOR'S CERTIFICATE

I, **TREVOR J. HATCH**, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF **HARVEST PARK PHASE 3** IN **SOUTH WEBER CITY, DAVIS COUNTY, UTAH**, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE **DAVIS COUNTY** RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND. I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF **SOUTH WEBER CITY, DAVIS COUNTY** CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

9031945

UTAH LICENSE NUMBER



### OWNERS DEDICATION AND CERTIFICATION

WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND PUBLIC STREETS AS SHOWN ON THE PLAT AND NAME SAID TRACT **HARVEST PARK PHASE 3**, AND DO HEREBY DEDICATE, GRANT AND CONVEY TO SOUTH WEBER CITY, DAVIS COUNTY, UTAH, ALL PARTS OF SAID TRACT OF LAND DESIGNATED AS PUBLIC STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER; AND ALSO DEDICATE TO SOUTH WEBER CITY THOSE CERTAIN STRIPS AS EASEMENTS FOR GENERAL UTILITY AND DRAINAGE PURPOSES AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF GENERAL UTILITY SERVICE LINES AND DRAINAGE AS MAY BE AUTHORIZED BY SOUTH WEBER CITY; AND ALSO DEDICATE, OR CONFIRM AS EXISTING, THE EASEMENTS FOR THE RESPECTIVE UTILITY COMPANIES AS SHOWN HEREON, WITH NO BUILDINGS OR STRUCTURES BEING ERECTED WITHIN ANY EASEMENT DESCRIBED HEREON.

SIGNED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

BY: BRUCE L. NILSON, MANAGER FOR: HARVEST PARK, LLC

### ACKNOWLEDGMENT

STATE OF UTAH )  
 COUNTY OF \_\_\_\_\_ )

ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
 PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC,  
 \_\_\_\_\_ (AND) \_\_\_\_\_ BEING BY ME DULY SWORN,  
 ACKNOWLEDGED TO ME THEY ARE \_\_\_\_\_ AND  
 \_\_\_\_\_ OF SAID COMPANY AND THAT THEY SIGNED THE ABOVE  
 OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN  
 BEHALF OF SAID COMPANY FOR THE PURPOSES THEREIN MENTIONED.

NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_

RESIDING IN \_\_\_\_\_ COUNTY, \_\_\_\_\_

### PROJECT INFORMATION

Surveyor: **T. HATCH** Project Name: **HARVEST PARK PHASE 3**  
 Designer: **N. ANDERSON** Number: **1301-025**  
 Scale: **1"=50'**  
 Begin Date: **6-3-2020** Revision: \_\_\_\_\_  
 Checked: \_\_\_\_\_

### DAVIS COUNTY RECORDER

ENTRY NO. \_\_\_\_\_ FEE PAID  
 \_\_\_\_\_ FILED FOR RECORD  
 AND RECORDED, \_\_\_\_\_ AT  
 \_\_\_\_\_ IN BOOK \_\_\_\_\_ OF  
 THE OFFICIAL RECORDS, PAGE  
 RECORDED FOR:

\_\_\_\_\_  
 DAVIS COUNTY RECORDER

\_\_\_\_\_  
 DEPUTY.



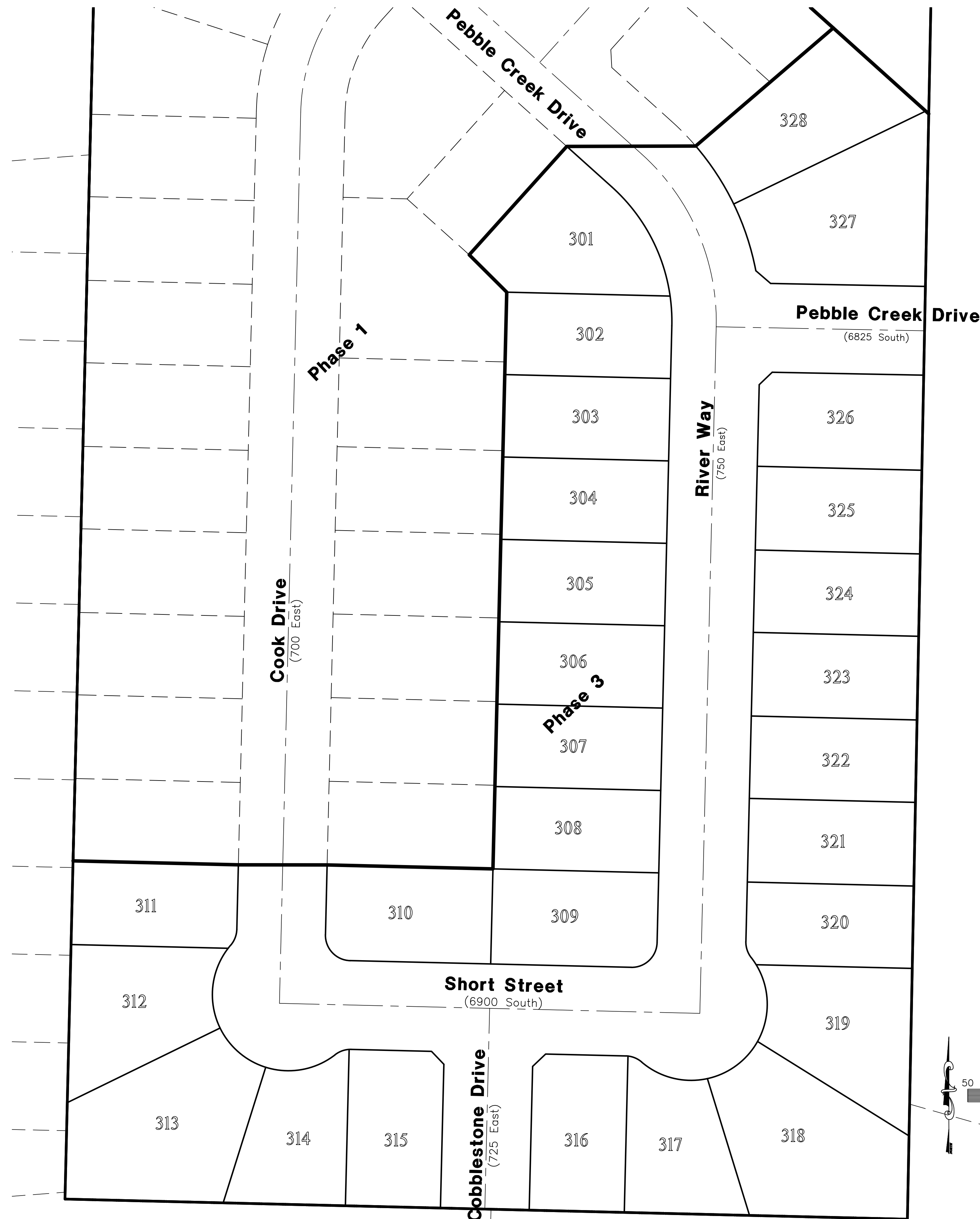


**Project Narrative/Notes/Revisions**

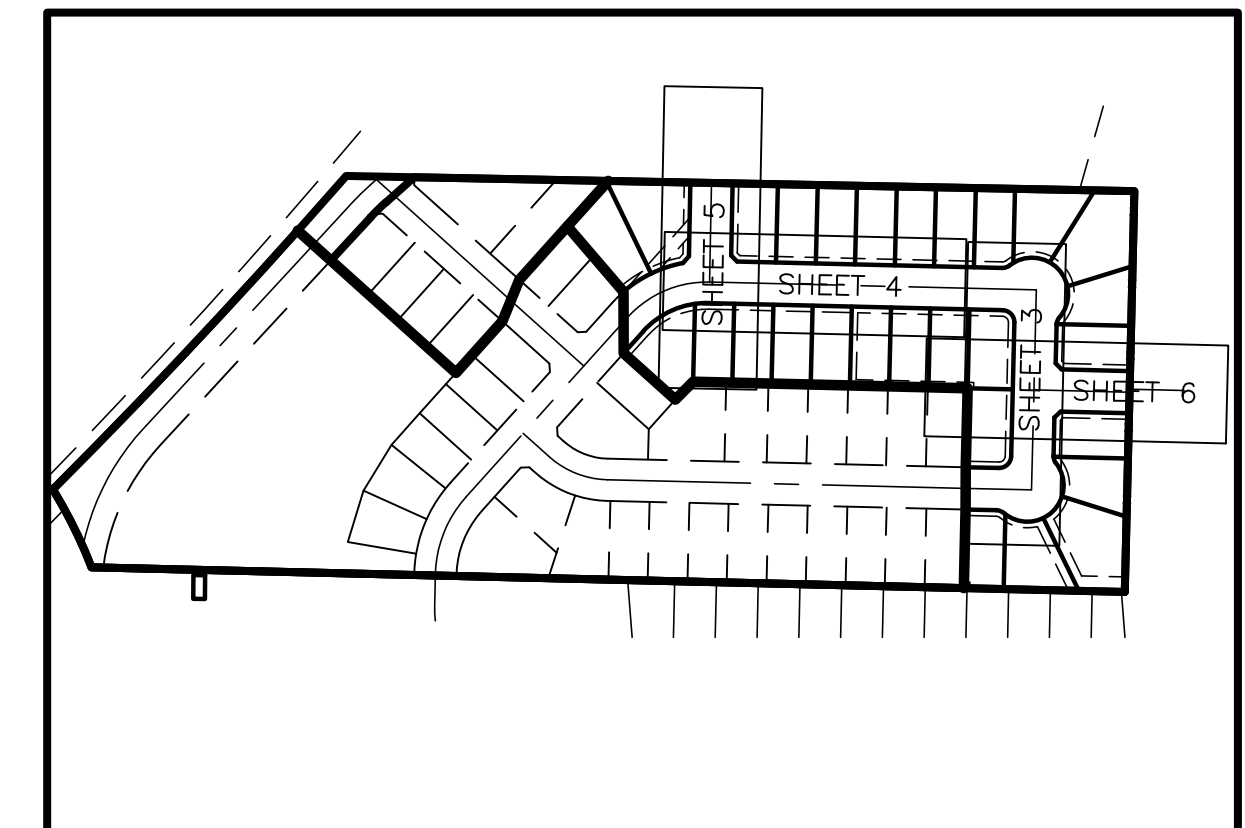
- 06/01/20 CK - COMPLETED DESIGN FOR CLIENT & CITY REVIEW.
- 06/30/20 CK - UPDATED PER SECONDARY WATER REVIEW COMMENTS DATED JUNE 25 2020.
- 07/30/20 NF - REVISED PER CITY COMMENTS DATED JULY 29, 2020.
- 08/13/20 CK - UPDATED PER JUB COMMENTS DATED AUG. 12, 2020.

# Harvest Park Subdivision Phase 3 Improvement Plans

SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
AUGUST 2020



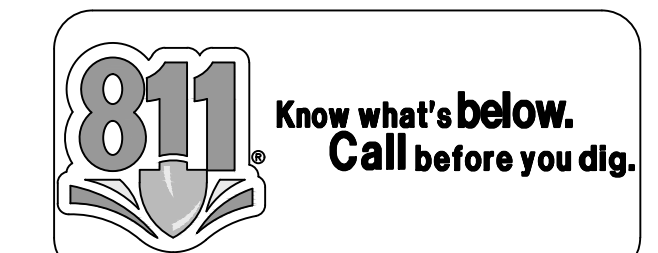
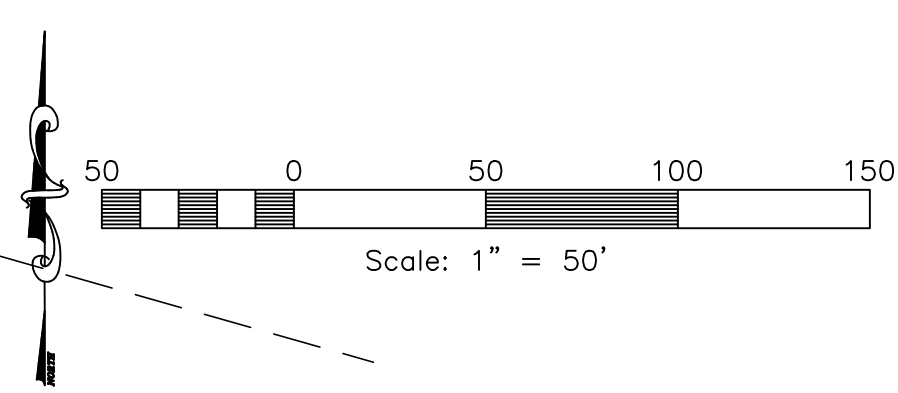
**Vicinity Map**  
NOT TO SCALE



**Sheet Index Key Map**  
NOT TO SCALE

**Sheet Index**

- Sheet 1 - Cover/Index Sheet
- Sheet 2 - Notes/Legend/Street Cross-Section
- Sheet 3 - Short Street - 0+00.00 - 5+00.00
- Sheet 4 - River Way - 5+00.00 - 9+30.00
- Sheet 5 - Pebble Creek Drive - 0+00.00 - 2+00.00
- Sheet 6 - Cobblestone Drive - 0+00.00 - 2+00.00
- Sheet 7 - Grading & Drainage Plan
- Sheet 8 - Utility Plan
- Sheet 9 - Details
- Sheet 10 - Storm Water Pollution Prevention Plan Exhibit
- Sheet 11 - Storm Water Pollution Prevention Plan Details



**Engineer's Notice To Contractors**  
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

**Developer Contact:**  
Nilson Homes  
5617 South 1475 East  
Ogden Utah, 84403  
PH: (801) 392-8100

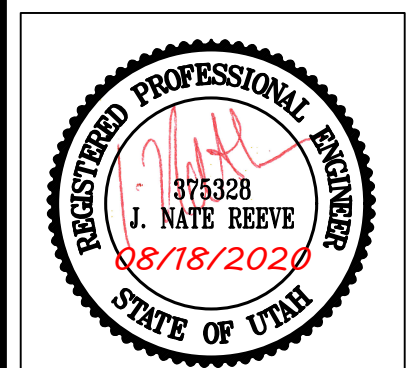
**Project Contact:**  
Project Manager: Chris Cave  
Project Engineer: Nate Reeve

**Reeve & Associates, Inc.**  
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405  
TEL: (801) 621-3100 www.reeve-assoc.com  
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS  
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DATE	DESCRIPTION
06-30-20 CK	City Comments	
07-30-20 NF	City Comments	
08-13-20 CK	City Comments	

**Harvest Park Subdivision  
Phase 3**  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH

**Cover/Index Sheet**



**Project Info.**

Engineer:	J. NATE REEVE
Drafter:	C. KINGSLEY
Begin Date:	MAY 2020
Name:	HARVEST PARK SUBDIVISION PHASE 3
Number:	1301-D25



General Notes:

- 1. ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: GOVERNING UTILITY MUNICIPALITY, GOVERNING CITY OR COUNTY (IF UN-INCORPORATED), INDIVIDUAL PRODUCT MANUFACTURERS, AMERICAN PUBLIC WORKS ASSOCIATION (APWA), AND THE DESIGN ENGINEER. THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.

Utility Notes:

- 1. CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE SERVICE, GAS SERVICE, CABLE, POWER, INTERNET.

Notice to Contractor:

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON RECORDS OF THE VARIOUS UTILITY COMPANIES AND/OR MUNICIPALITIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

THE CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

- NOTE: 1. SAWCUT EXISTING ASPHALT INSIDE FROM OUTER EDGE FOR TACK SEAL OF NEW ASPHALT 2. CONTRACTOR TO VERIFY 2% MIN. AND 5% MAX SLOPE FROM EDGE OF ASPHALT TO LIP OF GUTTER

Survey Control Note:

THE CONTRACTOR OR SURVEYOR SHALL BE RESPONSIBLE FOR FOLLOWING THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS (NSPS) MODEL STANDARDS FOR ANY SURVEYING OR CONSTRUCTION LAYOUT TO BE COMPLETED USING REEVE & ASSOCIATES, INC. SURVEY DATA OR CONSTRUCTION IMPROVEMENT PLANS. PRIOR TO PROCEEDING WITH CONSTRUCTION STAKING, THE SURVEYOR SHALL BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON AN ALTA SURVEY.

Erosion Control General Notes:

THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.

WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT OPEN FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A "NOTICE OF INTENT" WITH THE GOVERNING AGENCIES.

Maintenance:

ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.

THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.

SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.

EXPOSED SLOPES:

- ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS: A) SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED B) TRACKING STRAW PERPENDICULAR TO SLOPES C) INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

Flood Information Data:

FLOOD ZONE DESIGNATION "X" PER F.E.M.A. FLOOD INSURANCE RATE MAPS; COMMUNITY PANEL NUMBERS 49011C0089E DATED JUNE 18, 2007.

AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

(THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THE SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP OR THE LOCATION OF THE FLOOD ZONE BOUNDARY. IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THE SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.)

Legend

Legend table listing symbols and descriptions for water lines, catch basins, fire hydrants, manholes, gates, valves, and pavement types.

Reeve & Associates, Inc. logo and contact information including address, phone, and website.

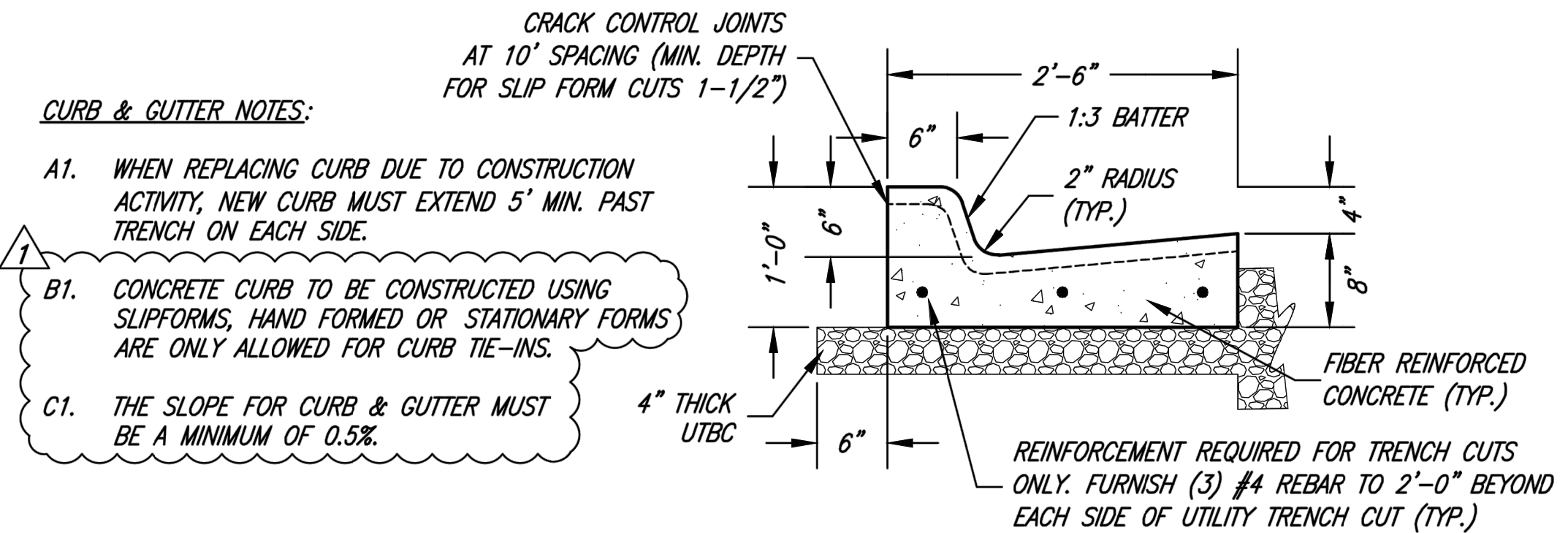
REVISIONS table with columns for DATE, DESCRIPTION, and COMMENTS.

Harvest Park Subdivision Phase 3 Notes/Legend/Street Cross-Section title block.

Professional Engineer seal for J. Nate Reeve, State of Utah, License No. 375328.

Project Info. section including Engineer, Drafter, Begin Date, Name, Subdivision, Phase, and Number.

Sheet 2 of 11 Sheets.

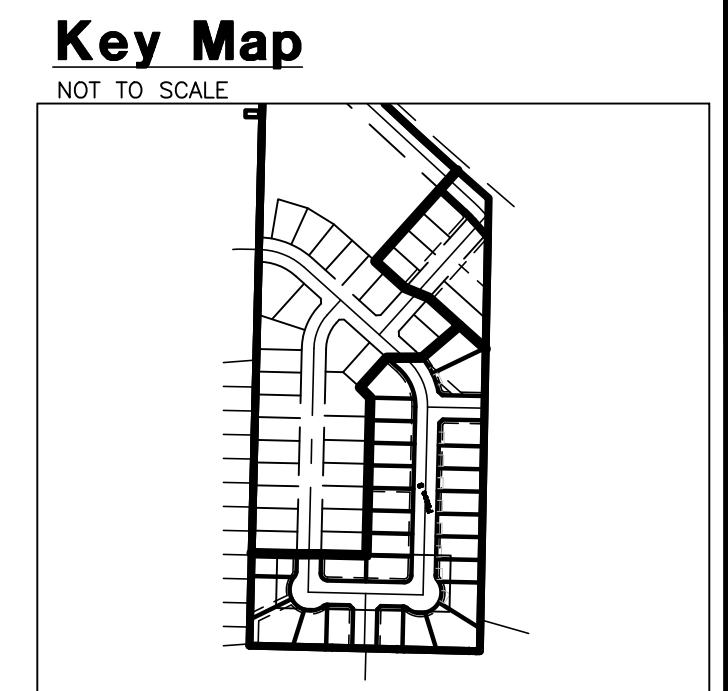
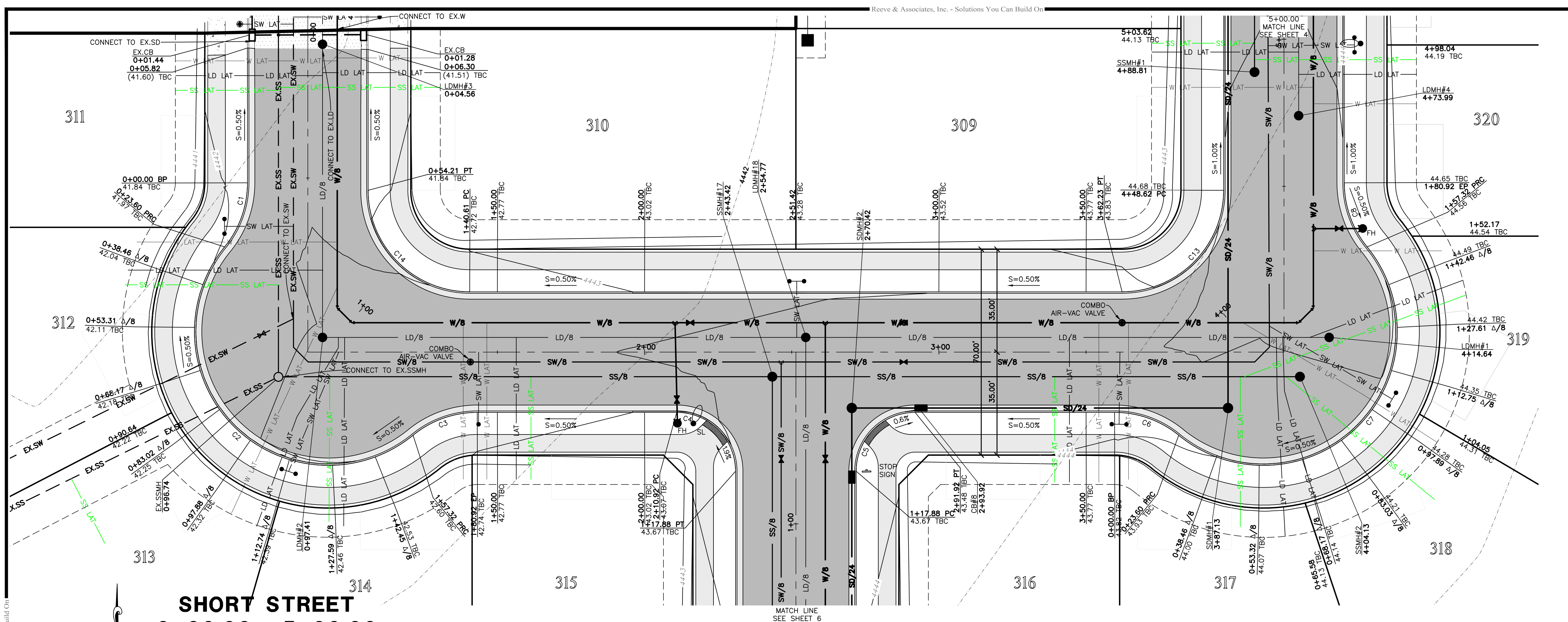


CURB & GUTTER NOTES:

- A1. WHEN REPLACING CURB DUE TO CONSTRUCTION ACTIVITY, NEW CURB MUST EXTEND 5' MIN. PAST TRENCH ON EACH SIDE. B1. CONCRETE CURB TO BE CONSTRUCTED USING SLIPFORMS, HAND FORMED OR STATIONARY FORMS ARE ONLY ALLOWED FOR CURB TIE-INS. C1. THE SLOPE FOR CURB & GUTTER MUST BE A MINIMUM OF 0.5%.

CURB & GUTTER SECTION (CITY STANDARD)





**Construction Notes:**

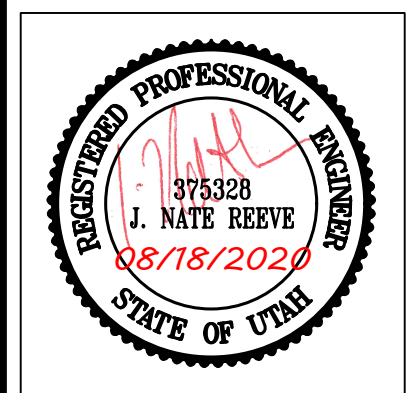
- ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF SOUTH WEBER CITY.
  - CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.
- CULINARY WATER**  
 NOTE: 5' MIN. COVER REQUIRED OVER CW LINES  
 W/8 - 8" DIP W/POLY WRAP WATER LINE  
 W/10 - 10" DIP W/POLY WRAP WATER LINE  
 W - 1" TYPE K COPPER SERVICE LATERAL
- SANITARY SEWER**  
 SS/4 - 4" PVC SDR 35 SERVICE LATERAL  
 SS/8 - 8" PVC SDR-35 SEWER LINE
- STORM DRAIN**  
 SD/15 - 15" RCP STORM DRAIN
- SECONDARY WATER**  
 SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE  
 SW - SECONDARY SERVICE LATERAL W/METER PER SWIC STANDARDS
- NOTES:  
 ALL IRRIGATION & STORM DRAIN DITCHES BEING ABANDONED/FILLED MUST USE STRUCTURAL FILL IN THE RIGHT OF WAY & BUILDING FOOTPRINTS  
 PER GEOTECHNICAL REPORT, GROUNDWATER DEPTHS VARY FROM 6.5'-8.5' UNDERGROUND  
 IMPORTED TRENCH BACKFILL WILL BE REQUIRED WHEREVER UNSUITABLE CONDITIONS ARE PRESENT WITHIN THE STREET RIGHT OF WAY  
 LAND DRAIN LATERALS TO BE PERFORATED & SLEEVED WITH GEOTECHNICAL SOCK OUTSIDE OF THE ROAD RIGHT-OF-WAY ONLY.  
 CONSTRUCTION OF THE PRESSURE IRRIGATION SYSTEM SHALL BE PER THE SOUTH WEBER IRRIGATION COMPANY STANDARDS AND SPECIFICATIONS.  
 CONTRACTOR TO INSTALL CONDUIT(S) FROM POWER SOURCE. STREET LIGHTS INSTALLED BY CITY.

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 5160 SOUTH 1500 WEST RIVERDALE, UTAH 84405  
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 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DATE	DESCRIPTION
06-30-20	CK	City Comments
07-30-20	NF	City Comments
08-13-20	CK	City Comments

**Harvest Park Subdivision Phase 3**  
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH

**SHORT STREET 0+00.00 - 5+00.00**



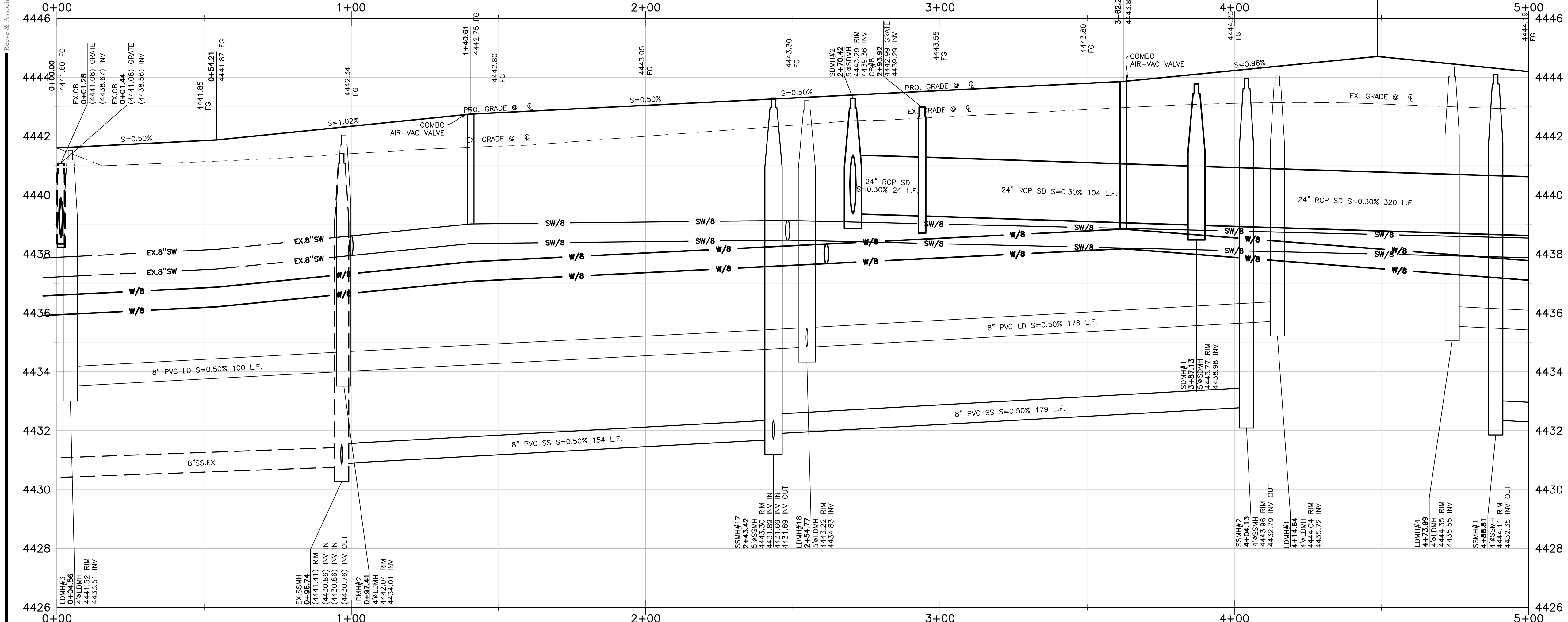
**Project Info.**

Engineer: J. NATE REEVE  
 Drafter: C. KINGSLEY  
 Begin Date: MAY 2020  
 Name: HARVEST PARK SUBDIVISION PHASE 3  
 Number: 1301-D25

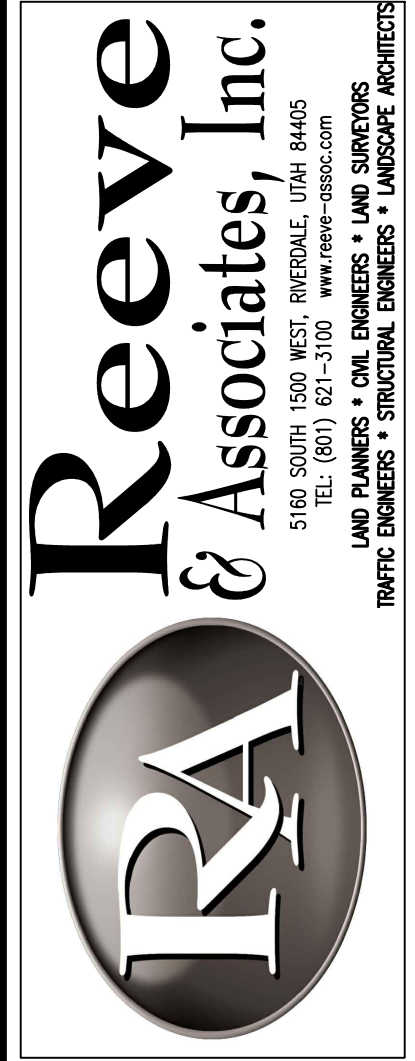


**TBC Curve Data**

#	Delta	Radius	Length	Tangent	Chord	CH Length
C1	39°11'42"	34.50'	23.60'	12.28'	N20°57'56"E	23.14'
C2	168°23'24"	45.50'	133.72'	447.55'	S43°37'55"E	90.53'
C3	39°11'42"	34.50'	23.60'	12.28'	S71°46'14"W	23.14'
C4	90°00'00"	20.00'	31.42'	20.00'	N43°37'55"W	28.28'
C5	90°00'00"	20.00'	31.42'	20.00'	S46°22'05"W	28.28'
C6	39°11'42"	34.50'	23.60'	12.28'	N69°02'04"W	23.14'
C7	168°23'24"	45.50'	133.72'	447.55'	N46°22'05"E	90.53'
C8	39°11'42"	34.50'	23.60'	12.28'	S18°13'46"E	23.14'
C13	90°00'00"	34.50'	54.19'	34.50'	N46°22'05"E	48.79'
C14	90°00'00"	34.50'	54.19'	34.50'	S43°37'55"E	48.79'





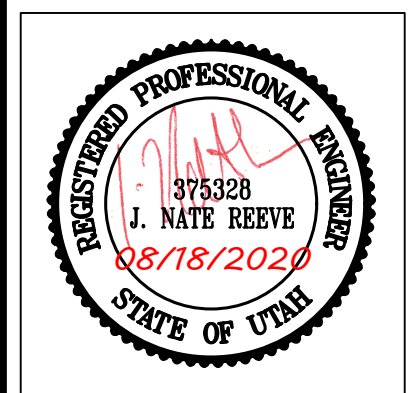


REVISIONS	DATE	DESCRIPTION
06-30-20	CK	City Comments
07-30-20	NF	City Comments
08-13-20	CK	City Comments

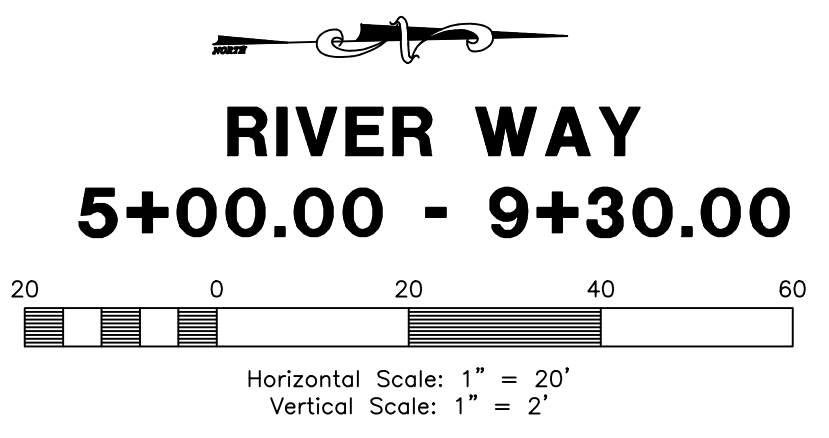
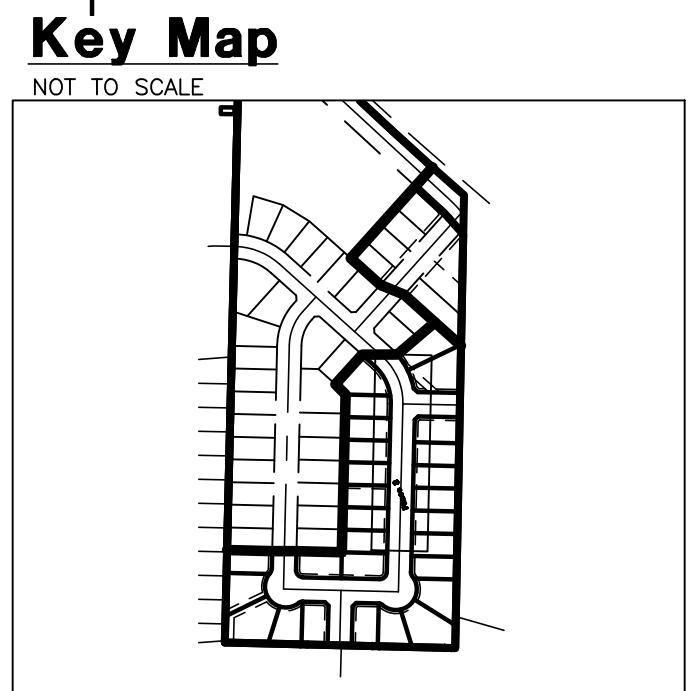
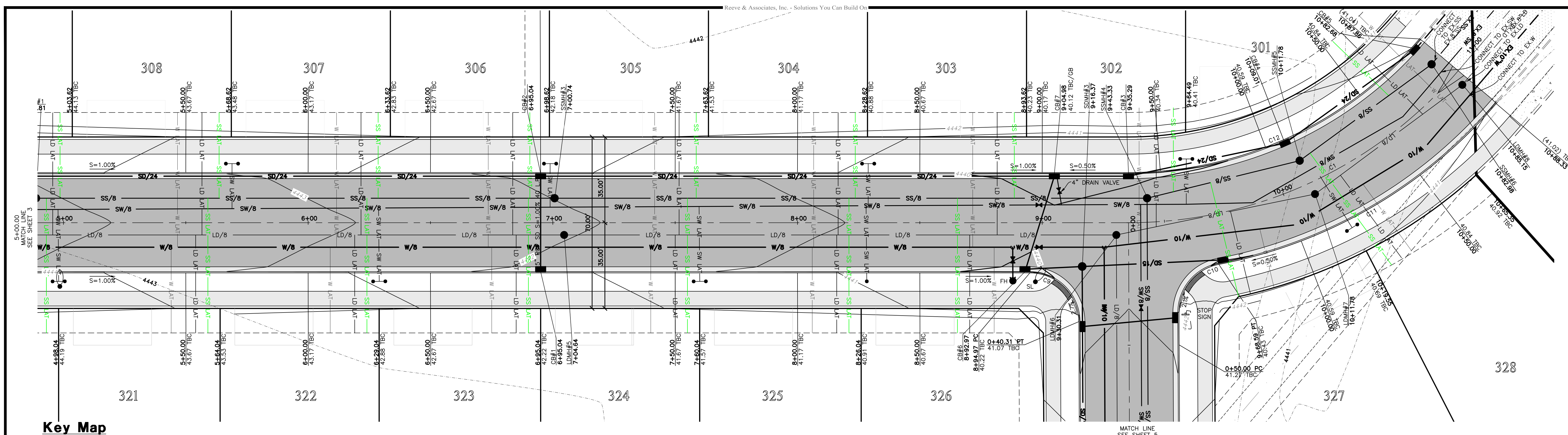
811 Know what's below. Call before you dig.

**Harvest Park Subdivision Phase 3**  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
**RIVER WAY**  
**5+00.00 - 9+30.00**

**Project Info.**  
Engineer: J. NATE REEVE  
Drafted: C. KINGSLEY  
Begin Date: MAY 2020  
Name: HARVEST PARK SUBDIVISION PHASE 3  
Number: 1301-D25

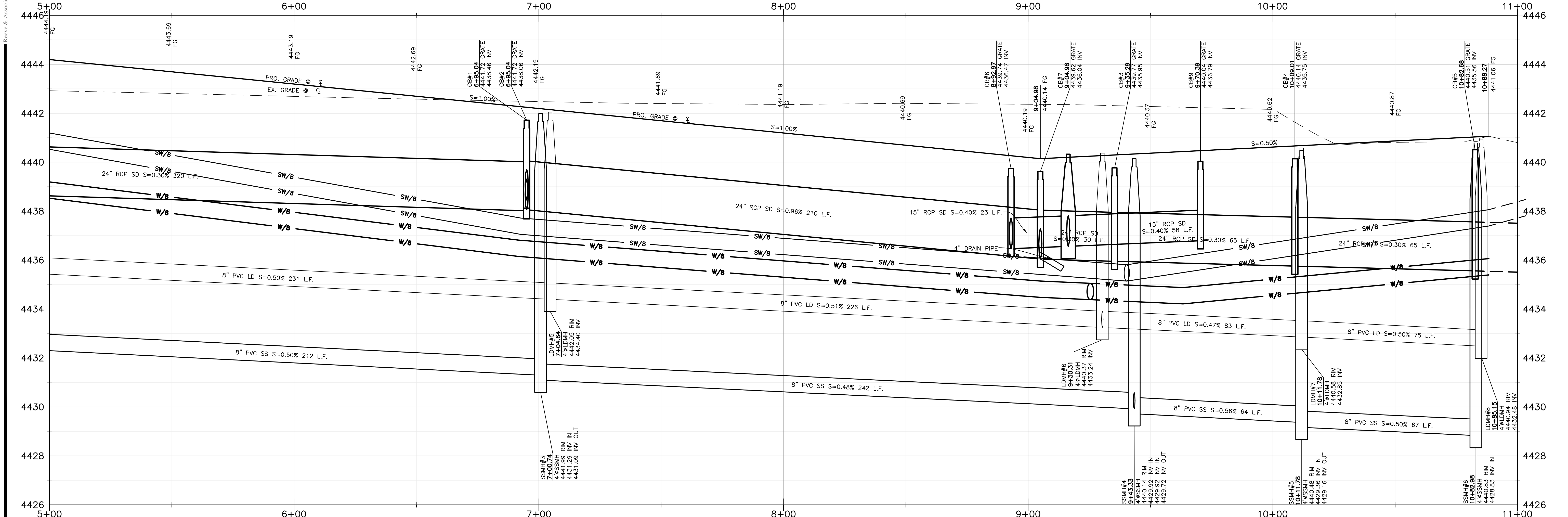


Sheet **11**  
**4** Sheets

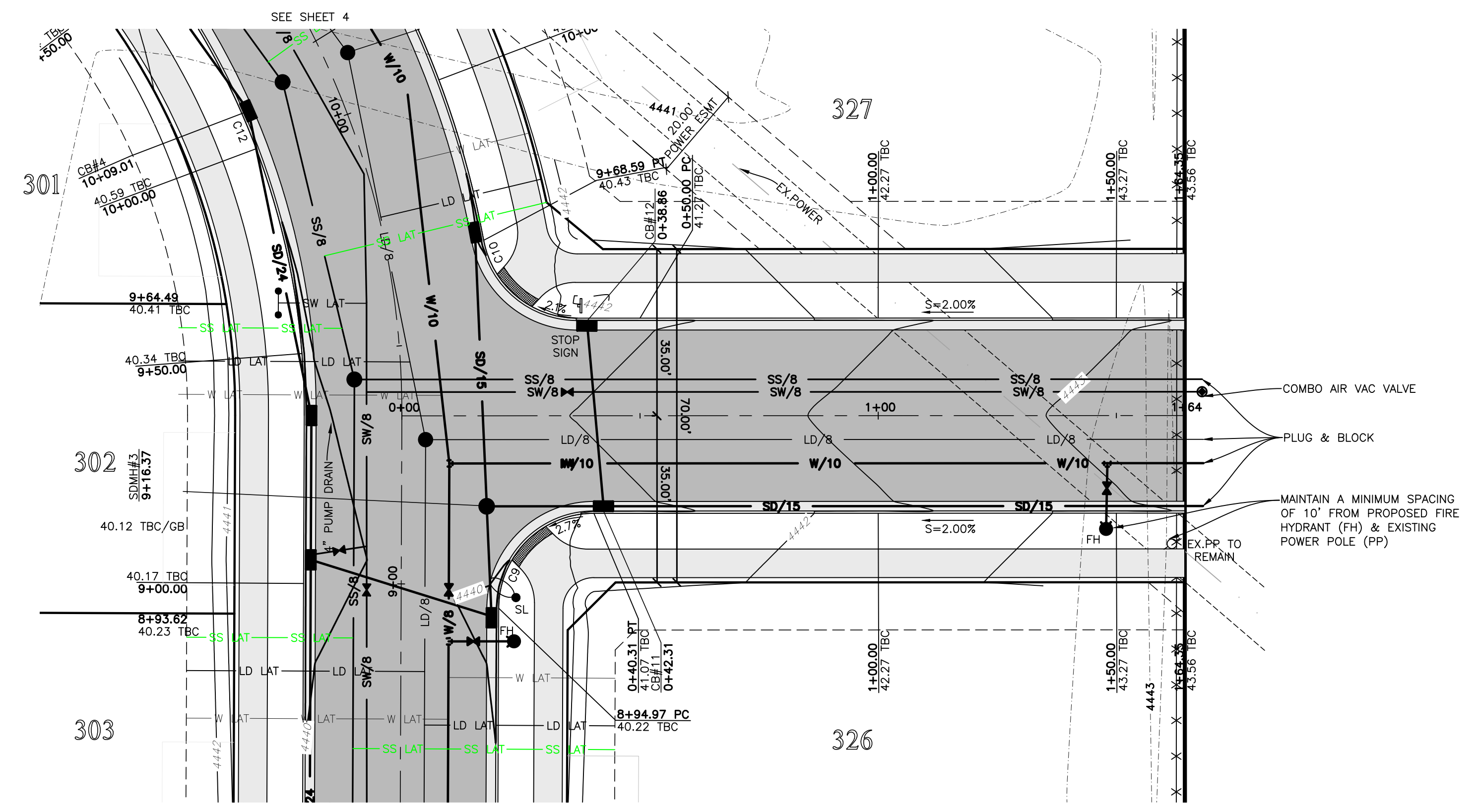


#	Delta	Radius	Length	Tangent	Chord	CH Length
C9	89°44'15"	20.00'	31.32'	19.91'	S46°14'13"W	28.22'
C10	79°30'25"	20.00'	27.75'	16.64'	S49°08'28"E	25.58'
C11	38°38'55"	197.92'	133.51'	69.41'	N28°42'42"W	130.99'
C12	49°24'15"	156.92'	135.31'	72.18'	N23°20'02"W	131.16'

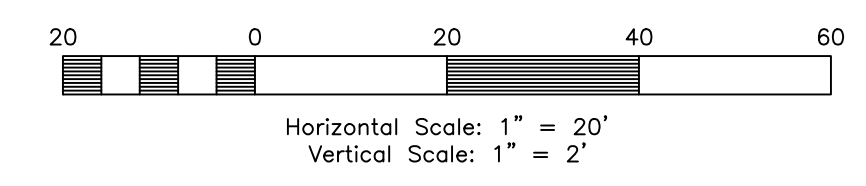
#	Delta	Radius	Length	Tangent	Chord	CH Length
C1	49°24'15"	177.42'	152.98'	81.61'	N23°20'02"W	148.29'





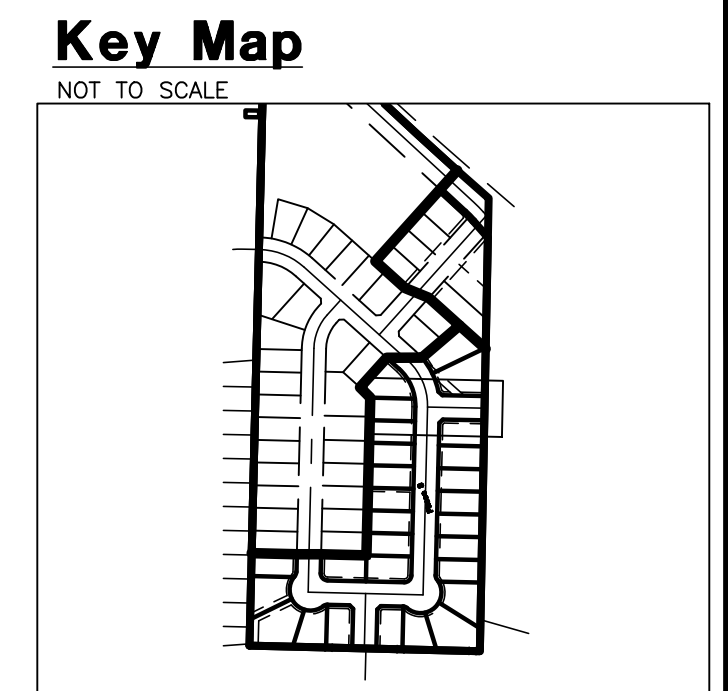
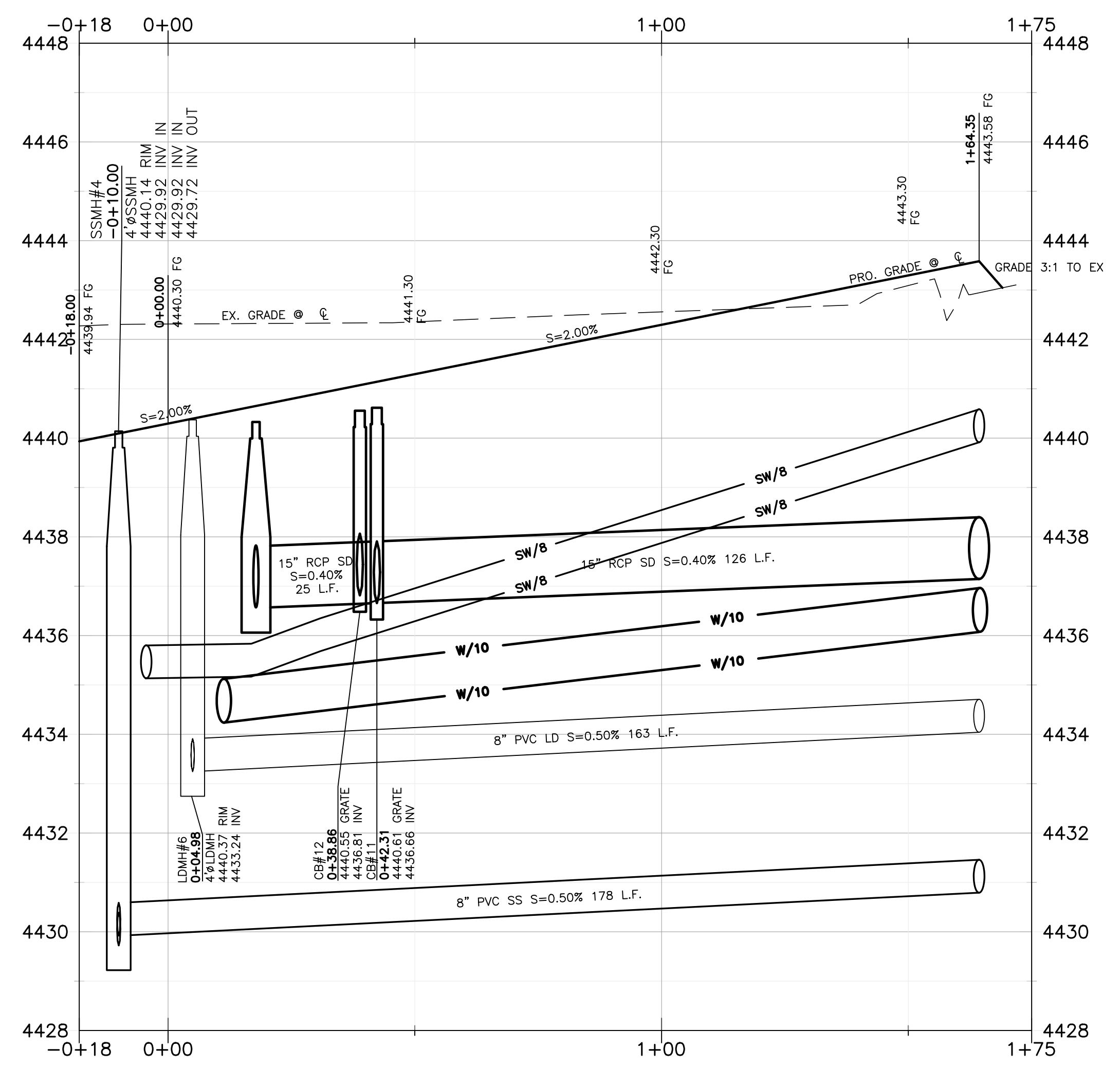


### PEBBLE CREEK DRIVE 0+18.00 - 1+64.35



### TBC Curve Data

#	Delta	Radius	Length	Tangent	Chord	CH Length
C9	89°44'15"	20.00'	31.32'	19.91'	S46°14'13"W	28.22'
C10	79°30'25"	20.00'	27.75'	16.64'	S49°08'28"E	25.58'



### Construction Notes:

- 1) ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF SOUTH WEBER CITY.
- 2) CONSTRUCT HANDICAP RAMP PER ADA AND CITY REQUIREMENTS.

### CULINARY WATER

NOTE: 5' MIN. COVER REQUIRED OVER CW LINES  
 W/8 - 8" DIP W/POLY WRAP WATER LINE  
 W/10 - 10" DIP W/POLY WRAP WATER LINE  
 W - 1" TYPE K COPPER SERVICE LATERAL

### SANITARY SEWER

SS/4 - 4" PVC SDR 35 SERVICE LATERAL  
 SS/8 - 8" PVC SDR-35 SEWER LINE

### STORM DRAIN

SD/15 - 15" RCP STORM DRAIN

### SECONDARY WATER

SW/8 - 8" PVC C-900 DR-14 SECONDARY WATER LINE  
 SW - SECONDARY SERVICE LATERAL W/METER PER SWIC STANDARDS

NOTES:  
 ALL IRRIGATION & STORM DRAIN DITCHES BEING ABANDONED/FILLED MUST USE STRUCTURAL FILL IN THE RIGHT OF WAY & BUILDING FOOTPRINTS

PER GEOTECHNICAL REPORT, GROUNDWATER DEPTHS VARY FROM 6.5'-8.5' UNDERGROUND

IMPORTED TRENCH BACKFILL WILL BE REQUIRED WHEREVER UNSUITABLE CONDITIONS ARE PRESENT WITHIN THE STREET RIGHT OF WAY

LAND DRAIN LATERALS TO BE PERFORMED & SLEEVED WITH GEOTECHNICAL SOCK OUTSIDE OF THE ROAD RIGHT-OF-WAY ONLY.

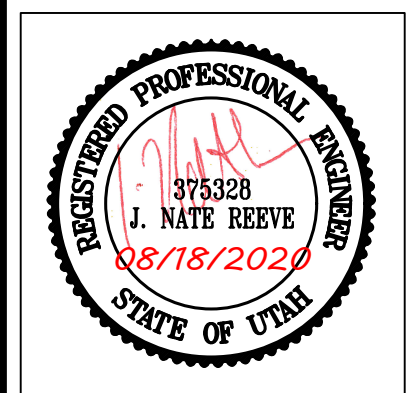
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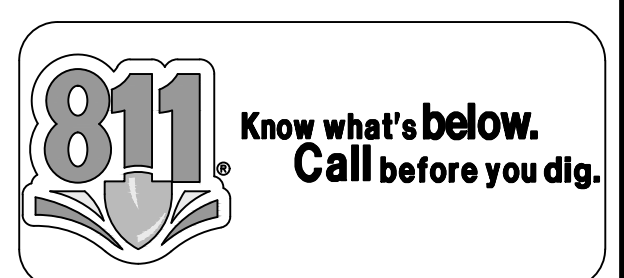
REVISIONS	DATE	DESCRIPTION
06-30-20	CK	City Comments
07-30-20	NF	City Comments
08-13-20	CK	City Comments

**Harvest Park Subdivision Phase 3**  
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
**PEBBLE CREEK DRIVE**  
**0+18.00 - 1+64.35**



**Project Info.**

Engineer: J. NATE REEVE  
 Drafter: C. KINGSLEY  
 Begin Date: MAY 2020  
 Name: HARVEST PARK SUBDIVISION PHASE 3  
 Number: 1301-D25



Sheet	<b>11</b>
<b>5</b>	Sheets

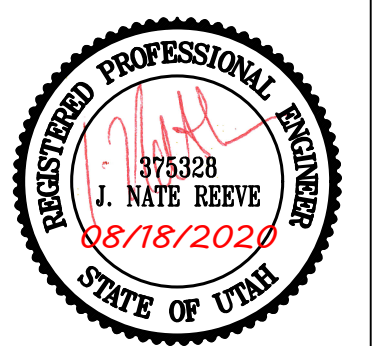






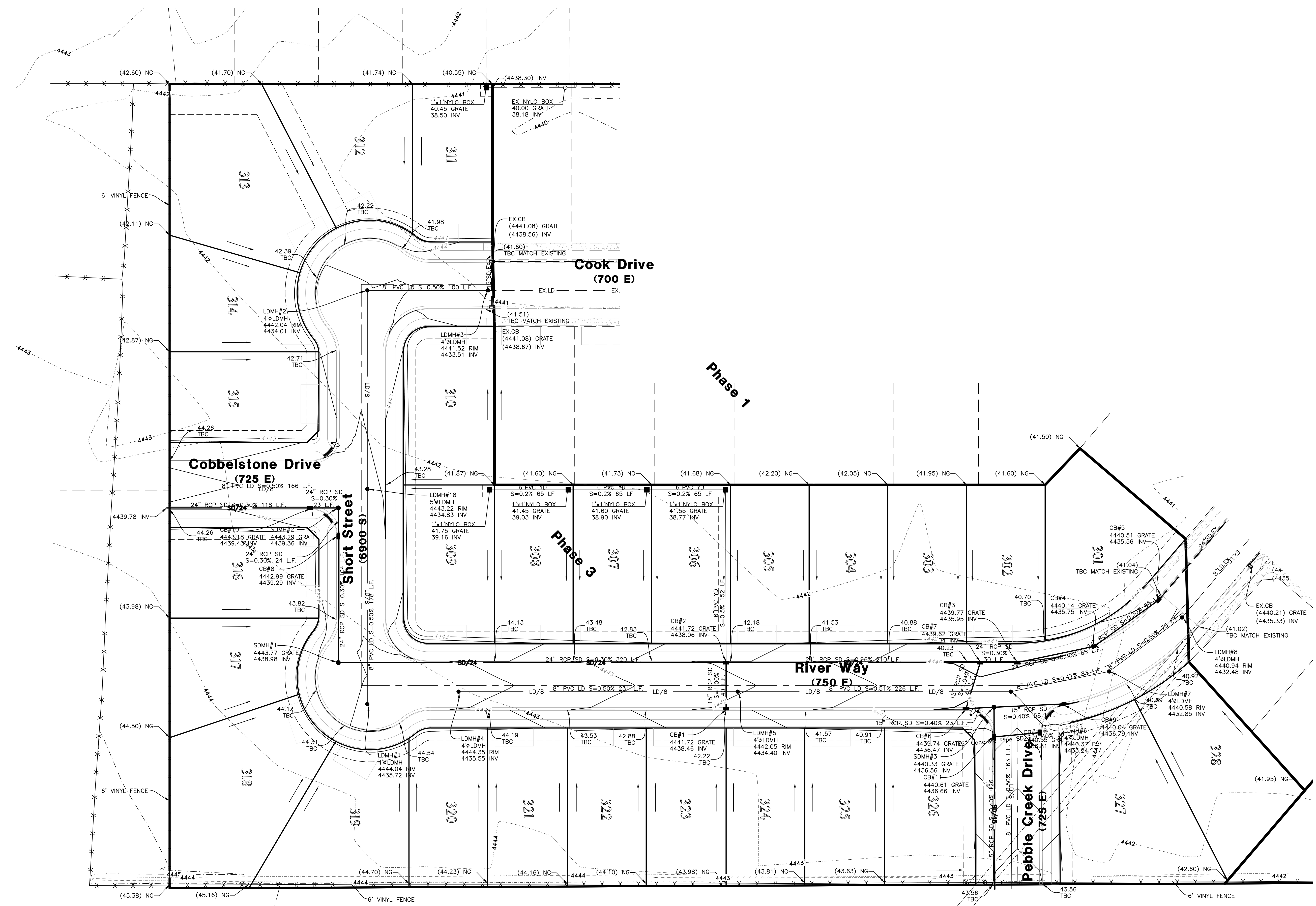
REVISIONS	DATE	DESCRIPTION
06-30-20	CK	City Comments
07-30-20	NF	City Comments
08-13-20	CK	City Comments

**Harvest Park Subdivision Phase 3**  
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
**Grading & Drainage Plan**

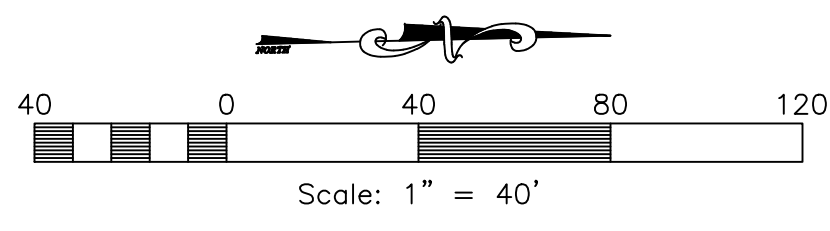


**Project Info.**

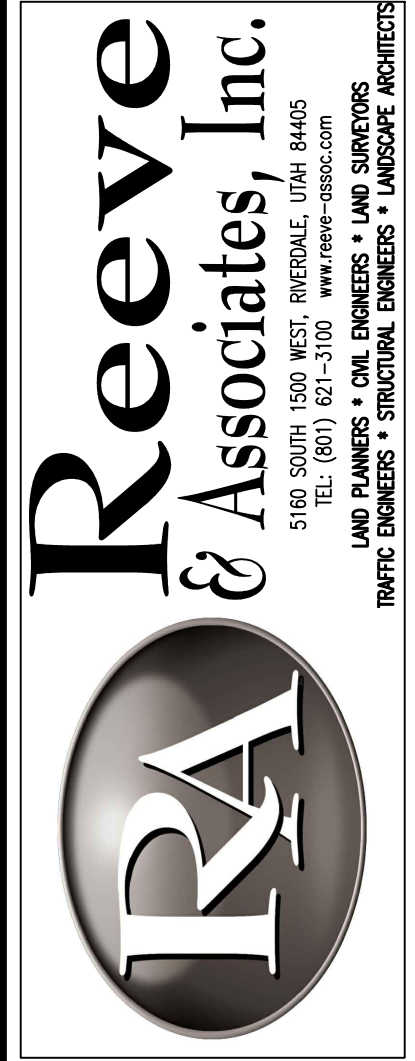
Engineer:	J. NATE REEVE
Drafter:	C. KINGSLEY
Begin Date:	MAY 2020
Name:	HARVEST PARK SUBDIVISION PHASE 3
Number:	1301-D25



NOTES:  
 ALL IRRIGATION & STORM DRAIN DITCHES BEING ABANDONED/FILLED MUST USE STRUCTURAL FILL IN THE RIGHT OF WAY & BUILDING FOOTPRINTS  
 PER GEOTECHNICAL REPORT, GROUNDWATER DEPTHS VARY FROM 8.3' TO 9' IN DEPTH  
 IMPORTED TRENCH BACKFILL WILL BE REQUIRED WHEREVER UNSUITABLE CONDITIONS ARE PRESENT WITHIN THE STREET RIGHT OF WAY

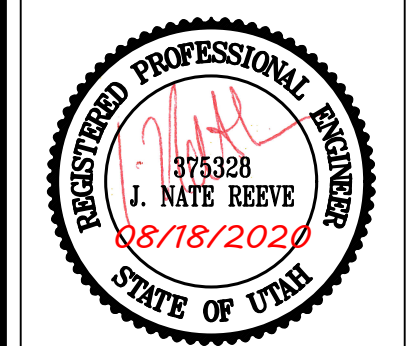






REVISIONS	DATE	DESCRIPTION
06-30-20	CK	City Comments
07-30-20	NF	City Comments
08-13-20	CK	City Comments

**Harvest Park Subdivision Phase 3**  
SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
**Utility Plan**

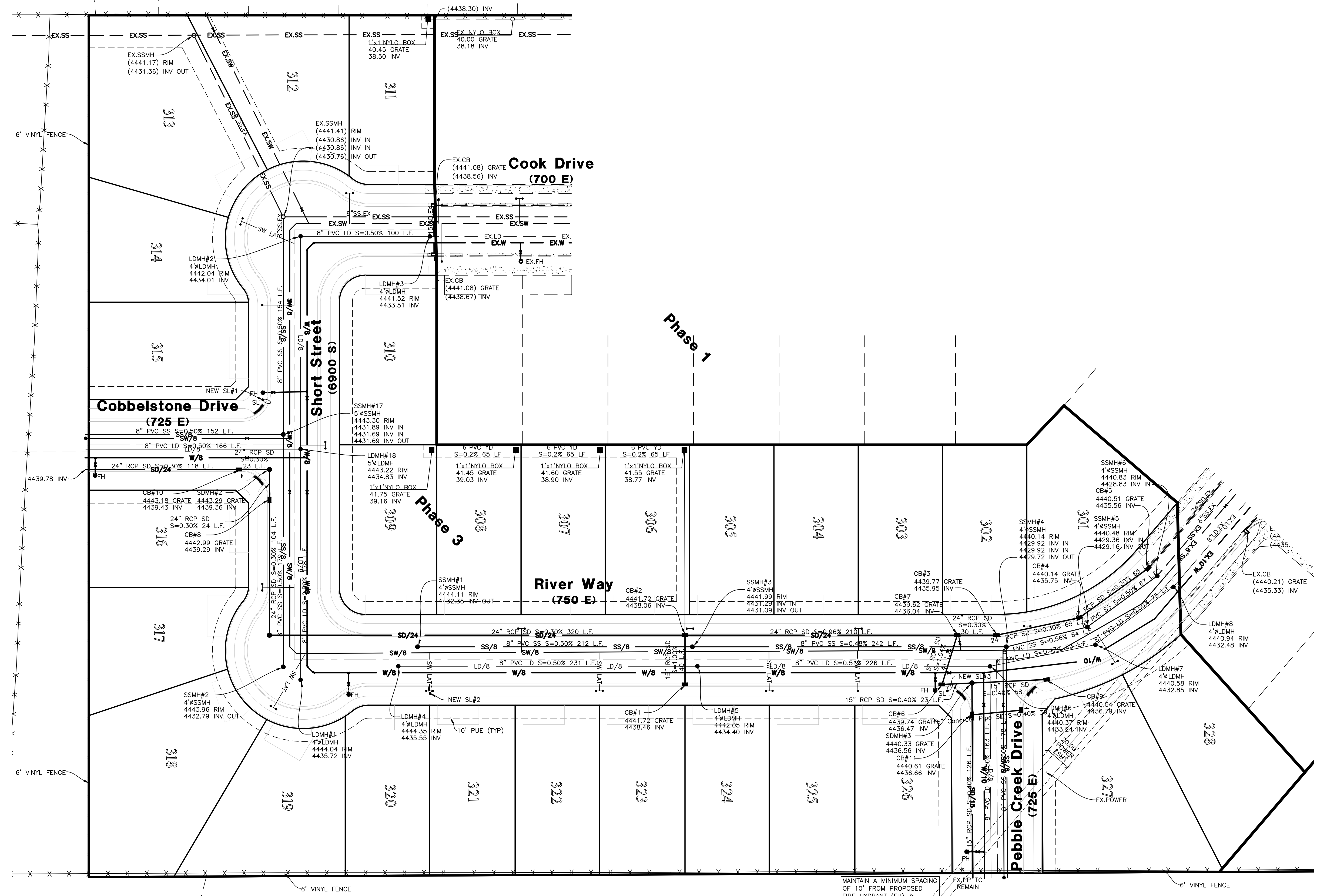


**Project Info.**

Engineer: J. NATE REEVE  
 Drafter: C. KINGSLEY  
 Begin Date: MAY 2020  
 Name: HARVEST PARK SUBDIVISION PHASE 3  
 Number: 1301-D25

Sheet	<b>11</b>
<b>8</b>	Sheets

NOTE: FIELD VERIFY EXISTING UTILITY STUB ELEVATIONS



NOTES:

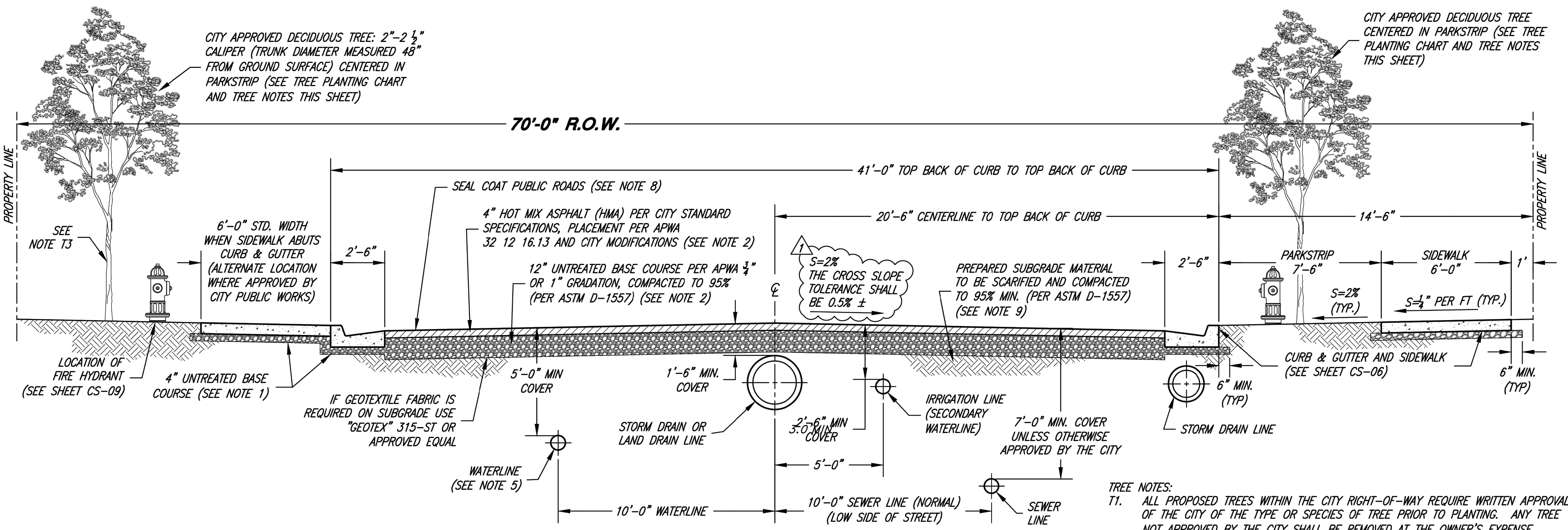
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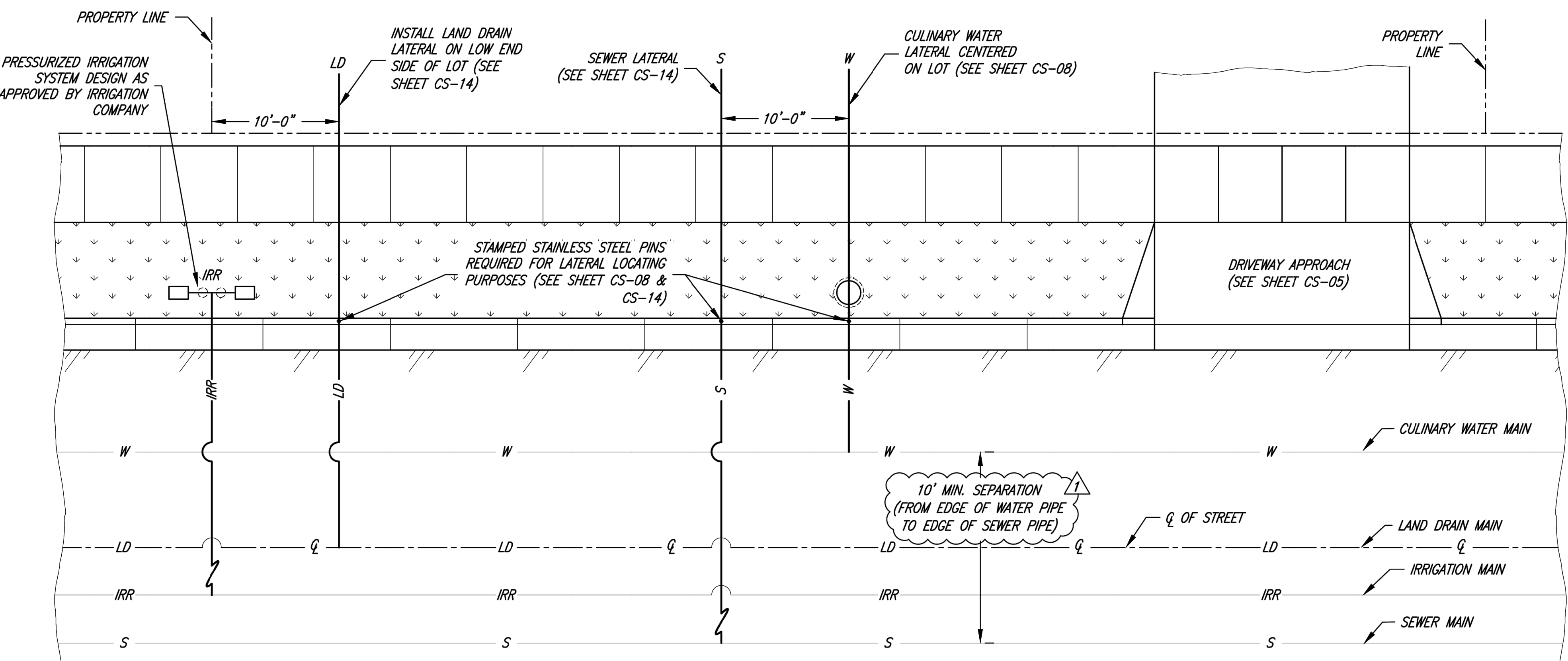
- GENERAL NOTES:**
1. PROVIDE 4" THICKNESS OF 3/4" OR 1" UNTREATED BASE COURSE UNDER SIDEWALK, DRIVEWAY APPROACHES AND CURB & GUTTER, COMPACTED TO 95%, PER ASTM D-1557.
  2. THESE PAVEMENT THICKNESS SHALL BE CONSIDERED AS CITY MINIMUMS AND MAY BE INCREASED BY THE CITY ENGINEER WHEN A GREATER DEPTH IS NECESSARY TO PROVIDE SUFFICIENT STABILITY. DESIGNER AND/OR DEVELOPER MAY SUBMIT AN ALTERNATIVE PAVEMENT DESIGN BASED ON A DETAILED SOILS ANALYSIS FOR APPROVAL BY THE CITY ENGINEER WHICH MAY MODIFY PAVEMENT THICKNESS, BUT IN NO CASE SHALL THE BITUMINOUS SURFACE COURSE BE LESS THAN 4" AND UNTREATED BASE COURSE LESS THAN 12" THICK.
  3. ALL ROAD CUTS SHALL BE PATCHED PER CS-05 AND CS-13
  4. CURB & GUTTER AND SIDEWALKS SHALL BE CONSTRUCTED USING FIBER REINFORCED CONCRETE AND IN COMPLIANCE WITH SOUTH WEBER CITY TECHNICAL SPECIFICATIONS AND THESE DRAWINGS.
  5. ALL CULINARY WATER MAINS AND SERVICES MUST MAINTAIN A MINIMUM SEPARATION FROM ALL SEWER MAINS AND LATERALS OF 10'-0" HORIZONTAL AND 18" VERTICAL IN ACCORDANCE WITH THE STATE OF UTAH DIVISION OF DRINKING WATER RULES SECTION R309-550-7
  6. THE 6'-0" SIDEWALK SHOWN ABOVE IS TO BE CONSIDERED THE "CITY STANDARD." OTHER LOCATIONS AND TYPES OF SIDEWALK AS REQUESTED BY THE DEVELOPER MUST BE APPROVED BY THE CITY. IF SIDEWALK IS LOCATED AGAINST THE TBC, IT MUST BE A MINIMUM OF 6 FEET IN WIDTH.
  7. NATURAL GAS TYPICALLY LOCATED IN THE PARKSTRIP, POWER AND COMMUNICATION LINES TYPICALLY LOCATED BEHIND PROPERTY LINES OR IN LOT EASEMENTS.
  8. "SEAL COAT" CONSISTS OF THE FOLLOWING:
    - a. CHIP SEAL PER APWA 32 01 13.64 AND CITY MODIFICATIONS, AND
    - b. FOG SEAL PER APWA 32 01 13.50 AND CITY MODIFICATIONS.
  9. IMPORTED FILL UNDER ROADWAY SHALL BE GRANULAR BORROW 2" MAX.
  10. PRIOR TO THE INSTALLATION OF PAVEMENT, THE CITY INSPECTOR MUST GIVE WRITTEN PERMISSION TO PROCEED.



**STANDARD LOCAL STREET SECTION**

VARIABLE DEPTH AS REQUIRED PER CMT ENGINEERING GEOTECHNICAL REPORT DATED MARCH 8, 2018, CMT PROJECT NO. 10868

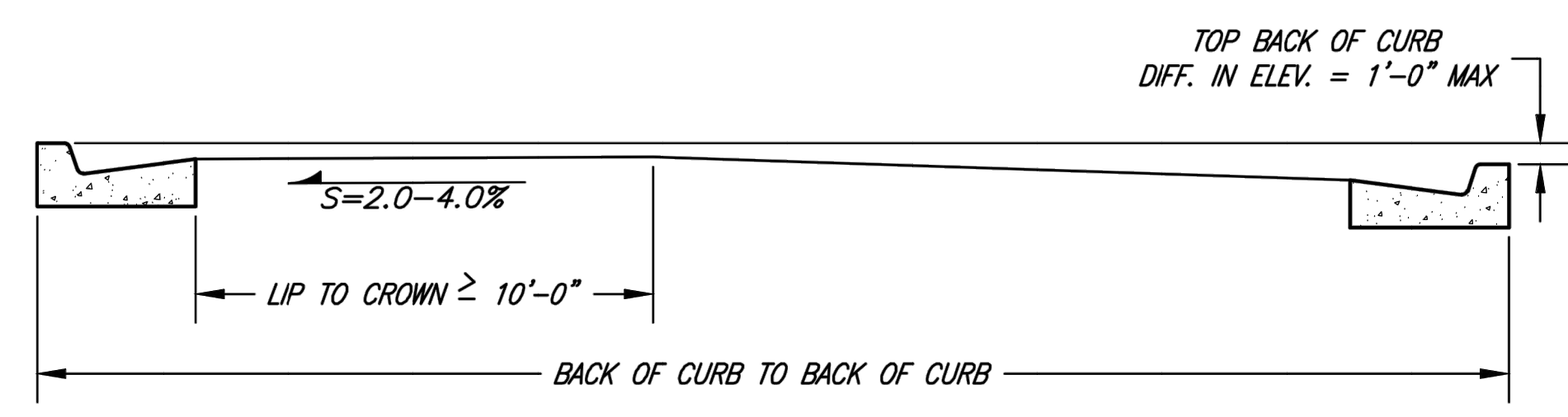
- TREE NOTES:**
11. ALL PROPOSED TREES WITHIN THE CITY RIGHT-OF-WAY REQUIRE WRITTEN APPROVAL OF THE CITY OF THE TYPE OR SPECIES OF TREE PRIOR TO PLANTING. ANY TREE NOT APPROVED BY THE CITY SHALL BE REMOVED AT THE OWNER'S EXPENSE.
  12. ALL PLANTED TREES TO BE SPACED IN ACCORDANCE WITH THE SPECIES CHARACTERISTICS SUCH THAT THE TREES' CROWNS AT MATURITY WILL NOT OVERLAP WITH ANOTHER TREE NOR TOUCH OR OVERHANG A BUILDING.
  13. FOR ADDITIONAL HELP WITH TREE SELECTION VISIT [WWW.TREEBROWSER.ORG](http://WWW.TREEBROWSER.ORG) FOR FURTHER INFORMATION ON NATIVE AND INTRODUCED TREES GROWING IN UTAH AND THE INTERMOUNTAIN WEST.
  14. THE PLANTING OF TREES IN THE PARKSTRIP MAY BE A REQUIREMENT OF THE DEVELOPMENT IF DEEMED NECESSARY BY THE CITY.



**GENERAL LOT LATERAL CONFIGURATION DETAIL**

**TREE PLANTING CHART**

SIZE	MATURE HEIGHT	CONCRETE OFFSET	STREET CORNER/FH	POWER/UTILITY DISTANCE
LARGE	OVER 40 FEET	8 FEET MIN. DISTANCE	30 FEET FROM STREET CORNER & 10 FEET	10 LATERAL FEET OF ANY OVERHEAD UTILITY WIRE & 5 LATERAL FEET OF ANY UNDERGROUND UTILITY LINE
MEDIUM	25 FEET TO 40 FEET	6 FEET MIN. DISTANCE	FROM ANY FIRE HYDRANT	
SMALL	LESS THAN 25 FEET	3 FEET MIN. DISTANCE		



**CROWN LOCATION FOR VARIOUS CROSS SLOPES**

- CROWN NOTES:**
- A. MAXIMUM DIFFERENCE IN ELEVATION BETWEEN CURBS ON OPPOSITE SIDES OF THE STREET SHALL NOT EXCEED 1'-0" AS SHOWN IN DETAIL.
  - B. ON CERTAIN STREETS APPROVED BY THE CITY COUNCIL, THE CITY ENGINEER WILL PROVIDE A PAVEMENT DESIGN. LOCATION OF SIDEWALK AND CURB & GUTTER MAY VARY PER DIRECTION OF THE CITY ENGINEER.
  - B. ALL STREET CROSS SECTIONS SHALL BE AS APPROVED BY THE CITY ENGINEER.

**REGISTERED PROFESSIONAL ENGINEER**  
 BRANDON KENT JONES  
 No. 5148768  
 State of Utah  
 PROJECT ENGINEER  
 2-12-2019  
 DATE

REV.	DATE	APPR.	ADDED AND/OR MODIFIED NOTES
1	JAN '19	BKJ	ADDED AND/OR MODIFIED NOTES

SCALE: N.T.S.  
 DESIGNED: BKJ  
 DRAWN: BEB  
 CHECKED: BKJ

**JA CONSULTING ENGINEERS**  
 6080 Fashion Point Drive  
 South Ogden, Utah 84403 (801) 476-9767  
[www.jonescivil.com](http://www.jonescivil.com)

**SOUTH WEBER CITY CORPORATION**  
**PUBLIC WORKS STANDARDS**  
**PUBLIC ROADS - TYPICAL LOCAL STREET CROSS SECTION & UTILITY LATERAL CONFIGURATION DETAILS**

**CS-02**  
 SHEET: 9 OF 24 SHEETS  
 PROJECT INFO:  
 Engineer: J. NATE REEVE  
 Drafter: C. KINGSLEY  
 Begin Date: MAY 2020  
 Name: HARVEST PARK  
 SUBDIVISION: PHASE 3  
 Number: 1301-D25

**Reeve & Associates, Inc.**  
**IRA**  
 5160 SOUTH 1500 WEST RIVERDALE, UTAH 84405  
 TEL: (801) 621-3100  
 www.reeve-assoc.com  
 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS  
 TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

**Harvest Park Subdivision Phase 3**  
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
**Details**

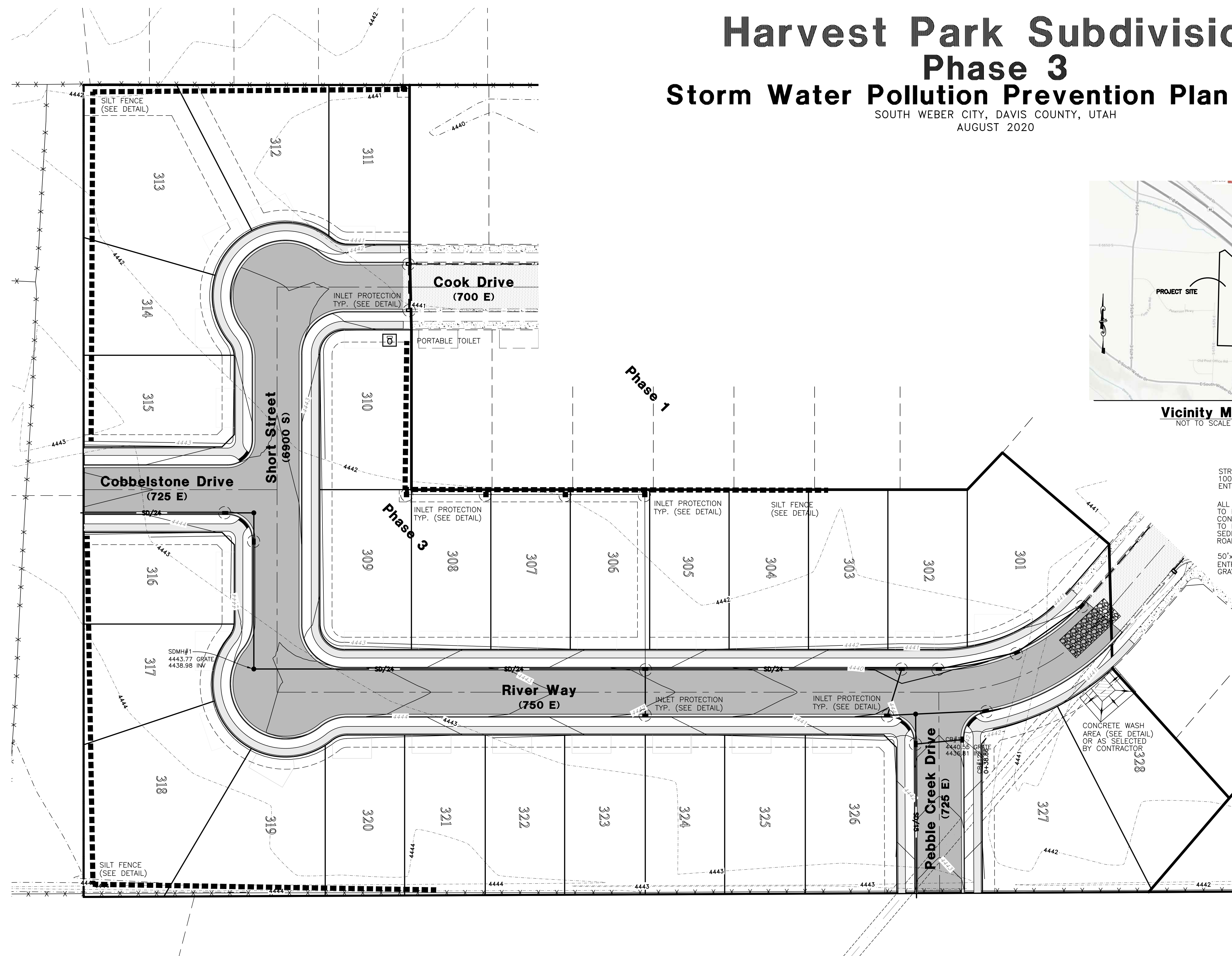
**REGISTERED PROFESSIONAL ENGINEER**  
 375328  
 J. NATE REEVE  
 08/18/2020  
 STATE OF UTAH



# Harvest Park Subdivision Phase 3

## Storm Water Pollution Prevention Plan Exhibit

SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
AUGUST 2020



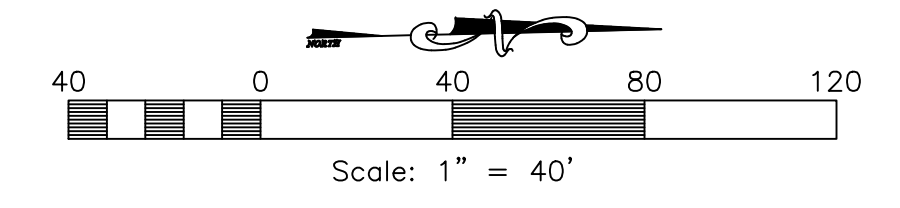
Vicinity Map  
NOT TO SCALE

STREETS TO BE SWEEPED WITHIN 1000 FEET OF CONSTRUCTION ENTRANCE DAILY IF NECESSARY

ALL VEHICLES EXITING SITE TO PROCEED THROUGH CONSTRUCTION ENTRANCE TO REDUCE AMOUNTS OF SEDIMENT TRACKED ONTO ROADWAYS.

50'x20' CONSTRUCTION ENTRANCE W/6" CLEAN GRAVEL

CONCRETE WASH AREA (SEE DETAIL) OR AS SELECTED BY CONTRACTOR

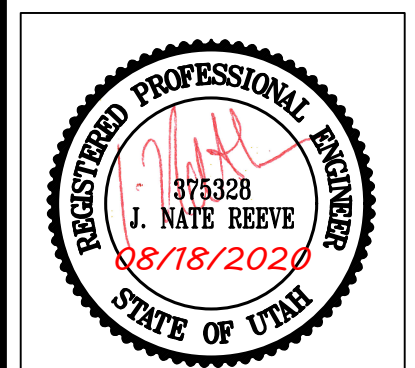


Construction Activity Schedule	
- PROJECT LOCATION.....	SOUTH WEBER CITY, DAVIS COUNTY, UTAH
- PROJECT BEGINNING DATE.....	JUNE 2020
- BMP'S DEPLOYMENT DATE.....	JUNE 2020
- STORM WATER MANAGEMENT CONTACT / INSPECTOR.....	BRUCE NILSON (801) 392-8100
- SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER	

**Reeve & Associates, Inc.**  
 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405  
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REVISIONS	DATE	DESCRIPTION
06-30-20	CK	City Comments
07-30-20	NF	City Comments
08-13-20	CK	City Comments

**Harvest Park Subdivision  
Phase 3**  
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
**Storm Water Pollution  
Prevention Plan Exhibit**



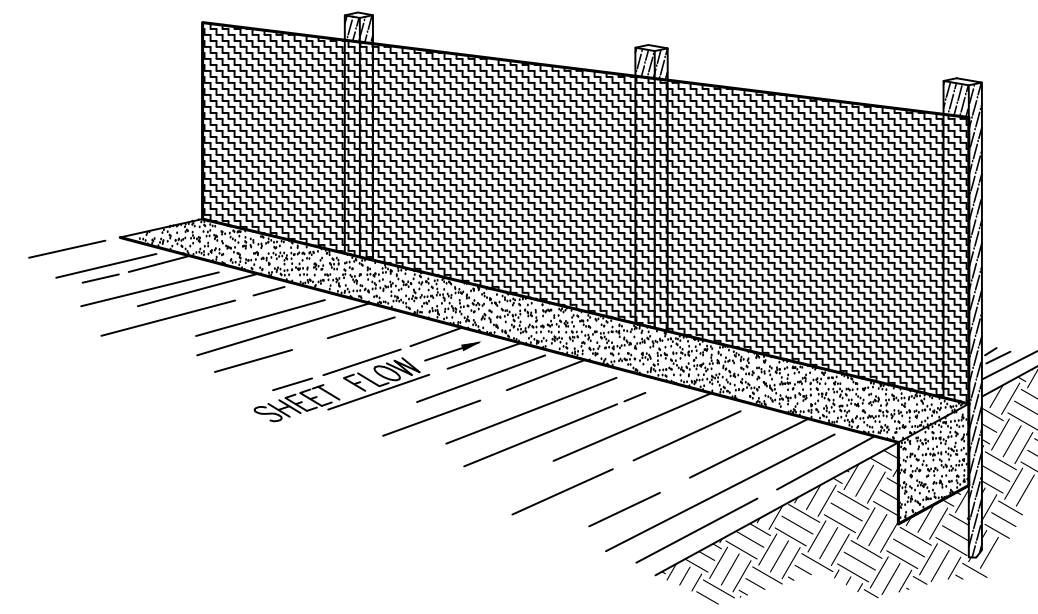
Project Info.	
Engineer:	J. NATE REEVE
Drafter:	C. KINGSLEY
Begin Date:	MAY 2020
Name:	HARVEST PARK SUBDIVISION PHASE 3
Number:	1301-D25

Sheet	<b>11</b>
<b>10</b>	Sheets



**Notes:**

- Describe all BMP's to protect storm water inlets:  
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
- Describe BMP's to eliminate/reduce contamination of storm water from:
  - Equipment / building / concrete wash areas:  
To be performed in designated areas only and surrounded with silt fence barriers.
  - Soil contaminated by soil amendments:  
If any contaminants are found or generated, contact environmental engineer and contacts listed.
  - Areas of contaminated soil:  
If any contaminants are found or generated, contact environmental engineer and contacts listed.
  - Fueling area:  
To be performed in designated areas only and surrounded with silt fence.
  - Vehicle maintenance areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Vehicle parking areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Equipment storage areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Materials storage areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Waste containment areas:  
To be performed in designated areas only and surrounded with silt fence.
  - Service areas:  
To be performed in designated areas only and surrounded with silt fence.
- BMP's for wind erosion:  
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion
- Construction Vehicles and Equipment:
  - Maintenance
    - Maintain all construction equipment to prevent oil or other fluid leaks.
    - Keep vehicles and equipment clean, prevent excessive build-up of oil and grease.
    - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
    - Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
    - Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.
  - Fueling
    - If fueling must occur on-site, use designated areas away from drainage.
    - Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
    - Cover retention area with an impervious material and install in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
    - Use drip pans for any oil or fluid changes.
  - Washing
    - Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
    - If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
    - Use phosphate-free, biodegradable soaps.
    - Do not permit steam cleaning on-site.
- Spill Prevention and Control
  - Minor Spills:  
Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
    - Contain the spread of the spill.
    - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
    - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up and properly dispose of contaminated soil.
    - If the spill occurs during rain, cover the impacted area to avoid runoff.
    - Record all steps taken to report and contain spill.
  - Major Spills:  
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
- Post Roadway / Utility Construction
  - Maintain good housekeeping practices.
  - Enclose or cover building material storage areas.
  - Properly store materials such as paints and solvents.
  - Store dry and wet materials under cover, away from drainage areas.
  - Avoid mixing excess amounts of fresh concrete or cement on-site.
  - Perform washout of concrete trucks offsite or in designated areas only.
  - Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
  - Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
  - All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
  - Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
- Erosion Control Plan Notes
  - The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
  - A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent.
  - Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
  - Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. This should be confirmed by survey or other means acceptable to the engineer of record.
  - All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
  - Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
  - All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the engineer of record of the governing agency.
  - The placement of additional devices to reduce erosion damage within the site is left to the discretion of the engineer of record.
  - Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
  - Erosion control devices will be modified as need as the project progresses and plans of these changes submitted for approval by the engineer of record and the governing agency.
- Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
  - Part III.D.4 of general permit UTR300000 identifies the minimum inspection requirements.
  - Part II.D.4.C identifies the minimum inspection report requirements.
  - Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 300000.



**Perspective View**

Figure 2

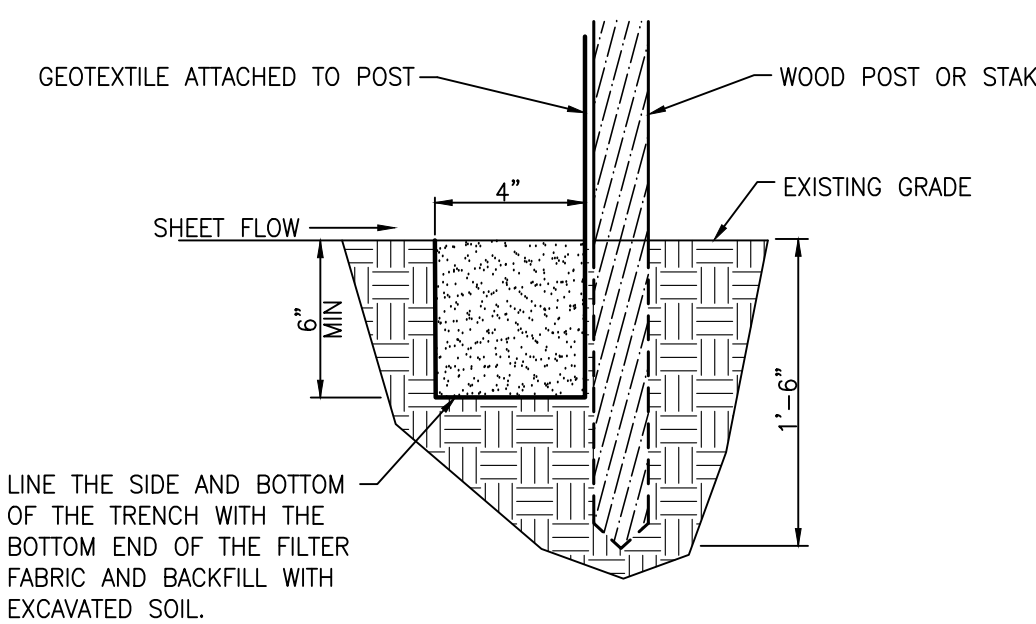
**INSTALLATION**

The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fences) at various site grades for most silt fence applications.

TABLE 1: Recommended Maximum Slope Lengths for Silt Fence (Richardson & Middlebrooks, 1991)	
Slope Steepness (%)	Max. Slope Length m (ft)
<2%	30.5m (100ft)
2-5%	22.9m (75ft)
5-10%	15.2m (50ft)
10-20%	7.6m (25ft)
>20%	4.5m (15ft)

**PREFABRICATED SILT FENCE ROLLS**

- Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- Unroll the silt fence, positioning the post against the downstream wall of the trench.
- Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then abut the end posts to create a tight seal as shown in Figure 1.
- Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
- Bury the loose geotextile at the bottom of the fence in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.



**Section**

LINE THE SIDE AND BOTTOM OF THE TRENCH WITH THE BOTTOM END OF THE FILTER FABRIC AND BACKFILL WITH EXCAVATED SOIL.

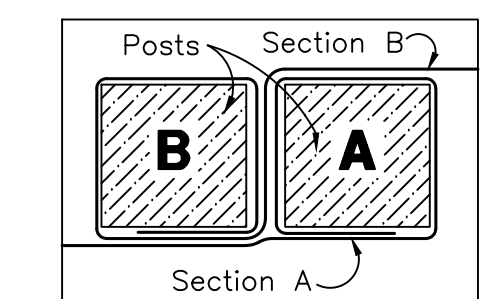


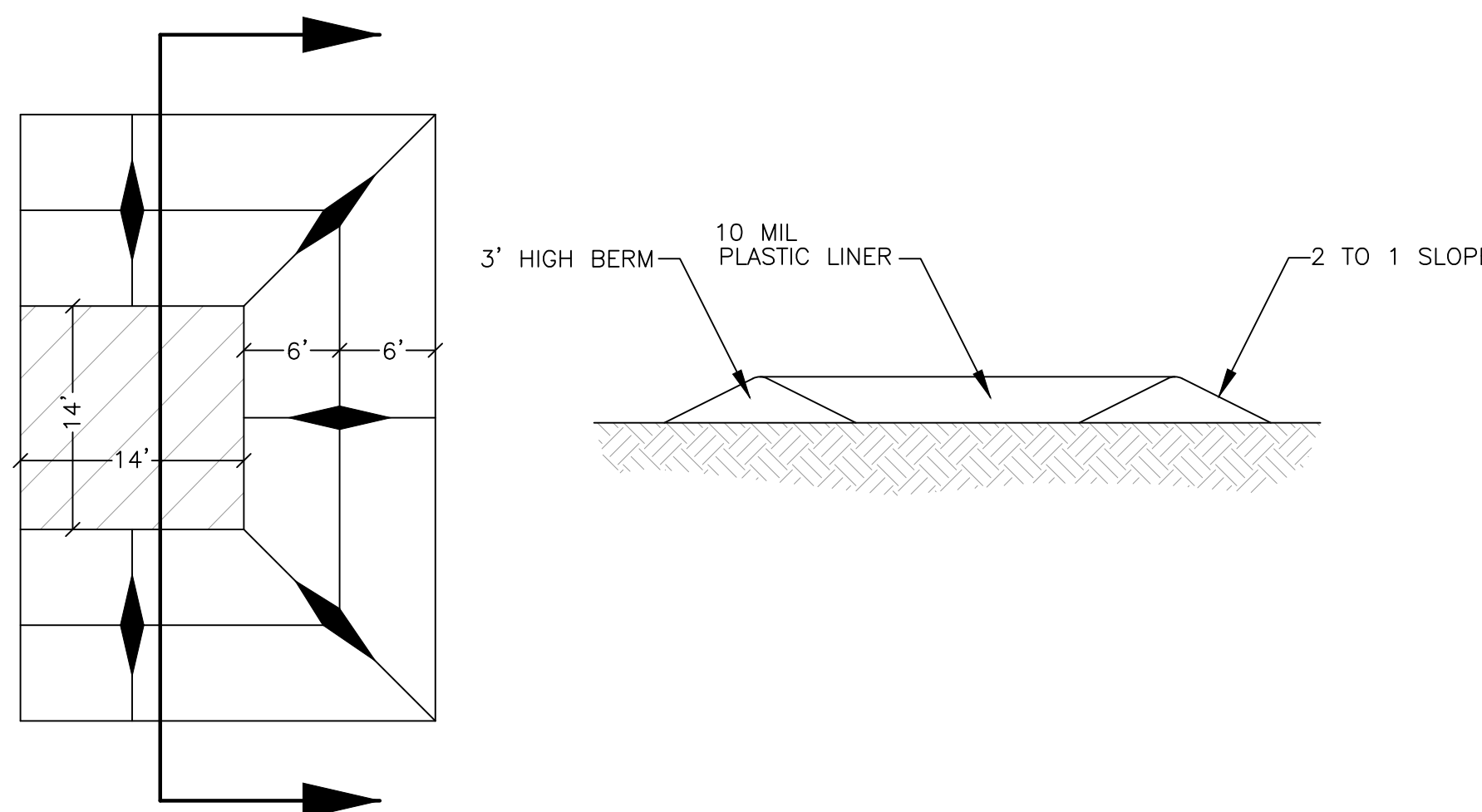
Figure 1:  
Top View of  
Roll-to-Roll Connection

**FIELD ASSEMBLY:**

- Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8-10ft). Post spacing

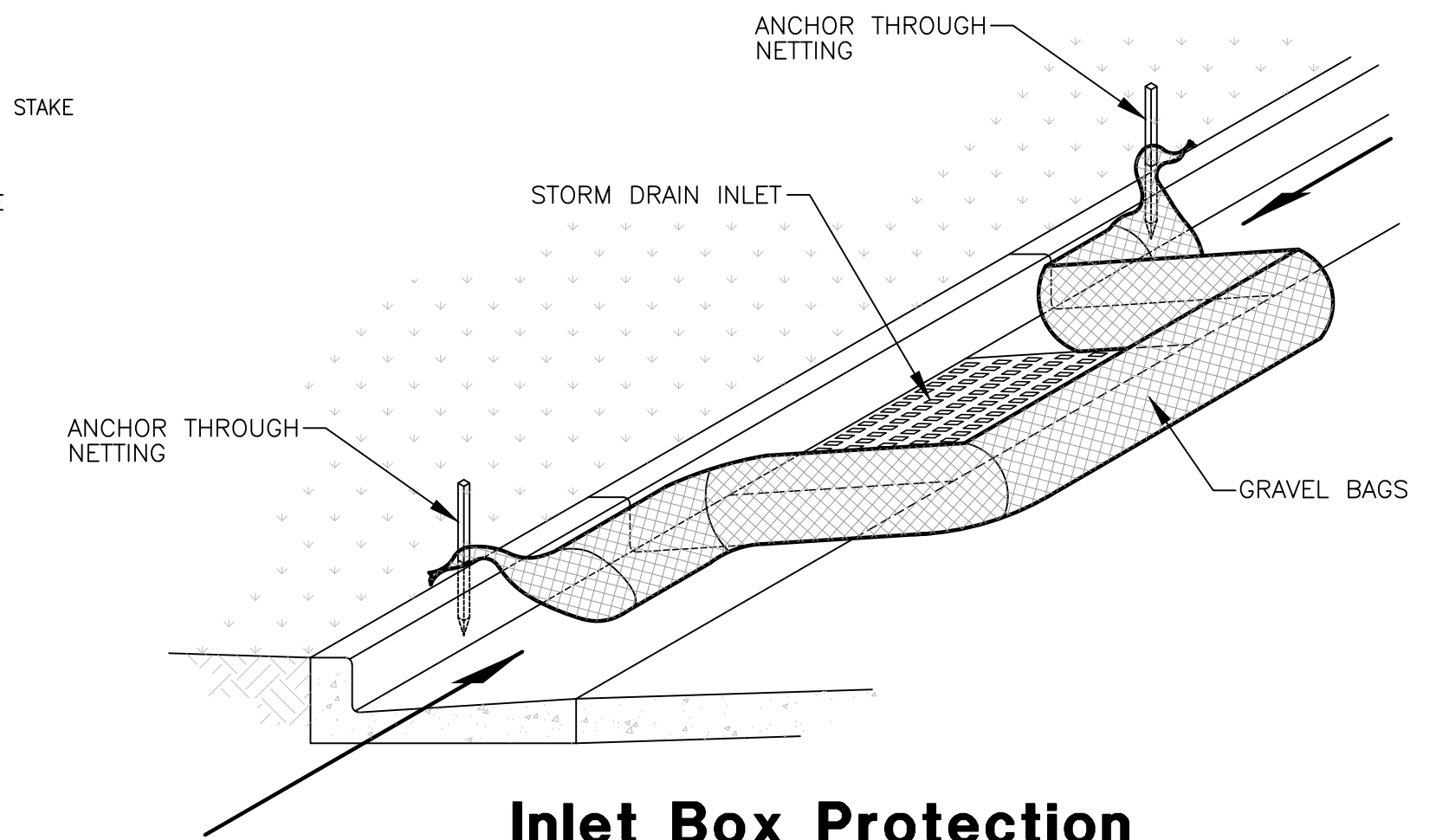
**Silt Fence Detail**

SCALE: NONE

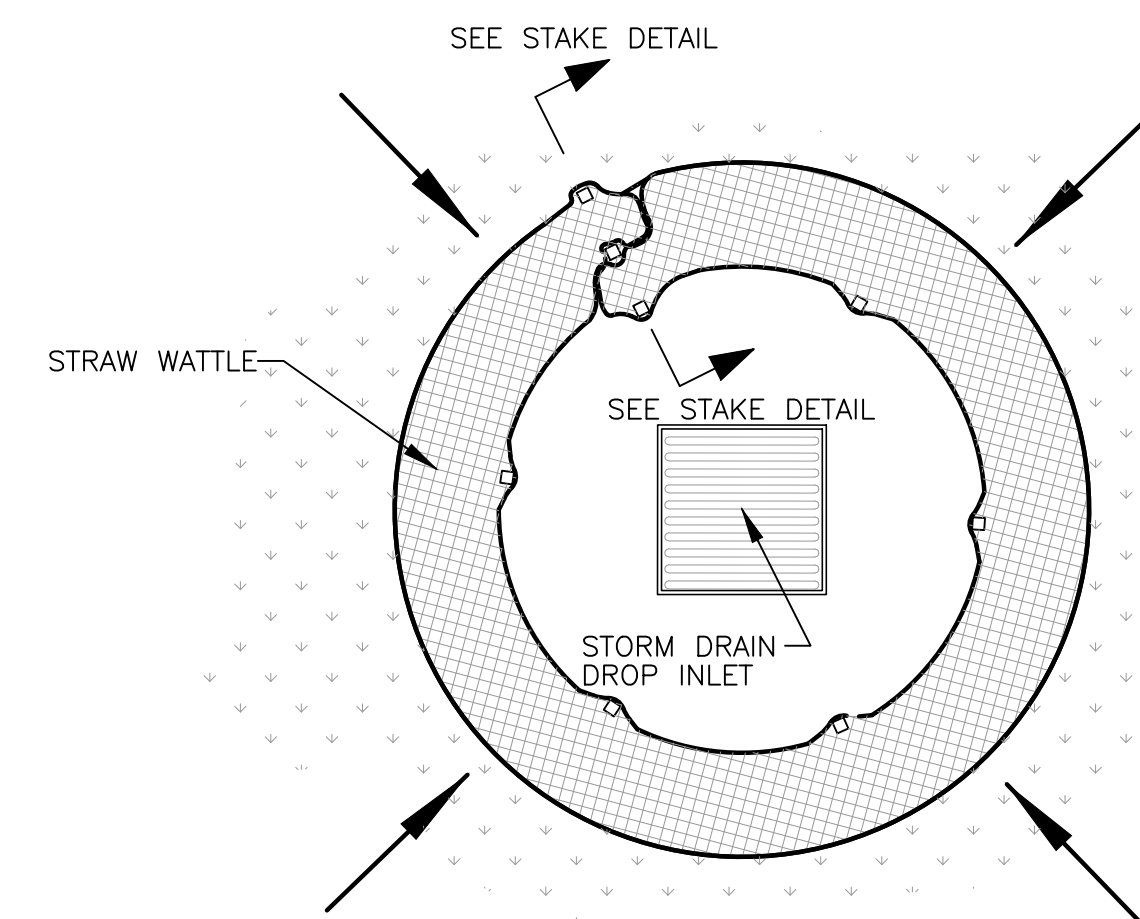


**Concrete Washout Area  
w/ 10 mil Plastic Liner**

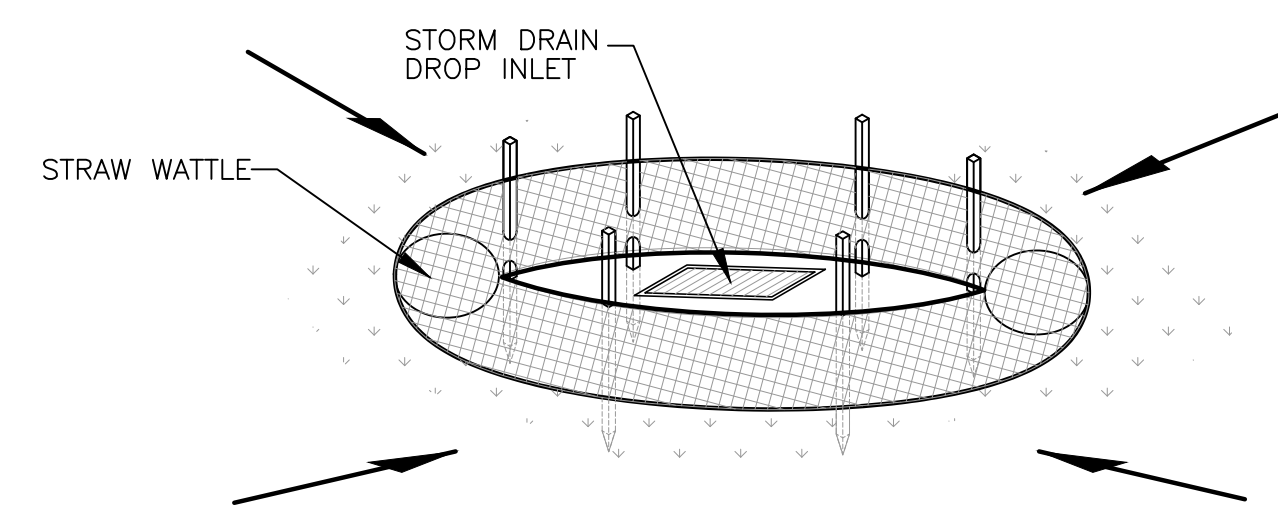
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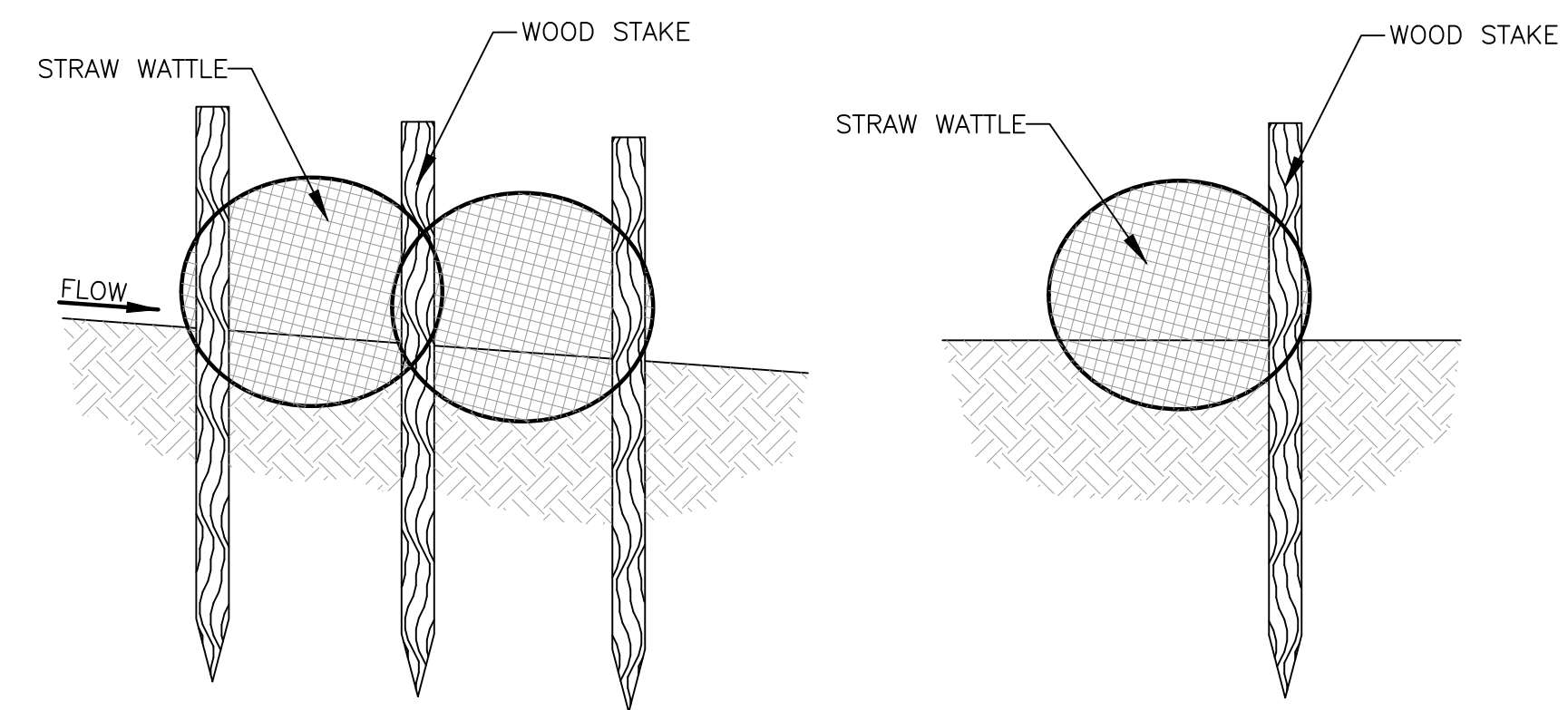
**Inlet Box Protection**



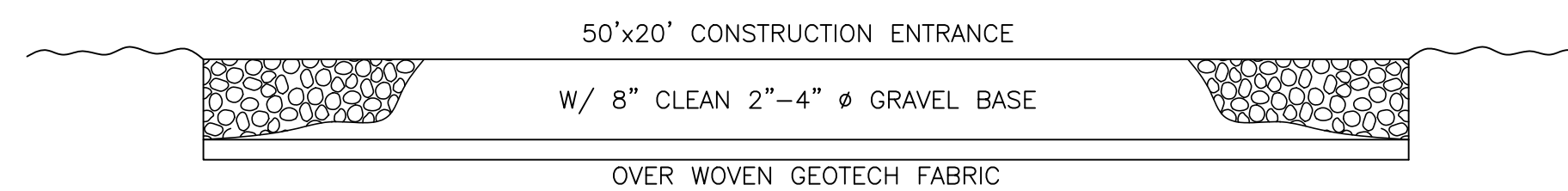
**Plan View**



**Drop Inlet Protection**



**Stake Detail**



**Cross Section 50' x 20' Construction Entrance**

**Reeve & Associates, Inc.**  
**IRA**  
 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405  
 TEL: (801) 621-3100 www.reeve-associ.com  
 LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS  
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REVISIONS	DATE	DESCRIPTION
06-30-20	CK	City Comments
07-30-20	NF	City Comments
08-13-20	CK	City Comments

**Harvest Park Subdivision  
Phase 3**  
 SOUTH WEBER CITY, DAVIS COUNTY, UTAH  
**Storm Water Pollution  
Prevention Plan Details**



**Project Info.**

Engineer:  
J. NATE REEVE  
 Drafter:  
C. KINGSLEY  
 Begin Date:  
MAY 2020  
 Name:  
HARVEST PARK  
SUBDIVISION  
PHASE 3  
 Number: 1301-D25

Sheet **11**  
 11 Sheets



SHEET 2 OF 2

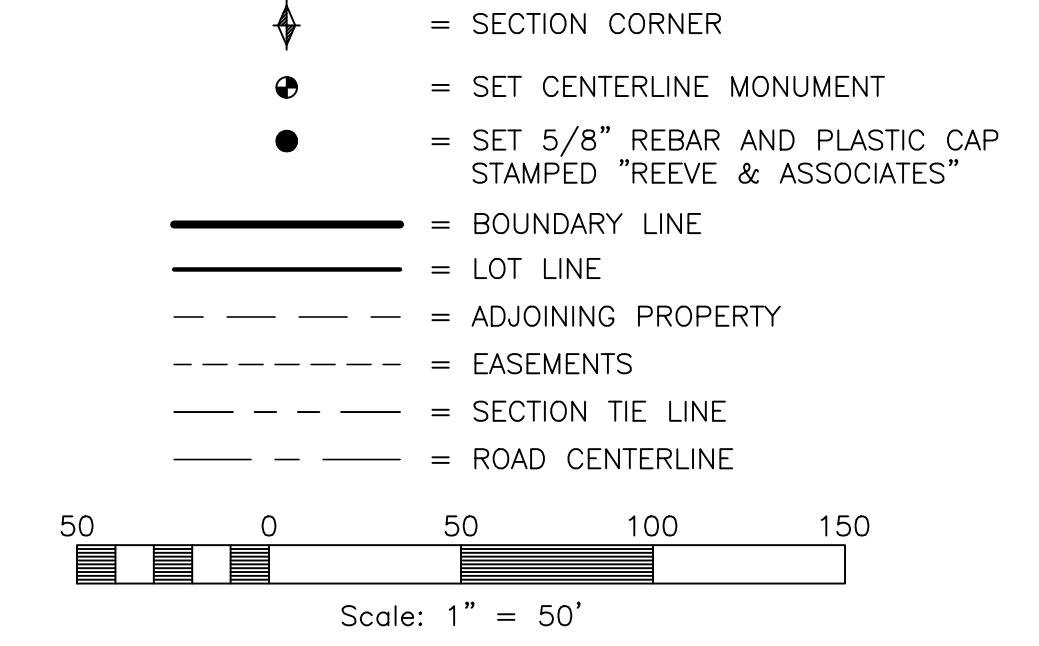
# HARVEST PARK PHASE 3

## AMENDING STAN COOK SUBDIVISION PHASE II AMENDED

PART OF LOT 6 STAN COOK SUBDIVISION PHASE II AMENDED  
PART OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY  
CITY OF SOUTH WEBER, DAVIS COUNTY, UTAH

GORDON TAYLOR WATTS & CONNIE WELLING - TRUSTEES  
13-018-0088

### LEGEND



### LINE TABLE

LINE	BEARING	DISTANCE
L1	S48°02'10"E	9.36'
L2	S43°37'55"E	14.14'
L3	N46°22'05"E	14.14'
L4	N46°14'12"E	14.17'
L5	N49°11'58"W	15.39'
L6	N48°15'50"W	105.88'
L7	N48°15'50"W	57.37'
L8	S48°15'50"E	10.12'

### CURVE TABLE

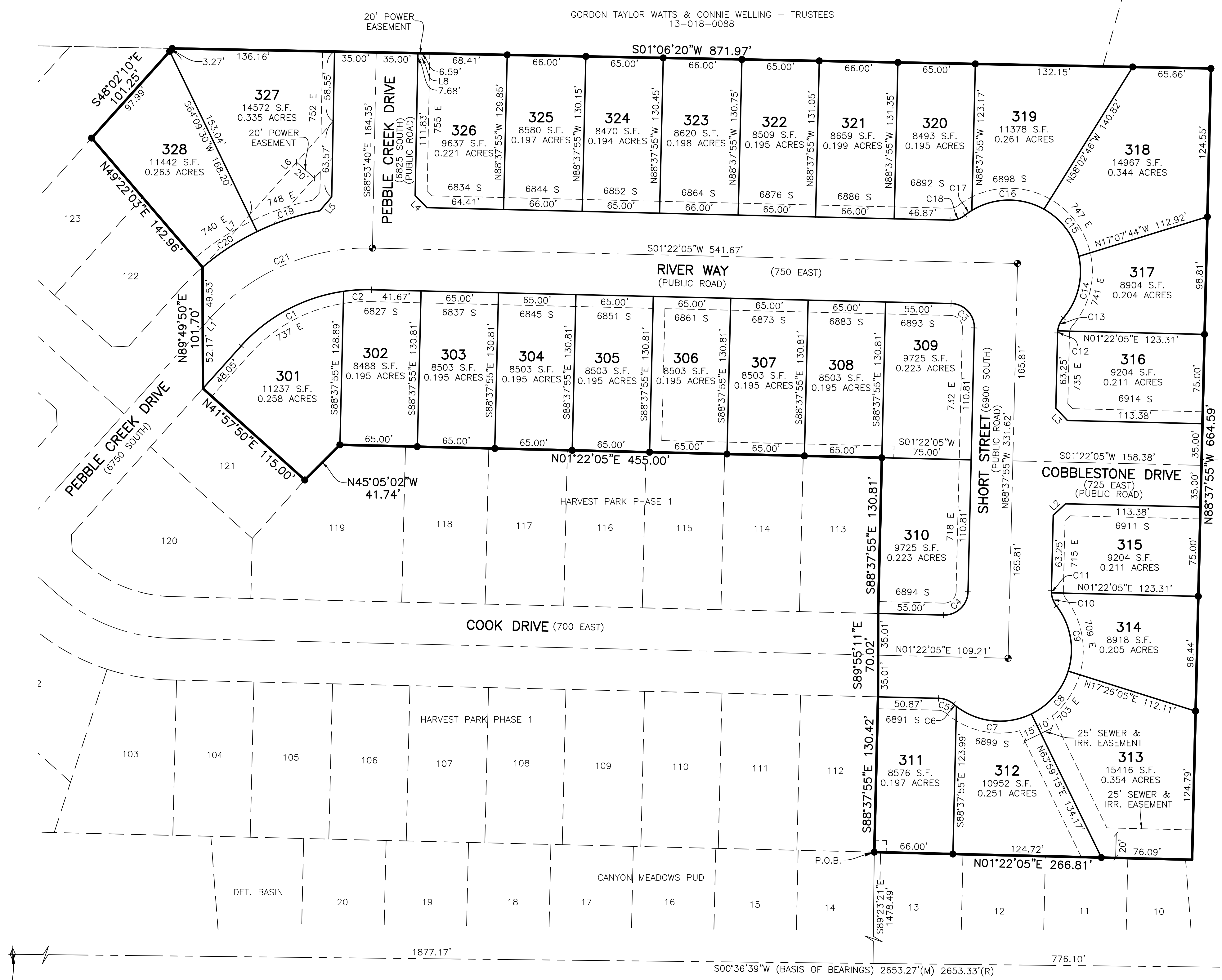
#	RADIUS	ARC LENGTH	CHD LENGTH	TANGENT	CHD BEARING	DELTA
C1	142.42'	99.37'	97.36'	51.80'	S28°02'54"E	39°58'31"
C2	142.42'	23.44'	23.41'	11.75'	S03°20'47"E	9°25'43"
C3	20.00'	31.42'	28.28'	20.00'	S46°22'05"W	90°00'00"
C4	20.00'	31.42'	28.28'	20.00'	N43°37'55"W	90°00'00"
C5	20.00'	13.68'	13.42'	7.12'	S20°57'56"W	39°11'42"
C6	60.00'	3.15'	3.15'	1.57'	S39°03'35"W	3°00'24"
C7	60.00'	66.57'	63.21'	37.18'	S05°46'19"W	63°34'08"
C8	60.00'	48.75'	47.42'	25.81'	S49°17'20"E	46°33'10"
C9	60.00'	57.87'	55.65'	31.41'	N79°48'14"E	55°15'42"
C10	20.00'	11.93'	11.76'	6.15'	N89°15'54"E	34°11'03"
C11	20.00'	1.74'	1.74'	0.87'	N83°52'20"E	4°59'31"
C12	20.00'	1.75'	1.75'	0.88'	S86°07'35"E	5°00'39"
C13	20.00'	11.93'	11.76'	6.15'	S66°31'44"E	34°11'03"
C14	60.00'	55.36'	53.42'	29.83'	S75°52'10"E	52°51'54"
C15	60.00'	50.72'	49.22'	26.99'	N53°28'51"E	48°26'04"
C16	60.00'	63.47'	60.55'	35.06'	N01°02'20"W	60°36'17"
C17	60.00'	6.79'	6.79'	3.40'	N34°35'03"W	6°29'09"
C18	20.00'	13.68'	13.42'	7.12'	N18°13'46"W	39°11'42"
C19	212.42'	55.57'	55.41'	27.94'	N18°20'51"W	14°59'17"
C20	212.42'	54.84'	54.68'	27.57'	N33°14'13"W	14°47'28"
C21	1177.42'	152.98'	148.29'	81.61'	S23°20'02"E	49°24'15"

### PROJECT INFORMATION

Surveyor:	T. HATCH	Project Name:	HARVEST PARK PHASE 3
Designer:	N. ANDERSON	Number:	1301-025
Begin Date:	6-3-2020	Scale:	1"=50'
		Revision:	
		Checked:	

### DAVIS COUNTY RECORDER

ENTRY NO. _____	FEE PAID _____
AND RECORDED, _____ AT _____	IN BOOK _____ OF _____
THE OFFICIAL RECORDS, PAGE _____	
RECORDED FOR: _____	
DAVIS COUNTY RECORDER _____	
DEPUTY _____	



NORTHWEST CORNER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY (FOUND BRASS CAP MONUMENT MARKED 1941)

WEST QUARTER CORNER OF SECTION 28, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY (FOUND BRASS CAP MONUMENT MARKED 1941)



**4. Harvest Park Phase 3 Final Recommendation located at approx. 700 E 6750 S (Parcel 13-275-0020) 8.66 acres:** City planner Barry Burton, explained originally this was a two-phase development, but was amended to a three phase subdivision.

Mark Staples, of Nilson Homes, reported his engineer submitted the plat revision for Harvest Park Phase 3 at 5:00 p.m. today. City planner Barry Burton remarked everything on his review of 6 August 2020 has been completed by the developer. Commissioner Grubb addressed the two street names that need to be decided. Barry commented the developer has decided on the street names and has added them to the plat. Commissioner Grubb pointed out Pebble Creek Drive needs to be the stub road continuing east that is currently labeled as River Way. The longer north south road, currently labeled as Pebble Creek Drive, needs to be a different name, perhaps River Way. Mark Staples, of Nilson Homes, explained the stub road is now Pebble Creek Drive and the north south road is now River Way.

Commissioner Walton questioned why there are only two easements located on the plat (specifically, Comcast). Mark stated the Comcast easement is the public right of way. Commissioner Walton asked once the easement is in the public right of way, it won't appear on the plat. Mark stated that is correct. He explained there is a 10' public utility easement on all the front yards, which include power, and Comcast. The gas is in the park strip and everything else is in the asphalt. He pointed out the sewer easement connects to the knuckle in phase 3. There is an existing power line and power pole in the park strip of Pebble Creek Drive extension. Mark pointed out the power pole is in the right of way of lot 326.

Commissioner Walton asked if the basement chart describing maximum basement depths on each lot has been completed. Barry acknowledged that has been taken care of. Commissioner Walton asked about the water table. Mark explained the water table has changed quite a bit since the report and has gone both up and down. He remarked a land drain was added in phase 1 & 2 and if phase 3 needs one, they will come back and install one. Barry discussed this phase, though not that same as shown on the approved preliminary plat, is in conformance with the preliminary as far as the number and size of lots in that given area. Originally, there were only two phases. The change in phasing issue was covered and approved with Phase 2. Barry reviewed the geotechnical report and stated there was a total of nine test pits for the ground water. They encountered ground water in only three of the nine test pits ranging from 8.3 ft. to 11 ft.

Commissioner Walton asked about the utility notification form, which mentions Century Link is not applicable. Amy Roskelley, of Nilson Homes, stated Century Link said they couldn't provide the service in that area. Commissioner Osborne asked about the status of the dog park. Mark has a meeting on Monday to discuss the trail alignment and then they will put together an irrigation plan. Commissioner Osborne discussed the council would like to see as many trees remain as possible. Mark explained the retention basin is larger than planned. Commissioner Grubb asked about the streetlights. Barry reported they are on the construction drawings. Commissioner Grubb wants to make sure there are streetlights on the intersection. Mark will make sure they are there.

**City Engineer, Brandon Jones, review of 6 August 2020 is as follows:**

Our office has completed a review of the Final Plat and Improvement Plans for the Harvest Park Subdivision Phase 3, dated August 6, 2020. We recommend approval subject to the following items being addressed prior to being considered by the City Council. Some items are mentioned for information purposes only.

### **GENERAL**

E1. Final plans need to be submitted to the South Weber Irrigation Company and an approval letter provided indicating that the improvement plans meet their requirements.

### **PLAT**

E2. Pebble Creek Drive needs to be the stub road continuing East (currently labeled as River Way). The longer North-South road (currently labeled as Pebble Creek Drive needs to be a different name, perhaps River Way).

E3. In order to avoid confusion, we would recommend adding an address table that lists the lot, lot address, and street name for each frontage of each lot (as where the street changes names may not be obvious).

### **IMPROVEMENT PLANS**

E4. We have a few minor revisions that we will provide on a redline set of drawings to the developer's engineer.

### **City Planner, Barry Burton's, review of 6 August 2020 is as follows:**

#### **Zoning Compliance:**

**PL1**– All lots are in compliance with the requirements of the R-P zone for those lots within that zone and are in compliance with the R-M zone with the PUD overlay for those lots in that zone.

**PL2** – This phase, though not that same as shown on the approved preliminary plat, is in conformance with the preliminary as far as the number and size of lots in that given area. (Originally there were only two phases. The change in phasing issue was covered and approved with Phase 2.)

**PL3** – The typical setback detail on the subdivision plat complies with requirements of the R-P zone and PUD overlay.

#### **Final Plat:**

**PL4** – Formatting of the plat looks good. There are two street names that need to be decided and added. (If looking for address grid coordinates for street names, the City Engineer can provide.)

**PL5** – The basement chart describing maximum basement depths on each lot will need to be completed prior to final approval by the City Council.

**Recommendation:** I advise the Planning Commission to recommend Harvest Park Subdivision Phase 3 final Plat to the City Council for approval.

**Commissioner Grubb moved to recommend approval to the city council for Harvest Park Phase 3 Final Recommendation located at approximately 700 E 6750 S (Parcel 13-275-0020) 8.66 acres subject to the following:**

- 1. City engineer Brandon Jones review of 6 August 2020.**
- 2. City planner Barry Burton review of 6 August 2020.**
- 3. Verify streetlights located at intersection of Pebble Creek Drive and River Way, as well as, Cobblestone Drive and Short Street.**

**Commissioner Johnson seconded the motion. Commissioners Boatright, Grubb, Osborne, Walton, and Johnson voted aye. The motion carried.**

DRAFT

**RESOLUTION 2020-34**

**A RESOLUTION OF THE SOUTH WEBER CITY COUNCIL APPROVING THE FINAL PLAT, SITE PLANS, AND IMPROVEMENT PLANS FOR HARVEST PARK SUBDIVISION, PHASE 3**

**WHEREAS**, an application for subdividing 8.66 acres at approximately 700 E 6600 S into 28 building lots was submitted by Nilson Homes; and

**WHEREAS**, both the city planner and the city engineer have analyzed all documents and found all conditions of city code met and relayed their findings to the planning commission; and

**WHEREAS**, the South Weber City planning commission held a public hearing for the entire subdivision , named at the time the Cook Property, on the 13<sup>th</sup> of September 2018; and

**WHEREAS**, the planning commission reviewed all the supporting documents of phase 3 in an open public meeting on the 13<sup>th</sup> of August, 2020 and gave a favorable recommendation for approval by the city council at the same hearing; and

**WHEREAS**, the city council verified all reviews and recommendations in a public meeting on the 25<sup>th</sup> day of August, 2020 and after consideration approved the plat, site, and improvement plans as presented;

**NOW THEREFORE BE IT RESOLVED** by the council of South Weber City, Davis county, state of Utah, as follows:

**Section 1. Approval:** Final plat, site plans, and improvement plans for phase 3 of Harvest Park Subdivision at approximately 700 E 6600 S are hereby approved.

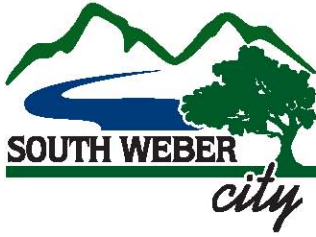
**Section 2: Repealer Clause:** All ordinances or resolutions or parts thereof, which are in conflict herewith, are hereby repealed.

**PASSED AND ADOPTED** by the City Council of South Weber, Davis County, on the 25<sup>th</sup> day of August 2020.

Roll call vote is as follows:		
Council Member Alberts	FOR	AGAINST
Council Member Halverson	FOR	AGAINST
Council Member Petty	FOR	AGAINST
Council Member Soderquist	FOR	AGAINST
Council Member Winsor	FOR	AGAINST

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**Jo Sjoblom, Mayor**

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**Attest:** Lisa Smith, Recorder



## Agenda Item Introduction

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**Council Meeting Date:** August 25, 2020

**Name:** Mark McRae

**Agenda Item:** Public Hearing: Budget 2020-2021 Amendment

**Background:** The current city budget for 2020-2021 was adopted on June 16, 2020. Since the adoption of the budget the City has received CARES Act funds. On June 30, 2020 the city council gave direction to staff on how these funds should be used. The first amendment is to use the CARES Act funds for the touchless fixtures upgrades for all city owned buildings. The budgeted amount will be \$50,000. The second amendment is for the final payment on the regional detention basin. The basin was constructed as part of the Old Maple Farms Phase 3 development and South Weber previously signed an agreement to pay \$300,000. This amendment is for the city's final payment. The budget amendment is \$100,000 and the money will come from the \$120,000 which other developments have previously paid for their share in the use of the basin. The third amendment is to correct a typo in the 2020-21 budget in the Water department. The Water Operations and Maintenance account, 51-40-490, should have been \$100,000 which is comparable to previous years' expenditures. However, the budget is only showing \$1,000. This amendment is for \$99,000. This year's budget needs to be opened and amended to reflect those changes. To amend an adopted budget, a public hearing is required to afford citizen's an opportunity to address the proposed changes.

**Summary:**

Capital Projects Revenues

45-33-500	Federal Grants - CARES Act	+	\$ 50,000
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Capital Projects Expenditures

45-43-730	Admin – Improv. Other Than Buildings	+	\$ 50,000
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Storm Drain Revenues			
54-39-500	Fund Balance to be Appropriated	+	\$100,000
Storm Drain Expenditures			
54-40-730	Improvements Other Than Buildings	+	\$100,000
Water Fund Revenues			
51-39-500	Fund Balance to be Appropriated	+	\$99,000
Water Fund Expenditures			
51-40-490	Water Operations and Maintenance	+	\$99,000

**Budget Amendment:** Yes

**Procurement Officer Review:** NA

**Committee Recommendation:** NA

**Planning Commission Recommendation:** NA

**Staff Recommendation:** NA

**Attachments:** Resolution 2020-36

**A RESOLUTION OF THE SOUTH WEBER CITY COUNCIL ADOPTING BUDGET AMENDMENTS FOR THE FISCAL YEAR ENDING JUNE 30, 2021**

**WHEREAS**, Utah Code regulates the budgeting process for municipalities; and

**WHEREAS**, the city adopted its budget for fiscal year 2020-2021 on June 16, 2020; and

**WHEREAS**, the city desires to amend that budget with the changes presented herein; and

**WHEREAS**, this legislative body held a public hearing on August 25, 2020 to take comment regarding the proposed amendments; and

**WHEREAS**, the city council reviewed comments and discussed the presented changes in an open public meeting and is in favor of amending this budget;

**NOW THEREFORE BE IT RESOLVED** by the Council of South Weber City, Davis County, State of Utah, as follows:

**Section 1. Amendment:** The Fiscal Year 2020-2021 Budget shall be amended as follows:

Capital Projects Revenues

45-33-500 Federal Grants - CARES Act + \$ 50,000

Capital Projects Expenditures

45-43-730 Admin – Improv. Other Than Buildings + \$ 50,000

Storm Drain Revenues

54-39-500 Fund Balance to be Appropriated + \$100,000

Storm Drain Expenditures

54-40-730 Improvements Other Than Buildings + \$100,000

Water Fund Revenues

51-39-500 Fund Balance to be Appropriated + \$99,000

Water Fund Expenditures

51-40-490 Water Operations and Maintenance + \$99,000

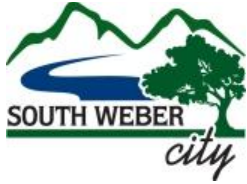
**Section 2: Repealer Clause:** All ordinances or resolutions or parts thereof, which are in conflict herewith, are hereby repealed.

**PASSED AND ADOPTED** by the City Council of South Weber, Davis County, on the 25<sup>th</sup> day of August 2020.

Roll call vote is as follows:		
Council Member Alberts	FOR	AGAINST
Council Member Halverson	FOR	AGAINST
Council Member Petty	FOR	AGAINST
Council Member Soderquist	FOR	AGAINST
Council Member Winsor	FOR	AGAINST

**Jo Sjoblom, Mayor**

**Attest: Lisa Smith, Recorder**



**Council Meeting Date:** August 25, 2020

**Name:** Quin Soderquist, David Larson

**Agenda Item:** Staker Parson Allocation Advisory Board

**Objective:** Appoint City Representatives to the Gravel Pit Funds Advisory Board

**Background:** The development agreement with Staker & Parson Companies originally signed in the early 2000s includes a section on Financial Contribution as Community Benefit (4.5.2). It identifies how much is to be contributed to the City each year for the benefit of recreational programs and facilities. It notes that a 5-person advisory board, appointed by the City Council, recommends appropriate disbursement of these monies. It also states that this group should include a representative from Staker & Parson Companies. This board has not been functioning and Staker & Parson has requested that the board be organized.

The City Council assigned the Parks & Recreation Committee to recommend who should be on that advisory board. They recommend the following to be appointed as members of the board:

- Gravel Pit Liaison (Board Chair)
- Parks & Rec Committee Chair
- City Manager
- Recreation Director
- Staker Parson Representative

Currently, those individuals are Quin Soderquist, Angie Petty, David Larson, Curtis Brown, and Dak Maxfield.

**Summary:** The Parks & Rec Committee recommends the City Council appoint those mentioned above to the Gravel Pit Funds Advisory Board.

**Committee Recommendation:** Appoint the 5-person board as presented

**Planning Commission Recommendation:** N/A

**Staff Recommendation:** Appoint the 5-person board as presented

**Attachments:** Resolution 2020-36

**Budget Amendment:** N/A

**Procurement Officer Review:** N/A



**RESOLUTION 2020-36**

**A RESOLUTION OF THE SOUTH WEBER CITY COUNCIL  
APPOINTING MEMBERS TO THE  
STAKER PARSON ALLOCATION ADVISORY BOARD**

**WHEREAS**, the development agreement with Staker Parson signed on December 11<sup>th</sup>, 2003 contained financial contributions to South Weber City based on tons of gravel and sand extracted annually; and

**WHEREAS**, Staker Parsons financial contributions were restricted for recreational programs and facilities; and

**WHEREAS**, the agreement called for the creation of a five-member advisory board, including one member from Staker Parson, to allocate the funds appropriately; and

**WHEREAS**, the Parks & Recreation Committee has recommended tying the positions of that board to other city positions, namely the Gravel Pit Liaison, Parks & Recreation Committee Chair, City Manager, and Recreation Director; and

**WHEREAS**, Staker Parson will be responsible for providing a representative on their behalf; and

**WHEREAS**, the Council wishes to make these appointments at this time;

**NOW THEREFORE BE IT RESOLVED** by the Council of South Weber City, Davis County, state of Utah, as follows:

**Section 1. Appointment:** Members of the Staker Parson Allocation Advisory Board shall be the Gravel Pit Liaison, Parks & Recreation Committee Chair, City Manager, Recreation Director, and Staker Parson representative with the Liaison acting as Chair.

**Section 2: Repealer Clause:** All ordinances or resolutions or parts thereof, which are in conflict herewith, are hereby repealed.

**PASSED AND ADOPTED** by the City Council of South Weber, Davis County, on the 25<sup>th</sup> day of August 2020.

Roll call vote is as follows:		
Council Member Alberts	FOR	AGAINST
Council Member Halverson	FOR	AGAINST
Council Member Petty	FOR	AGAINST
Council Member Soderquist	FOR	AGAINST
Council Member Winsor	FOR	AGAINST

\_\_\_\_\_  
**Jo Sjoblom, Mayor**

\_\_\_\_\_  
**Attest:** Lisa Smith, Recorder