

Council Meeting Date: 12-10-19

Name: Lisa Smith

Agenda Item: Riverside RV Park Conditional Use Permit 19-01

Objective: Review Riverside RV Park Conditional Use Permit 19-01

Background: On May 10, 2018 Planning Commission reviewed and recommended passing ordinance 18-03 amending the City Code regarding recreational vehicles. City Council reviewed and passed that ordinance on May 22, 2018. A change in zoning to Commercial Recreation was granted on August 14, 2018 with resolution 18-42. On May 23, 2019 Planning Commission held a public hearing regarding conditional use for the Riverside RV park and recommended approval with 11 conditions. At the time, this was thought to be the final step in the approval process. However, it has since been discovered that City Code requires non-residential conditional use permits to come before the City Council (CC 10-7-5G).

Summary: Planning Commission recommends issuing a conditional use permit to Riverside RV Park. Council must approve, deny or table the permit.

Committee Recommendation: n/a

Planning Commission Recommendation: approve with conditions listed

Staff Recommendation: n/a

Attachments: Brandon's review, Barry's review, plans, PC minutes 05-23-19, CU Permit 19-01

Budget Amendment: n/a

MEMORANDUM

TO: South Weber City Mayor and Council

FROM: Brandon K. Jones, P.E.
South Weber City Engineer 

CC: David Larson – South Weber City Manager
Mark Larsen – South Weber City Public Works Director

RE: **RIVERSIDE RV PARK – Conditional Use Permit and Plan Approval
Final Review Memo**

Date: November 13, 2019

On May 23, 2019, the Planning Commission recommended approval of the Conditional Use Permit and associated Construction Plans for the Riverside RV Park with conditions. At the time, this was thought to be the final approval. It has since been discovered that since the RV Park is a non-residential use, it also needs to come before the City Council for approval (CC 10-7-5.G). The property is zoned Commercial Recreation. Recreational Vehicle Parks are permitted uses in this zone. The only reason the Riverside RV Park needs a Conditional Use Permit is because it is over one acre in size (CC 10-5M-2).

CONDITIONS

The conditions recommended by the Planning Commission on May 23, 2019, are as follows:

1. City Engineer, Brandon Jones, letter of 16 May 2019 (see attached).
2. City Planner, Barry Burton, letter of 16 May 2019 (see attached).
3. 24 hour on site management.
4. Removal of dead trees and shrubs as approved by Wildlife Resource hired Arborist Consultant.
5. No open fires in individual camp sites.
6. Quiet hours 10:00 p.m. to 7:00 a.m.
7. Lighting is to follow quiet hour rule and protect dark sky.
8. A 15' easement for a 10' path minimum be provided to Weber Pathways prior to occupancy and improved for use prior to occupancy thru this property and along the frontage of 6600 South and Cottonwood Drive.
9. RV Park rules must be posted on-site and given to all patrons.
10. Developer provide the elevation certificates for two permanent structures.
11. Provide easement as installed for the culinary water line.

REVISED PLANS

As a result of the conditions given by the Planning Commission, as well as a few other minor changes, the developer revised their plans accordingly. Our office has completed a review of these plans, dated November 12, 2019. The following summarize the revisions.

1. Based on City Engineer review memo of May 16, 2019, the cover page of the plans added the “Development Notes” section. This section includes 9 requirements that cover FEMA Elevation Certificates, the allowed use of culinary water for outdoor purposes, Stream Alteration Permit for any activity along the river, escrow required and not released until utility easements are recorded, trail easement dedicated to Weber Pathways, city responsibility vs. owner responsibility for utilities, and parking restrictions.
2. Two permanent structures in two locations were shown on the previous plans; one was an office with restrooms and laundry by the entrance to the park, and the other was restrooms at the east end. This set is showing the building by the entrance split into two separate buildings; the office as one, and restroom and laundry as another, separated by the pool in between.
3. Switched pickleball and basketball locations (orientation).
4. Based on letter from South Weber Fire Department, added turnaround at east end, and widened roads.
5. There is a fence running along the proposed trail, separating from the RV park. The material type of this fence will be worked out with Weber Pathways.
6. Site surface changed from concrete to roadbase, with option for concrete in the future.
7. Garbage enclosure constructed of wood, rather than masonry block.

RECOMMENDATION

We recommend approval of the revised plans, dated November 12, 2019, along with the recommended conditions outlined by the Planning Commission.

RIVERSIDE RV PARK REVIEW

By Barry Burton 5.16.19

APPLICANT: FM Winkel Family LLC

REQUEST: Conditional Use approval for an RV Park next to the Weber River east of the bridge into Uintah.

GENERAL INFORMATION: The Park will consist of 100 sites, 23 of which will be Park Units (tiny homes) that will be rental units with 77 back-in or pull-through spaces. This is well within the number of spaces allowed by the ordinance on an 11.62-acre parcel. There will also be an office building and a restroom/shower building that will be permanent structures. Amenities include a swimming pool and a pickleball court and, of course, the river trail that will be built by others.

ORDINANCE COMPLIANCE: There are several conditions listed in Section 10.7F.1 of the Zoning Ordinance that I believe have all been met. The only site requirement of 10.7F.2 that has not been met is the requirement for a 100' setback for any sites to a road. The sites are considerably less than 100' from the freeway, but there is a provision in the code that allows the Planning Commission to approve something less. In this case, I don't think the freeway will be impacted in any way and there is a large approx. 70' space from the freeway right-of-way fence to the actual closest travel lane. I believe the Planning Commission has reasonable justification to approve a less than 100' setback on the I-84 side.

OTHER: The main waterline within the site will need to be City owned and maintained and will therefore require an easement be granted to the City for that purpose. Other utilities within the site will be private.

The developers are willing to grant an easement along the river for the purpose of a public trail. The trail, however, be built by Weber Pathways at a later date. Therefore, Weber Pathways will need an easement for public use along the trail alignment. We propose that those easements be surveyed after construction in order to have a more accurate description of the locations and that the easements be provided prior to occupancy.

STAFF RECOMMENDATION: I recommend the Planning Commission approve this conditional use/site plan with the reduced setback along the freeway frontage.

MEMORANDUM

TO: South Weber City Planning Commission

FROM: Brandon K. Jones, P.E.
South Weber City Engineer 

CC: Barry Burton – South Weber City Planner
Mark Larsen – South Weber City Public Works Director

RE: RIVERSIDE RV PARK – Conditional Use and Site Plan Review Memo

Date: May 16, 2019

Our office has completed a review of the Site Improvement Plans for the Riverside RV Park, dated March 26, 2019. We recommend approval subject to the following items.

GENERAL

1. The property is zoned Commercial Recreation. A RV Park is a permitted use in this zone; due to the size being larger than one acre, it requires a Conditional Use Permit. **Any specific “conditions” beyond the requirements contained in City Code need to be specified by the Planning Commission.**
2. An approval letter has been received from UDOT allowing for the connection of storm drain lines to UDOT’s line that discharges to the Weber River.
3. An approval letter has been received from Central Weber Sewer District (CWSD) allowing for connection of the RV Park sewer system to their trunk line.
4. Any public utility line must be escrowed for prior to construction and have an easement recorded (see items 5 – 8 below). The easement can be done after construction, but before occupancy and use of the site will be allowed.

IMPROVEMENT PLANS

5. The culinary water lines will be public (including the meter), but the services will be privately owned and maintained.
6. The sewer main will be public, but the laterals will be privately owned and maintained.
7. The storm drain system will all be privately owned and maintained.
8. The City needs to approve the use of culinary water for outdoor (irrigation) use. Due to the unavailability of any irrigation provider in the area, we recommend allowing this use. However, the irrigation system will all be privately owned and maintained.
9. There is a list of requirements that was generated at the last Sketch Plan Meeting (May 9, 2019). These requirements were contained in the minutes of the meeting and have been provided to the developer. These requirements should be listed on the cover page of the improvement plans.

RIVERSIDE R.V. PARK

CONSTRUCTION DOCUMENTS SOUTH WEBER, DAVIS COUNTY , UTAH

TRAFFIC CONTROL & SAFETY NOTES

1. BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT STATE OF UTAH DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES, AND THE CURRENT CITY STANDARD DRAWING, AND SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO ANY WORK.
2. NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE CITY TRAFFIC ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
3. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
4. DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
5. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER
6. TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS". THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

SANITARY SEWER GENERAL NOTES

1. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN CONFORMANCE WITH CENTRAL WEBER SEWER IMPROVEMENT DISTRICT (CWSID) STANDARDS AND SPECIFICATIONS.
2. ALL GRAVITY SANITARY SEWER LINES SHALL BE SDR-35 PVC MATERIAL. SEWER LINE CONSTRUCTION AND MATERIALS SHALL CONFORM TO ASTM STANDARDS AND SPECIFICATIONS.
3. DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT.
4. RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE.
5. COMPACTION TESTING OF ALL TRENCHES WITH THE PROJECT SITE MUST BE ATTAINED AND RESULTS SUBMITTED TO THE OWNER/ENGINEER PRIOR TO FINAL ACCEPTANCE.
6. CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING STRUCTURES AND IMPROVEMENTS DURING INSTALLATION OF SANITARY SEWER LINE.
7. WHERE CONNECTION TO EXISTING UTILITY IS PROPOSED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER/ENGINEER IF LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.
8. CAMERA TESTING AND PRESSURE TESTING PER CWSID STANDARD.
9. ALL MANHOLE FRAME AND COVERS TO BE WATERTIGHT.

SWPPP GENERAL NOTES

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY THE CITY AND STATE.
2. ALL STRUCTURAL EROSION MEASURES SHALL BE INSTALLED AS SHOWN ON THE SWPP PLAN, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.



GENERAL NOTES

1. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION OF SITE IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE CITY ENGINEER, PLANNING, CODES AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE DESIGNATED PUBLIC WORKS INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS.
4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY AND ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE.
5. THE CONTRACTOR SHALL HAVE ONE (1) COPY OF APPROVED PLANS, AND ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
7. IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED AND RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT DRAWINGS ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE, AND AVAILABLE TO THE CITY INSPECTOR AT ALL TIMES.
11. THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF WATER LINES AND DRY UTILITIES.
12. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS CONSISTENT WITH THE CONTRACTORS SCHEDULE FOR THIS PROJECT, WHETHER SHOWN OR NOT SHOWN AS IT RELATES TO THE CONSTRUCTION ACTIVITIES CONTEMPLATED IN THESE PLANS.

STORM SEWER GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:
A) OBTAIN ALL REQUIRED PERMITS FROM THE CITY OR REGULATORY AGENCIES, INCLUDING PERMITS TO WORK IN THE RIGHT-OF-WAY.
B) RESTORATION OF EXISTING IMPROVEMENTS INCLUDING BUT NOT LIMITED TO FENCES, SOD, LANDSCAPING, PAVEMENT, SPRINKLER SYSTEM.
C) VERIFICATION AND PROTECTION OF ALL EXISTING IMPROVEMENTS WITHIN THE LIMITS OF CONSTRUCTION.
D) PROVIDING AS-BUILT DRAWINGS TO THE CITY AND THE ENGINEER.
E) ALL PERMITTING, DEVELOPMENT, LOCATION, CONNECTION AND INSPECTION AND SCHEDULING FOR SUCH.
2. ALL STORM SEWER CONNECTIONS SHALL BE IN CONFORMANCE WITH CITY STANDARDS AND SPECIFICATIONS.
3. RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH CITY STANDARDS AND SPECIFICATIONS AND PLANS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO PLACEMENT OF ASPHALT PAVING.
4. COMPACTION OF ALL TRENCHES WITHIN THE PROJECT SITE MUST BE ATTAINED AND COMPACTION RESULTS SUBMITTED TO THE ENGINEER AND THE CITY PRIOR TO FINAL ACCEPTANCE.
5. ALL STORM DRAIN PIPES IN THE CITY RIGHT-OF-WAY SHALL BE RCP CL III.
6. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE TRAFFIC BEARING LIDS. STORM SEWER MANHOLE LIDS SHALL BE LABELED "STORM DRAIN".
7. WHERE CONNECTION TO EXISTING UTILITY IS PROPOSED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER/ENGINEER IF LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.

DEVELOPMENT NOTES

1. A FEMA Elevation Certificate will be required prior to occupancy of any permanent structure in order to remove the structure from the FEMA flood zone.
2. Whereas there are no irrigation companies that show the subject property in their service boundaries, and extending service to the property is not feasible, South Weber City is allowing culinary water to be used for outdoor purposes. The use of the water will be charged in accordance with the City's adopted water rates. All irrigation connections must be constructed in accordance with City and State drinking water requirements. If the Owner is able to find another source of water for irrigation purposes at a later date, the Owner will need to work with the City to disconnect irrigation connections in accordance with City and State drinking water requirements.
3. A Stream Alteration Permit from the State is required for any qualifying activity along the Weber River.
4. Escrow will be required for all improvements, plus a 15% contingency and a 10% guarantee on all improvements. The escrow must be set up before construction can begin. No portion of the escrow will be released until the easement for the said utility has been recorded.
5. A trail easement dedicated to Weber Pathways will be required. The width of the easement, cross section and material of the trail must match other existing trail sections.
6. The City will be responsible for all 8" sewer main lines, and the laterals will be the responsibility of the Owner.
7. The City will be responsible for the water meter and vault, all 8" water mains, and fire hydrants. The Owner will be responsible for all services (drinking water and irrigation) starting at the corp stop.
8. The storm drain system will be privately owned and maintained by the Owner and is connected to UDOT's drainage system that ultimately drains into the Weber River. The Owner must comply with all requirements of UDOT and the State relating to this drainage, including storm water pollution prevention and the Clean Water Act.
9. All on-site parking will be in designated parking areas. Parking on roadways is not permitted.

GENERAL GRADING NOTES

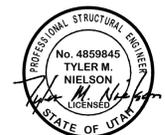
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST APWA STANDARDS AND SPECIFICATION FOR PUBLIC WORKS AND THE CITY STANDARDS. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS AND ENTRIES. FINISHED GRADE AT FOUNDATION FOR WOOD FRAMED STRUCTURES SHALL BE 8 INCHES BELOW TOP OF FOUNDATION AND DRAINAGE SHALL BE A MINIMUM OF 5% WITHIN 10 FEET FROM THE BUILDING.
2. MAXIMUM SLOPES SHALL BE 3:1 FOR CUT AND FILL UNLESS OTHERWISE NOTED.
3. COMPACTION REQUIREMENTS AND TESTING SHALL BE PERFORMED TO MEET THE CITY STANDARDS.
4. NO FILL SHALL BE PLACED UNTIL VEGETATION HAS BEEN REMOVED AND SUB-GRADE PREPARED PER THE SOILS REPORT.
5. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
6. CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN BY INSTALLING BMP'S PRIOR TO COMMENCEMENT OF EXCAVATION ACTIVITIES. CONTACT THE CITY INSPECTOR FOR INSPECTION.
7. ALL RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ALL SUBSEQUENT REPORTS, ADDENDUM ETC. SHALL BE CONSIDERED A PART OF THIS GRADING PLAN AND SHALL BE COMPLIED WITH.
8. THE CONTRACTOR SHALL CONTACT BLUE STAKES FOR LOCATION MARKING PRIOR TO COMMENCING EXCAVATION ACTIVITIES.
9. CITY MAY REQUIRE A PRE-CONSTRUCTION MEETING BEFORE A PERMIT IS ISSUED.
10. STREETS ADJACENT TO THE PROJECT SHALL BE CLEAN AT ALL TIMES.
11. CONTRACTOR IS RESPONSIBLE FOR ARRANGING FOR ALL REQUIRED INSPECTIONS.
12. PRIOR TO TAKING WATER FROM A CITY FIRE HYDRANT, THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE WATER UTILITY TO OBTAIN A WATER METER.

CULINARY WATER GENERAL NOTES

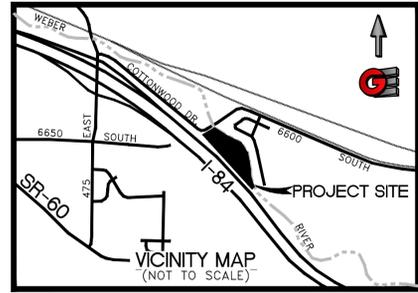
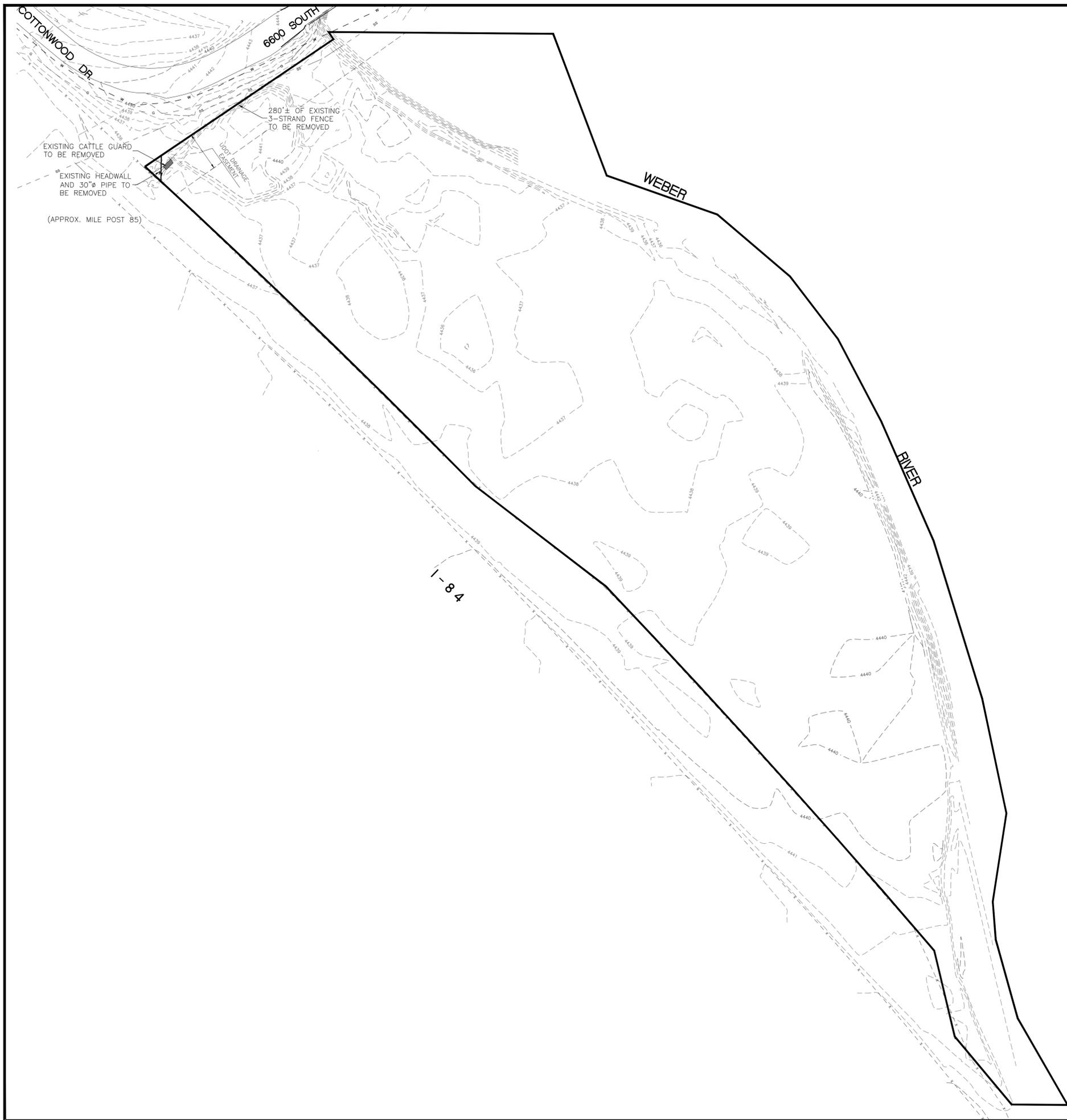
1. ALL INSTALLATION AND MATERIALS SHALL CONFORM TO SOUTH WEBER CITY STANDARDS, SPECIFICATIONS AND PLANS.
2. THRUST BLOCKING IS REQUIRED AT ALL BENDS AND FITTINGS. TIE RODS SHALL BE USED AT ALL BENDS AND FITTINGS WHERE THRUST BLOCKS DO NOT BEAR AGAINST UNDISTURBED SOIL.
3. ALL WATERLINES AT SEWER CROSSINGS SHALL BE LOCATED ABOVE AND HAVE AN 18-INCH VERTICAL SEPARATION FROM THE SEWER PIPE. IF THIS IS NOT PROVIDED, THE WATERLINE SHALL BE INSTALLED WITH 20 L.F. OF CONCRETE CASING CENTERED OVER THE SEWER PIPE.
4. DISINFECTION TESTS SHALL BE PERFORMED BY SOUTH WEBER CITY WITH COOPERATION FROM THE CONTRACTOR IN PERFORMING ANY NECESSARY EXCAVATION AND SUBSEQUENT BACKFILLING AT NO COST TO THE CITY.
5. CHLORINATION OF COMPLETED WATER LINE. THE NEW WATER LINES SHALL BE DISINFECTED BY CHLORINATION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL RELATED COSTS AND FEES RELATED TO THE CHLORINATION OF THE COMPLETED WATER LINE. THIS TEST SHALL BE PERFORMED PRIOR TO CONNECTION OF THE NEW WATER LINES TO THE EXISTING WATER SYSTEM. THE CONTRACTOR SHALL NOTIFY SOUTH WEBER CITY AT LEAST 24 HOURS BEFORE THE CHLORINATION IS DESIRED.
6. A MINIMUM HORIZONTAL CLEARANCE OF 10 FEET SHALL BE MAINTAINED FROM SANITARY SEWER MAINS.
7. UNLESS OTHERWISE SPECIFIED, ALL WATERLINES SHALL BE AWWA C900 PVC CLASS 150, PER ASTM D2241.
8. CONTRACTOR SHALL LOCATE VALVES PRIOR TO CONNECTION WITH EXISTING SYSTEM, BUT SHALL NOT OPERATE ANY VALVE WITHOUT PERMISSION FROM SOUTH WEBER CITY.
9. ALL WATER MAINS, VALVES, FIRE HYDRANTS, SERVICES AND APPURTENANCES SHALL BE INSTALLED, TESTED, AND APPROVED PRIOR TO PAVING.
10. THERE SHALL BE A WATER SUPPLY TO THE DEVELOPMENT BEFORE ANY WOOD CONSTRUCTION STARTS.
11. SOUTH WEBER CITY REQUIRES THE USE OF CORROSION RESISTANT MATERIALS FOR ALL CULINARY WATER IMPROVEMENTS. SPECIFICALLY, ROMAC BLUE BOLTS OR STAINLESS STEEL BOLTS MUST BE USED ON ALL FITTINGS. FURTHER, ALL METAL FITTINGS SHALL BE POLY WRAPPED.

SHEET INDEX

- COVER SHEET
C1 - EXISTING SITE CONDITIONS
C2 - OVERALL SITE PLAN
C3 - ENLARGED SITE PLAN
C4 - ENLARGED SITE PLAN
C5 - OVERALL SITE GRADING PLAN
C6 - ENLARGED GRADING PLAN
C7 - ENLARGED GRADING PLAN
PP1 - A STREET - PLAN AND PROFILE
PP2 - A STREET - PLAN AND PROFILE
PP3 - B STREET - PLAN AND PROFILE
PP4 - B STREET - PLAN AND PROFILE
PP5 - C STREET - PLAN AND PROFILE
PP6 - C STREET - PLAN AND PROFILE
PP7 - STORM DRAIN - PLAN AND PROFILE
D1 - TYPICAL SITE DETAILS
D2 - TYPICAL SITE DETAILS
D3 - TYPICAL UTILITY DETAILS
D4 - DETENTION POND AND DETAILS
SWP - STORM WATER POLLUTION PREVENTION PLAN



RIVERSIDE R.V. PARK
CONSTRUCTION DOCUMENTS



SCALE: 1" = 60'

DATE: 11-12-2019

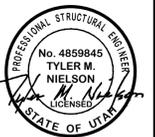
DESIGN: BSD

DRAWN: BSD

CHECKED: TIN

DWG: 19-2328 - WINKEL - RIVERSIDE R.V. PARK - C05.DWG

REVISIONS	DESCRIPTION
DATE	



EXISTING SITE CONDITIONS

RIVERSIDE R.V. PARK

851 COTTONWOOD DRIVE

SOUTH WEBER, DAVIS COUNTY, UTAH

GARDNER ENGINEERING

CIVIL • LAND PLANNING

MUNICIPAL • LAND SURVEYING

5150 SOUTH 375 EAST OGDEN, UT

OFFICE: 801.476.0202 FAX: 801.476.0066

C1

20

DEVELOPER:

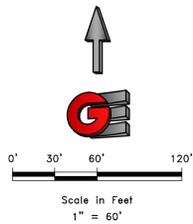
F.M. WINKEL FAMILY LLC

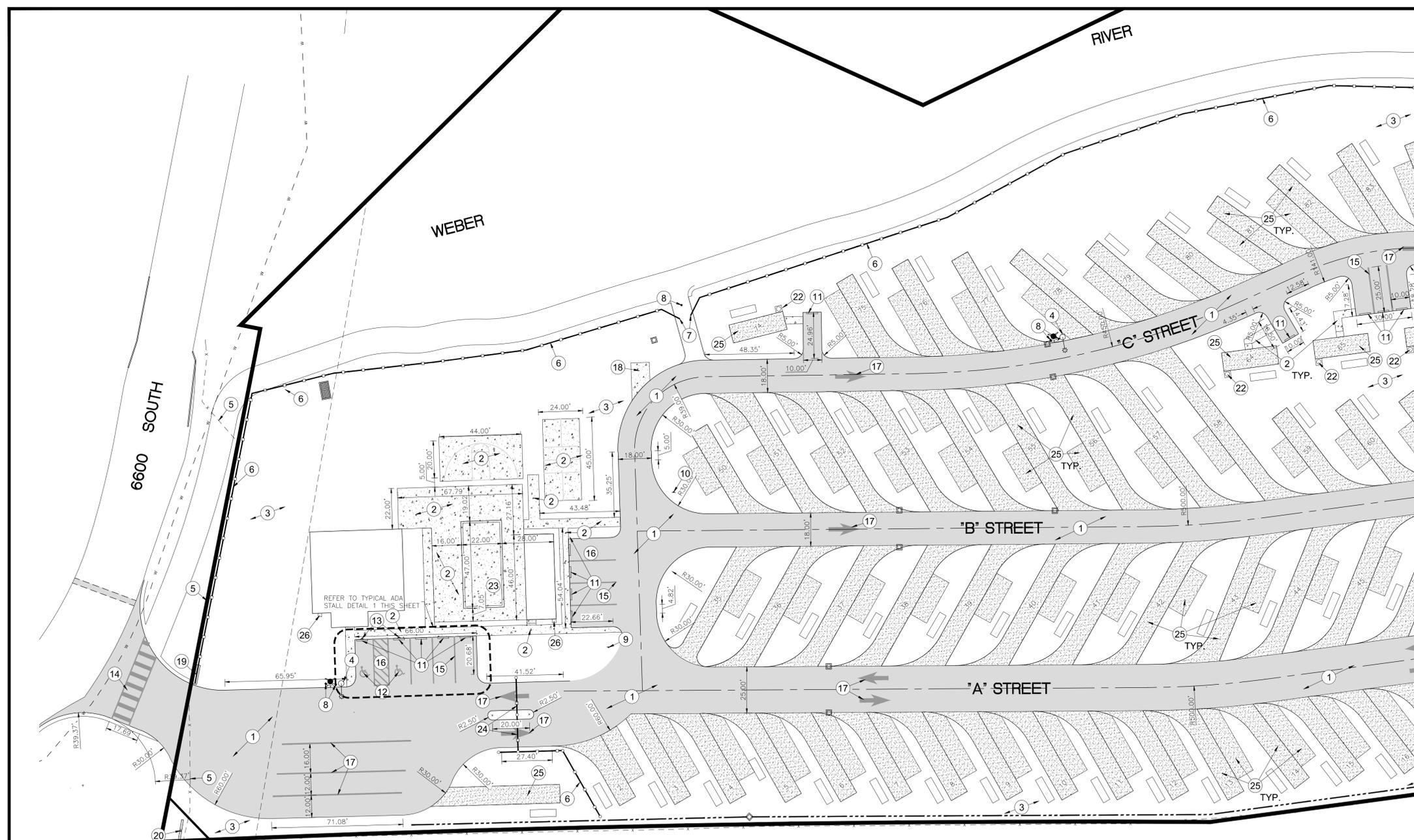
WESLEY WINKEL

3651 NORTH 100 EAST #125

PROVO, UT 84604

(801) 310-3948





SITE PLAN KEY NOTES

- 1 ASPHALT PAVING SECTION (SEE DETAIL 1 ON SHEET D1)
- 2 PROPOSED CONCRETE SIDEWALK (SEE DETAIL 4 ON SHEET D1)
- 3 PROPOSED LANDSCAPE AREA (SEE LANDSCAPE PLANS)
- 4 PROPOSED LIGHT POST AND BASE (SEE ELECTRICAL PLANS)
- 5 EXISTING FENCE TO BE REMOVED.
- 6 PROPOSED FENCE ALONG TRAIL.
- 7 PROPOSED FENCE GATE.
- 8 6" STEEL PIPE BOLLARD (SEE DETAIL 3 SHEET D1)
- 9 PROPOSED STOP SIGN POST (SEE DETAIL 6 ON SHEET D1)
- 10 PROPOSED "DO NOT ENTER" SIGN POST (SEE DETAIL 6 ON SHEET D1)
- 11 PRECAST CONCRETE WHEEL STOP
- 12 PROPOSED ADA PARKING SYMBOL (SEE DETAIL 10 ON SHEET D1)
- 13 PROPOSED ADA PARKING SIGN (SEE DETAIL 7 ON SHEET D1)
- 14 TYPICAL CROSSWALK STRIPING (SEE DETAIL 8 ON SHEET D1)
- 15 TYPICAL PARKING STRIPING TO BE 4" WHITE.
- 16 TYPICAL NO PARKING STRIPING (SEE DETAIL 9 ON SHEET D1)
- 17 TYPICAL PAVEMENT MARKINGS (SEE SITE PLAN NOTES)
- 18 PROPOSED DUMPSTER ENCLOSURE (SEE DETAIL 5 SHEETS D1)
- 19 PROPOSED MONUMENT SIGN
- 20 PROPOSED POLE SIGN
- 21 PROPOSED TENT SITES
- 22 PROPOSED 120 GALLON PROPANE TANK
- 23 PROPOSED SWIMMING POOL
- 24 PARK ENTRANCE/EXIST GATES
- 25 3" ROAD BASE OVER GRANULAR BORROW - PIT RUN (SEE DETAIL 2 ON SHEET D1)
- 26 INSTALL A 3200 SERIES KNOX KEY BOX OR APPROVED EQUAL OM OFFICE AND RESTROOMS ONLY.

SCALE: 1" = 30'

DATE	11-12-2019
DESIGN	BSD
DRAWN	BSD
CHECKED	TUN

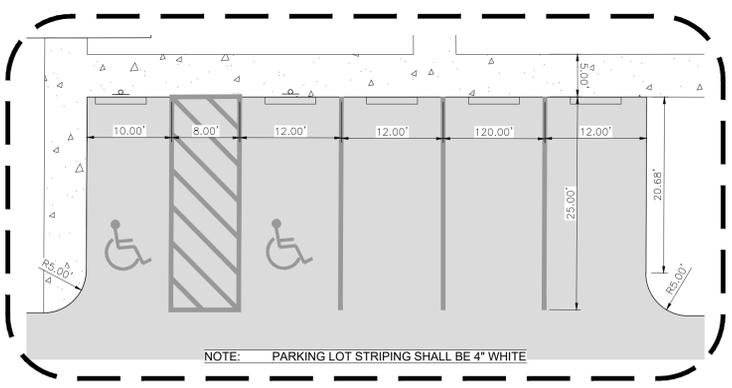
REVISIONS	DESCRIPTION
DATE	



ENLARGED SITE PLAN
RIVERSIDE R.V. PARK
851 COTTONWOOD DRIVE
SOUTH WEBER, DAVIS COUNTY, UTAH

LEGEND

- (NOTE: ALL LINES OR SYMBOLS MAY NOT APPEAR ON EACH SHEET)
- BOUNDARY LINE
 - CENTERLINE
 - PUBLIC UTILITY AND DRAINAGE EASEMENT
 - RIDGE LINE
 - NEW DRAINAGE SWALE / DITCH
 - EXISTING 5' CONTOUR AND ELEVATION
 - EXISTING 1' CONTOUR AND ELEVATION
 - DESIGN CONTOUR AND ELEVATION
 - ASPHALT PAVING
 - CONCRETE FLATWORK
 - CULINARY WATERLINE
 - CULINARY WATER LATERAL
 - NEW FIRE HYDRANT
 - WATER METER
 - WM
 - WATER VALVE
 - SD
 - STORM DRAIN LINE
 - STORM DRAIN MANHOLE
 - STORM DRAIN CATCH BASIN/INLET SUMP
 - STORM DRAIN INLET BOX
 - SS
 - SANITARY SEWER PIPE
 - SL
 - SANITARY SEWER LATERAL
 - SANITARY SEWER MANHOLE
 - LP
 - LIGHT POLE AND BASE

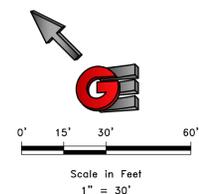


TYPICAL ADA STALL DETAIL 1
NOT TO SCALE

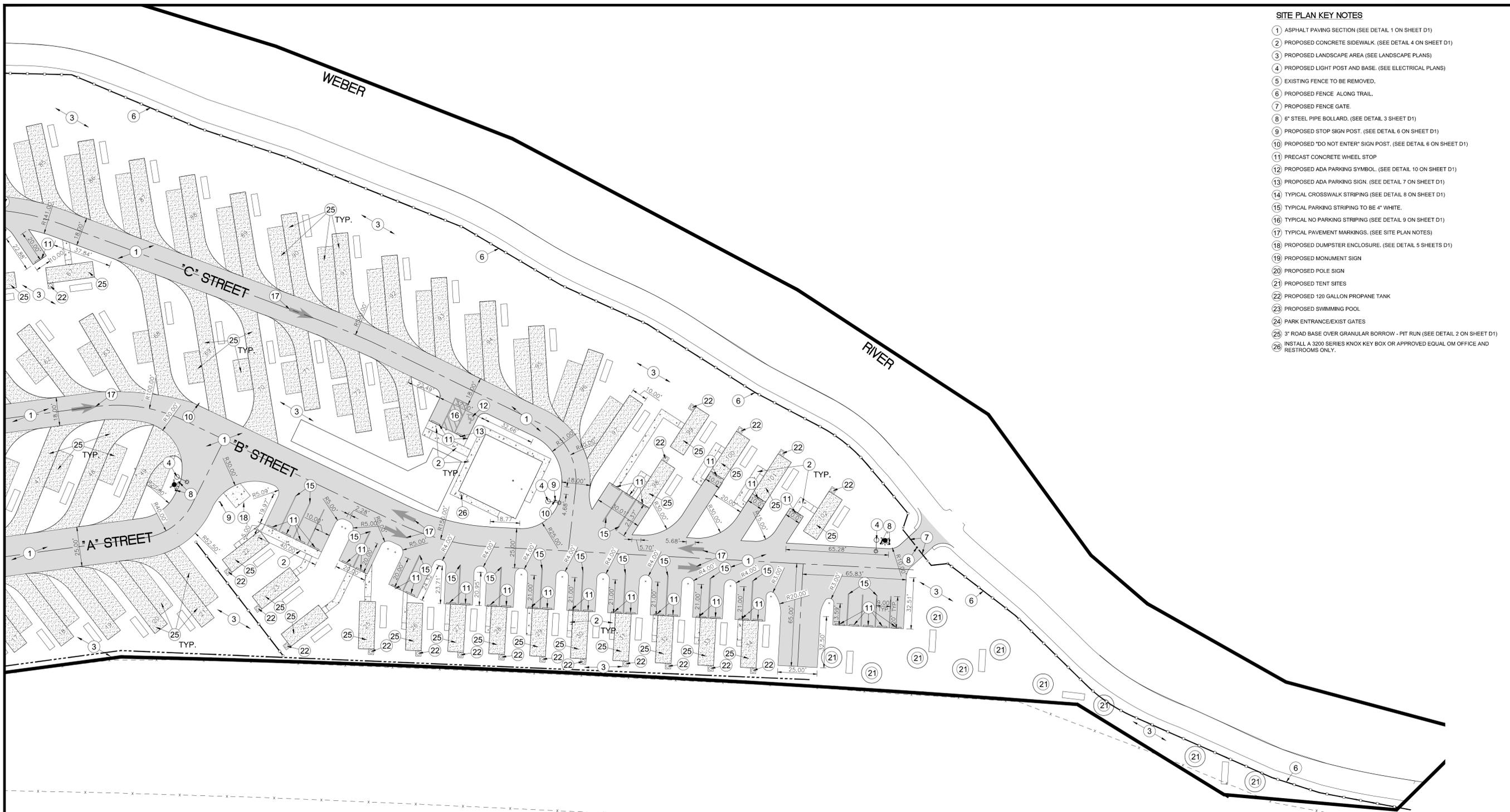
NOTE: THE ELEVATION DIFFERENCE BETWEEN THE ASPHALT SURFACE AND THE CONCRETE SURFACE SHALL NOT EXCEED 1/4" VERTICAL OR 1/2" WHEN BEVELED. 2009 ANSI 117.303.502.5

SITE PLAN NOTES

1. STALLS DESIGNATED AS ADA WILL REQUIRE A PAINTED ADA SYMBOL AND SIGN. (SEE SHEET D1 FOR DETAIL)
2. ACCESSIBLE ROUTES AND ADA RAMP TO BE INSTALLED AS PER ADA STANDARDS.
3. ACCESSIBLE ROUTE TO BE A MAX. SLOPE OF 5% AND A MAX. CROSS SLOPE OF 2% 2009 ANSI 117.403.3.
4. MAXIMUM ELEVATION DIFFERENCE BETWEEN THE ASPHALT SURFACE OF THE PARKING SURFACE AND THE BOTTOM OF THE CONCRETE CURB RAMP OR SIDEWALK HEIGHT SHALL NOT EXCEED 1/4" VERTICAL OR 1/2" WHEN BEVELED. 2009 ANSI 117.303.502.5.
5. AISLE MARKINGS, SOLID DIRECTIONAL ARROWS AND STOP BARS WILL BE PAINTED AT EACH DRIVEWAY AS SHOWN ON THE PLANS.
6. BUILDING SIDEWALKS, RAMP, AND BOLLARDS ARE RESPONSIBILITY OF THE BUILDING CONTRACTOR.
7. SEE ELECTRICAL SITE PLAN FOR SITE LIGHTING DETAILS.
8. DETAILED UTILITY DESIGN CAN BE FOUND ON PLAN AND PROFILE SHEETS PP1 THROUGH PP6.



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 5150 SOUTH 375 EAST OGDEN, UT
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- SITE PLAN KEY NOTES**
- ASPHALT PAVING SECTION (SEE DETAIL 1 ON SHEET D1)
 - PROPOSED CONCRETE SIDEWALK (SEE DETAIL 4 ON SHEET D1)
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SCALE: 1" = 30'

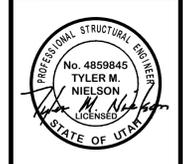
DATE: 11-12-2019

DESIGN: BSD

DRAWN: BSD

CHECKED: TUN

REVISIONS	DESCRIPTION
DATE	



ENLARGED SITE PLAN
 RIVERSIDE R.V. PARK
 851 COTTONWOOD DRIVE
 SOUTH WEBER, DAVIS COUNTY, UTAH

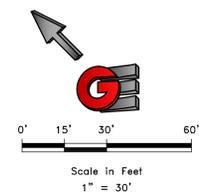
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5150 SOUTH 375 EAST OGDEN, UT
 OFFICE: 801.476.0202 FAX: 801.476.0066

- SITE PLAN NOTES**
- STALLS DESIGNATED AS ADA WILL REQUIRE A PAINTED ADA SYMBOL AND SIGN. (SEE SHEET D1 FOR DETAIL)
 - ACCESSIBLE ROUTES AND ADA RAMPS TO BE INSTALLED AS PER ADA STANDARDS.
 - ACCESSIBLE ROUTE TO BE A MAX. SLOPE OF 5% AND A MAX. CROSS SLOPE OF 2% 2009 ANSI 117.403.3.
 - MAXIMUM ELEVATION DIFFERENCE BETWEEN THE ASPHALT SURFACE OF THE PARKING SURFACE AND THE BOTTOM OF THE CONCRETE CURB RAMPS OR SIDEWALK HEIGHT SHALL NOT EXCEED 1/4" VERTICAL OR 1/2" WHEN BEVELED. 2009 ANSI 117.303.502.5.
 - AISLE MARKINGS, SOLID DIRECTIONAL ARROWS AND STOP BARS WILL BE PAINTED AT EACH DRIVEWAY AS SHOWN ON THE PLANS.
 - BUILDING SIDEWALKS, RAMPS, AND BOLLARDS ARE RESPONSIBILITY OF THE BUILDING CONTRACTOR.
 - SEE ELECTRICAL SITE PLAN FOR SITE LIGHTING DETAILS.
 - DETAILED UTILITY DESIGN CAN BE FOUND ON PLAN AND PROFILE SHEETS PP1 THROUGH PP6.

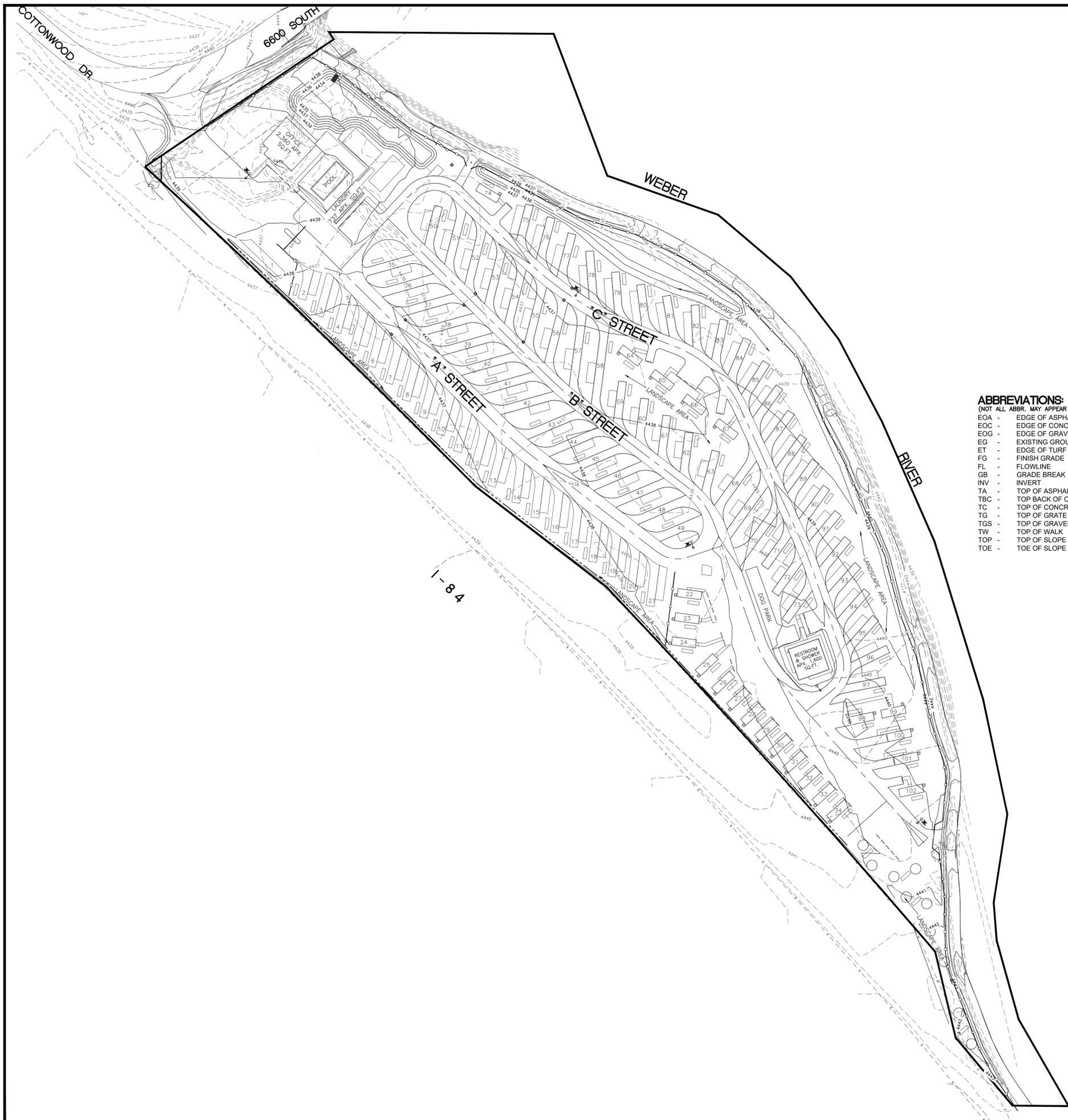
LEGEND
 (NOTE: ALL LINES OR SYMBOLS MAY NOT APPEAR ON EACH SHEET)

---	BOUNDARY LINE
---	CENTERLINE
---	PUBLIC UTILITY AND DRAINAGE EASEMENT
---	RIDGE LINE
---	NEW DRAINAGE SWALE / DITCH
---	EXISTING 5' CONTOUR AND ELEVATION
---	EXISTING 1' CONTOUR AND ELEVATION
---	DESIGN CONTOUR AND ELEVATION
---	ASPHALT PAVING
---	CONCRETE FLATWORK
---	CULINARY WATERLINE
---	CULINARY WATER LATERAL
---	NEW FIRE HYDRANT
---	WATER METER
---	WATER VALVE
---	STORM DRAIN LINE
---	STORM DRAIN MANHOLE
---	STORM DRAIN CATCH BASIN/INLET SUMP
---	STORM DRAIN INLET BOX
---	SANITARY SEWER PIPE
---	SANITARY SEWER LATERAL
---	SANITARY SEWER MANHOLE
---	LIGHT POLE AND BASE



C4

20



ABBREVIATIONS:
(NOT ALL ABBR. MAY APPEAR ON EACH SHEET)

EOA	-	EDGE OF ASPHALT
EOC	-	EDGE OF CONCRETE
EOG	-	EDGE OF GRAVEL
EG	-	EXISTING GROUND
ET	-	EDGE OF TURF
FG	-	FINISH GRADE
FL	-	FLOWLINE
GB	-	GRADE BREAK
INV	-	INVERT
TA	-	TOP OF ASPHALT
TBC	-	TOP BACK OF CURB
TC	-	TOP OF CONCRETE
TG	-	TOP OF GRATE
TGS	-	TOP OF GRAVEL SURFACE
TW	-	TOP OF WALK
TOP	-	TOP OF SLOPE
TOE	-	TOE OF SLOPE

GENERAL GRADING NOTES:

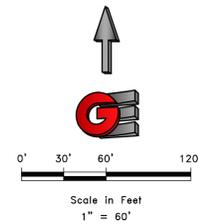
- Refer to proposed road plan and profiles on sheets PP1 - PP6.
- All work shall be in accordance with South Weber Public Works Standard.
- Cut slopes shall be no steeper than 2 horizontal to 1 vertical.
- Fill slopes shall be no steeper than 2 horizontal to 1 vertical.
- Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by the geotechnical engineer.
- Areas to receive fill shall be properly prepared and approved by the City inspector and geotechnical Engineer prior to placing fill.
- Fills shall be benched into competent material as per specifications and geotechnical report.
- All trench backfill shall be tested and certified by the site geotechnical engineer per the grading code.
- A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
- The final compaction report and certification from the geotechnical engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
- Dust shall be controlled by watering.
- The location and protection of all utilities is the responsibility of the permittee.
- Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading project. (See SWPPP plans - sheet CSW101)
- All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the city engineer.
- The site shall be cleared and grubbed of a all vegetation and deleterious matter prior to grading.
- The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
- Aggregate base shall be compacted per the geotechnical report prepared for the project.
- Elevations shown on this plan are finish grades. Rough grades are the subgrades of the improvements shown hereon.
- As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
- Accessible route to be a max. slope of 5% and a max. cross slope of 2% 2009 ANSI 117.403.3.
- Maximum elevation difference between the asphalt surface of the parking surface and the bottom of the concrete curb ramps or sidewalk height shall not exceed 1/2" vertical or 1/2" when beveled. 2009 ANSI 117.303.502.5.

LEGEND

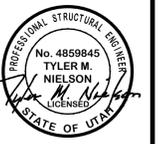
(NOTE: ALL LINES OR SYMBOLS MAY NOT APPEAR ON EACH SHEET)

	BOUNDARY LINE
	CENTERLINE
	PUBLIC UTILITY AND DRAINAGE EASEMENT
	RIDGE LINE
	NEW DRAINAGE SWALE / DITCH
	EXISTING 5' CONTOUR AND ELEVATION
	EXISTING 1' CONTOUR AND ELEVATION
	DESIGN CONTOUR AND ELEVATION
	ASPHALT PAVING
	CONCRETE FLATWORK
	CULINARY WATERLINE
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	NEW FIRE HYDRANT
	WATER METER
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	STORM DRAIN INLET BOX
	SANITARY SEWER PIPE
	SANITARY SEWER LATERAL
	SANITARY SEWER MANHOLE
	LIGHT POLE AND BASE

DEVELOPER:
F.M. WINKEL FAMILY LLC
MCKAY WINKEL
3651 NORTH 100 EAST #125
PROVO, UT 84604
(801) 310-3948



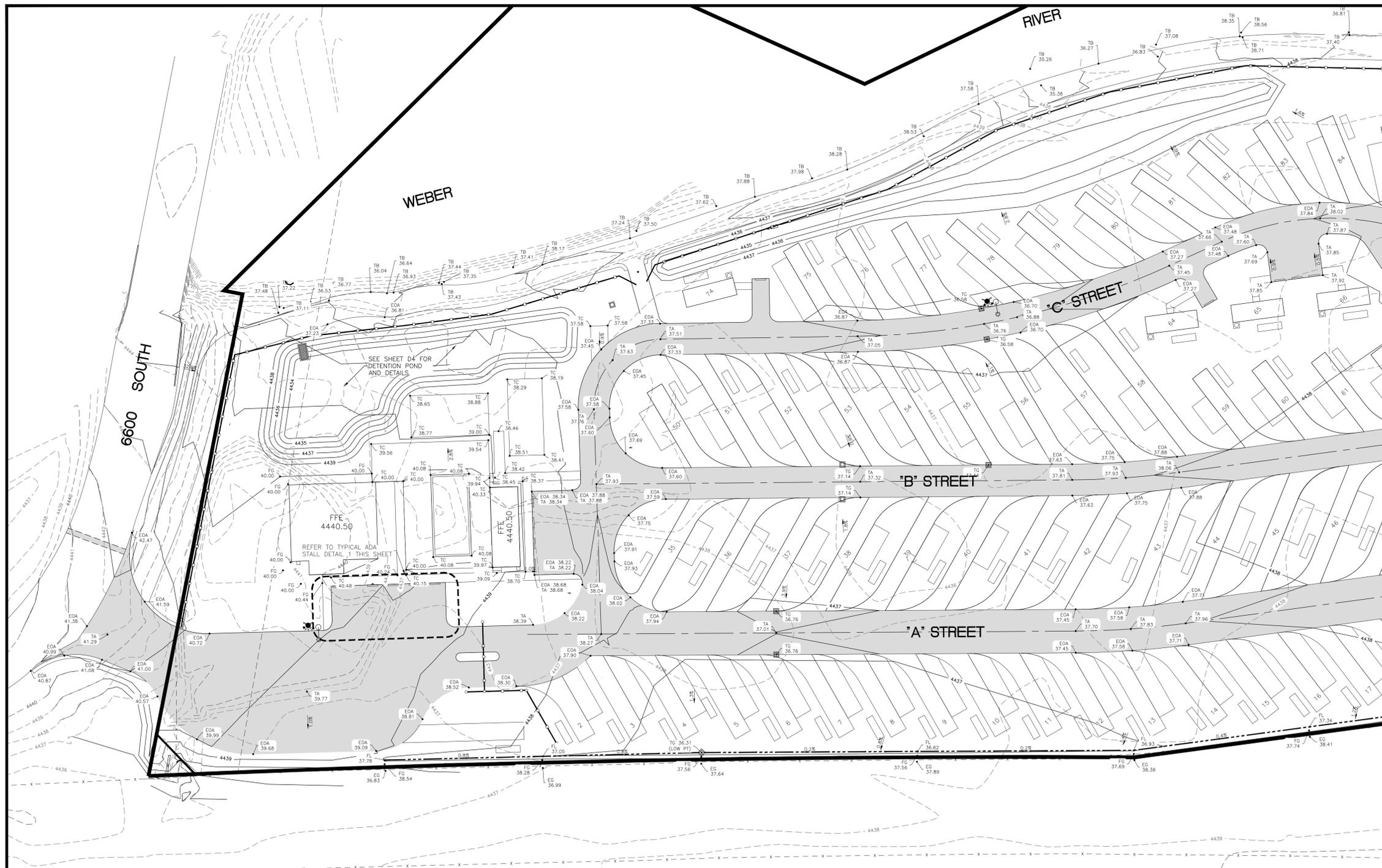
SCALE	1" = 60'
DATE	11-12-2019
DESIGN	BSD
DRAWN	BSD
CHECKED	TUN



OVERALL SITE GRADING PLAN
RIVERSIDE R.V. PARK
851 COTTONWOOD DRIVE
SOUTH WEBER, DAVIS COUNTY, UTAH

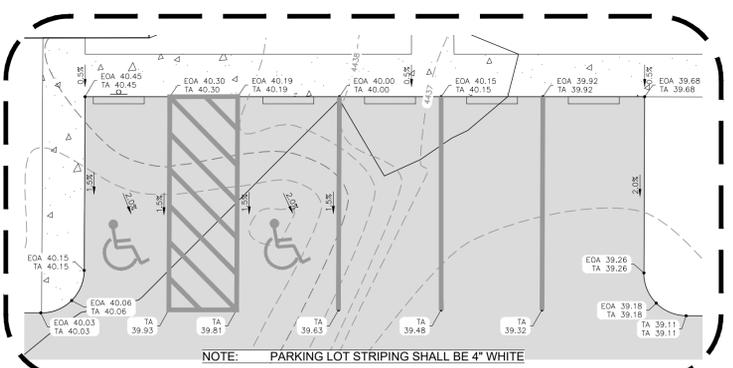
GARDNER ENGINEERING
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5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801.476.0202 FAX: 801.476.0066

C5
20



LEGEND
(NOTE: ALL LINES OR SYMBOLS MAY NOT APPEAR ON EACH SHEET)

---	BOUNDARY LINE
---	CENTERLINE
---	PUBLIC UTILITY AND DRAINAGE EASEMENT
---	RIDGE LINE
---	NEW DRAINAGE SWALE / DITCH
---	EXISTING 5' CONTOUR AND ELEVATION
---	EXISTING 1' CONTOUR AND ELEVATION
---	DESIGN CONTOUR AND ELEVATION
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---	STORM DRAIN INLET BOX
---	SANITARY SEWER PIPE
---	SANITARY SEWER LATERAL
---	SANITARY SEWER MANHOLE
---	LIGHT POLE AND BASE



TYPICAL ADA STALL DETAIL 1
NOT TO SCALE

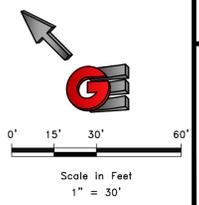
NOTE: THE ELEVATION DIFFERENCE BETWEEN THE ASPHALT SURFACE AND THE CONCRETE SURFACE SHALL NOT EXCEED 1/4" VERTICAL OR 1/2" WHEN BEVELED. 2009 ANSI 117 303. 502.5

ABBREVIATIONS:
(NOT ALL ABBR. MAY APPEAR ON EACH SHEET)

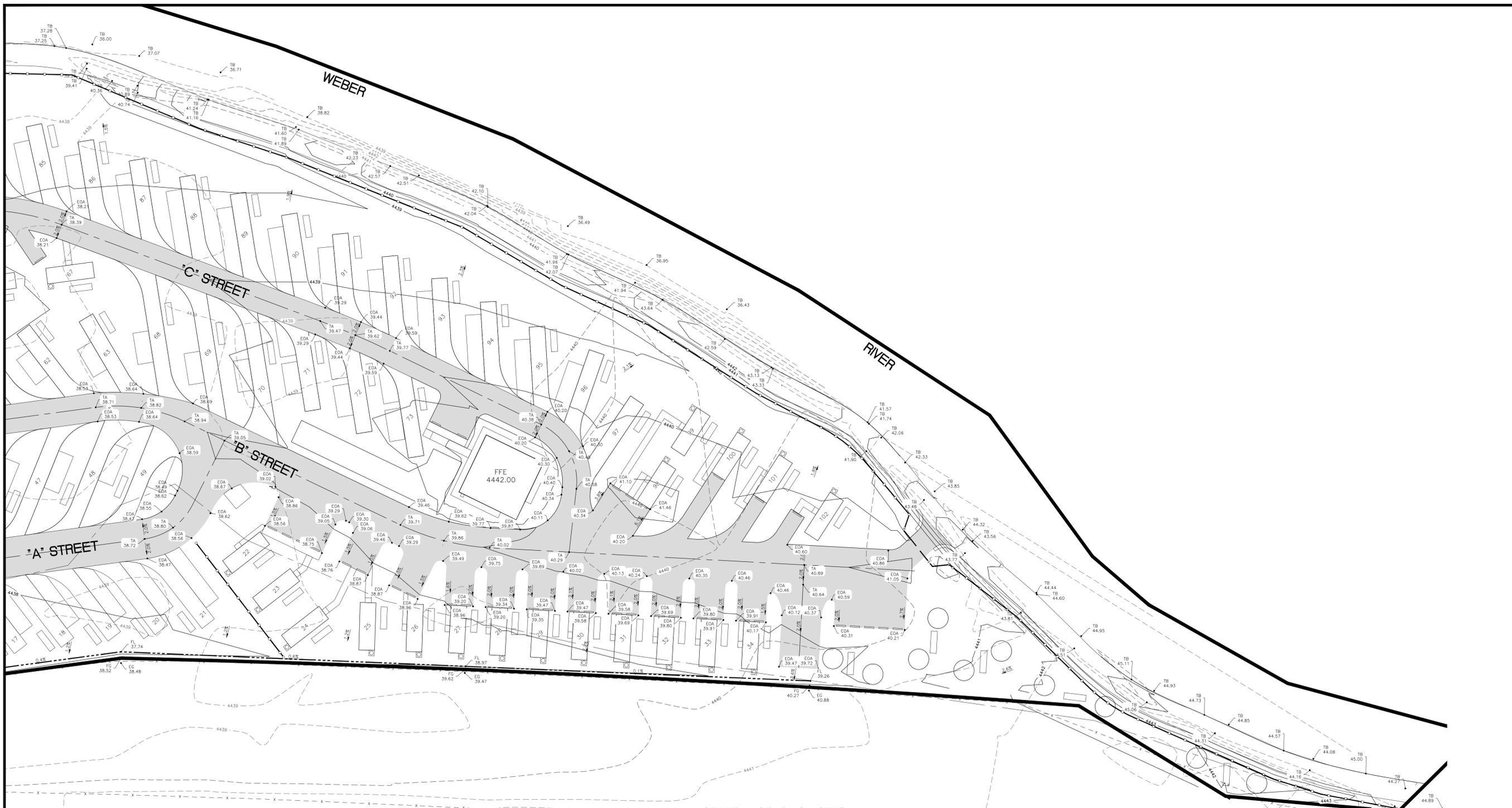
EOA	- EDGE OF ASPHALT
EOC	- EDGE OF CONCRETE
EOG	- EDGE OF GRAVEL
EG	- EXISTING GROUND
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FG	- FINISH GRADE
FL	- FLOWLINE
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TA	- TOP OF ASPHALT
TBC	- TOP BACK OF CURB
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TGS	- TOP OF GRAVEL SURFACE
TW	- TOP OF WALK
TOP	- TOP OF SLOPE
TOE	- TOE OF SLOPE

GENERAL GRADING NOTES:

1. Refer to proposed road plan and profiles on sheets PP1 - PP6.
2. All work shall be in accordance with South Weber Public Works Standard.
3. Cut slopes shall be no steeper than 2 horizontal to 1 vertical.
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SCALE: 1" = 30'	DATE: 11-12-2019	DESIGN: BSD	DRAWN: BSD	CHECKED: TJM
REVISIONS	DATE	DESCRIPTION		
<p>ENLARGED GRADING PLAN RIVERSIDE R.V. PARK 851 COTTONWOOD DRIVE SOUTH WEBER, DAVIS COUNTY, UTAH</p>				
<p>GARDNER ENGINEERING CIVIL & LAND PLANNING MUNICIPAL - LAND SURVEYING 5150 SOUTH 375 EAST OGDEN, UT OFFICE: 801.476.0202 FAX: 801.476.0066</p>				
<p>PROFESSIONAL STRUCTURAL ENGINEER No. 4859845 TYLER M. NIELSON LICENSED STATE OF UTAH</p>				<p>DWG: 11-2328 - WINKLE, MICHAEL DESIGN/UPPER PARK - C05.DWG</p>
C6				20



GENERAL GRADING NOTES:

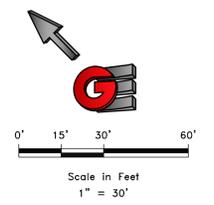
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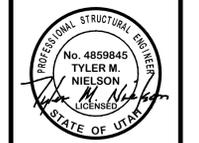
- EOA - EDGE OF ASPHALT
- EOC - EDGE OF CONCRETE
- EOG - EDGE OF GRAVEL
- EG - EXISTING GROUND
- ET - EDGE OF TURF
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LEGEND
(NOTE: ALL LINES OR SYMBOLS MAY NOT APPEAR ON EACH SHEET)

- BOUNDARY LINE
- CENTERLINE
- PUBLIC UTILITY AND DRAINAGE EASEMENT
- RIDGE LINE
- NEW DRAINAGE SWALE / DITCH
- EXISTING 5' CONTOUR AND ELEVATION
- EXISTING 1' CONTOUR AND ELEVATION
- DESIGN CONTOUR AND ELEVATION
- ASPHALT PAVING
- CONCRETE FLATWORK
- CULINARY WATERLINE
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- STORM DRAIN MANHOLE
- STORM DRAIN CATCH BASIN/INLET SUMP
- STORM DRAIN INLET BOX
- SANITARY SEWER PIPE
- SANITARY SEWER LATERAL
- SANITARY SEWER MANHOLE
- LIGHT POLE AND BASE

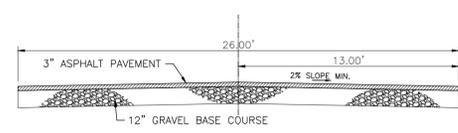
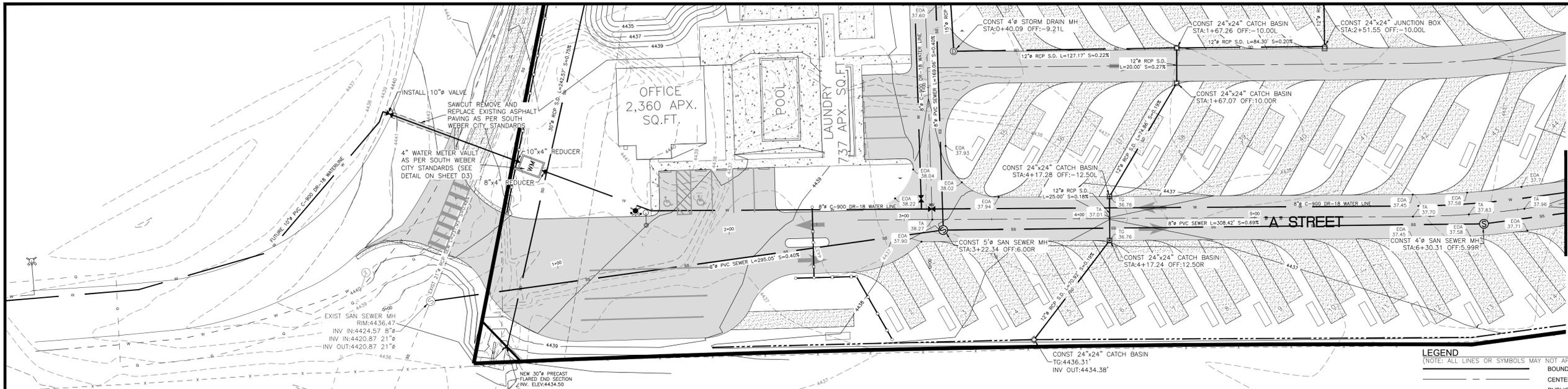


SCALE	1" = 30'
DATE	11-12-2019
DESIGN	BSD
DRAWN	BSD
CHECKED	TUN
DWG.	19-2328 - WINKLE - MICHAYLA DESIGN/UPM BY PARK - CDS.DWG

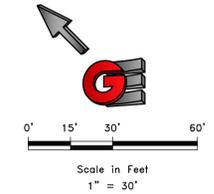


ENLARGED GRADING PLAN
RIVERSIDE R.V. PARK
851 COTTONWOOD DRIVE
SOUTH WEBER, DAVIS COUNTY, UTAH

GARDNER ENGINEERING
 CIVIL • LAND PLANNING
 MUNICIPAL • LAND SURVEYING
 5150 SOUTH 375 EAST OGDEN, UT
 OFFICE: 801.476.0202 FAX: 801.476.0066



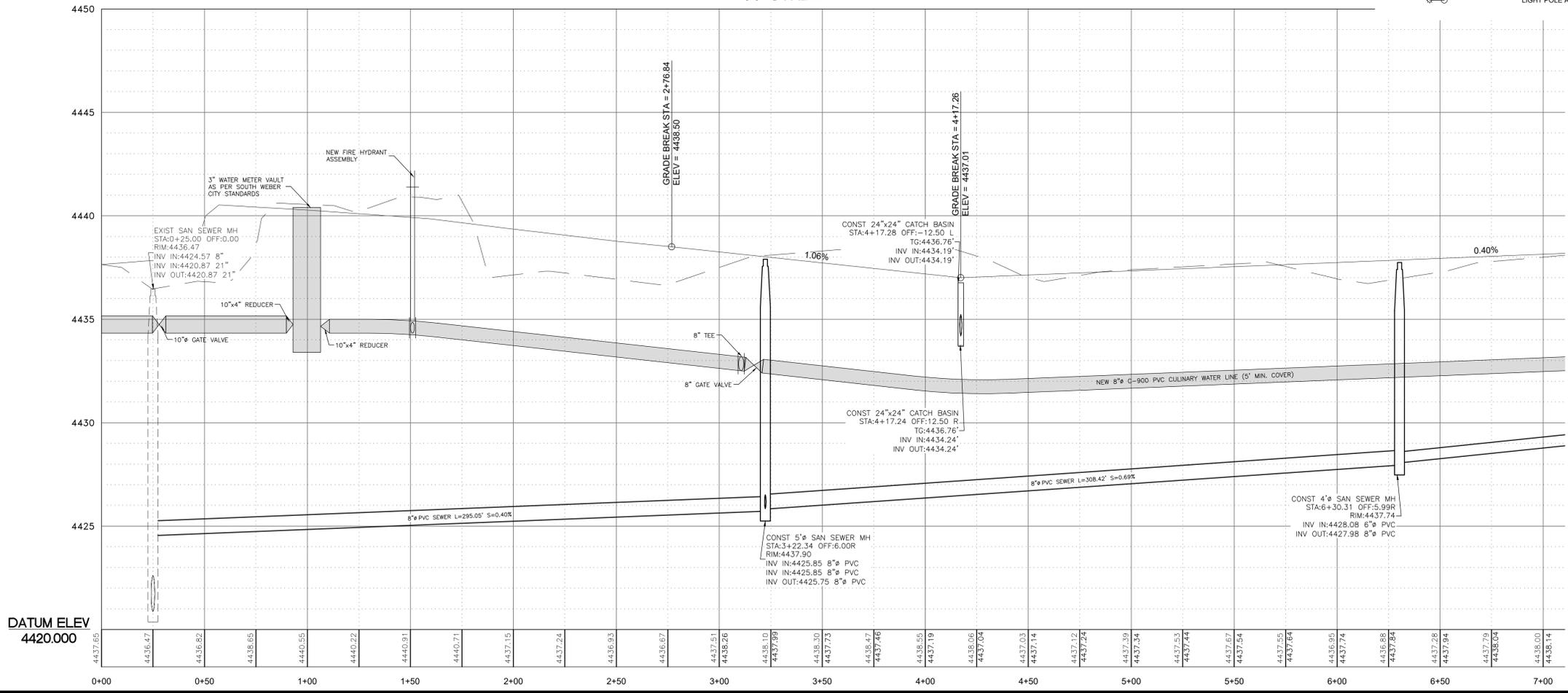
26' WIDE ROAD SECTION
NOT TO SCALE



LEGEND
(NOTE: ALL LINES OR SYMBOLS MAY NOT APPEAR ON EACH SHEET)

	BOUNDARY LINE
	CENTERLINE
	PUBLIC UTILITY AND DRAINAGE EASEMENT
	RIDGE LINE
	NEW DRAINAGE SWALE / DITCH
	EXISTING 5' CONTOUR AND ELEVATION
	EXISTING 1' CONTOUR AND ELEVATION
	DESIGN CONTOUR AND ELEVATION
	ASPHALT PAVING
	CONCRETE FLATWORK
	CULINARY WATERLINE
	CULINARY WATER LATERAL
	NEW FIRE HYDRANT
	WATER METER
	WATER VALVE
	STORM DRAIN LINE
	STORM DRAIN CATCH BASIN/INLET
	STORM DRAIN INLET BOX
	SANITARY SEWER PIPE
	SANITARY SEWER LATERAL
	SANITARY SEWER MANHOLE
	LIGHT POLE AND BASE

'A' STREET - PROFILE

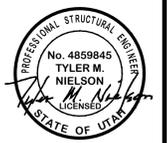


DATUM ELEV
4420.000

SCALE: 1" = 30'

DATE	11-12-2019
DESIGN	BSD
DRAWN	BSD
CHECKED	TUN

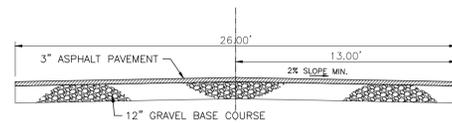
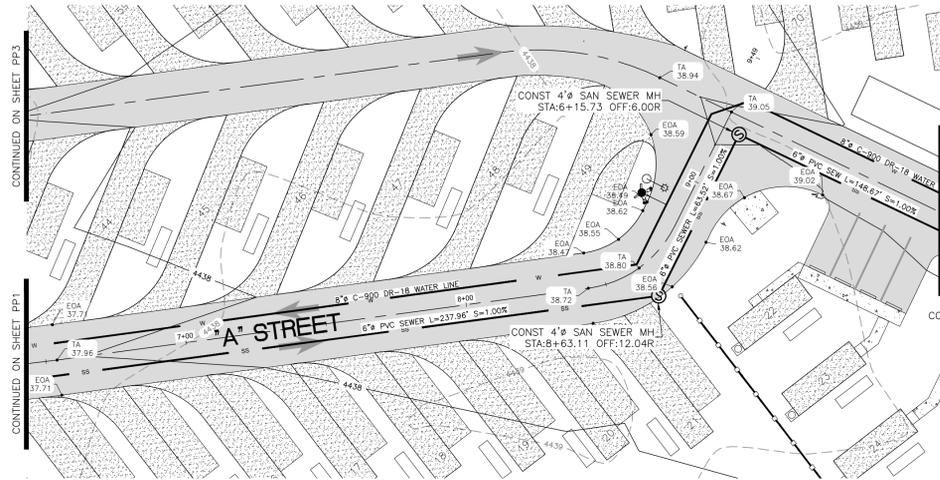
DWG: R:\2328 - WINKLE - MCKAY\DESIGN\DWG\RY PARK - C05.DWG



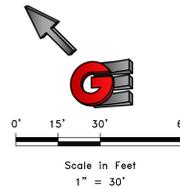
A STREET - PLAN AND PROFILE
RIVERSIDE R.V. PARK
851 COTTONWOOD DRIVE
SOUTH WEBER, DAVIS COUNTY, UTAH

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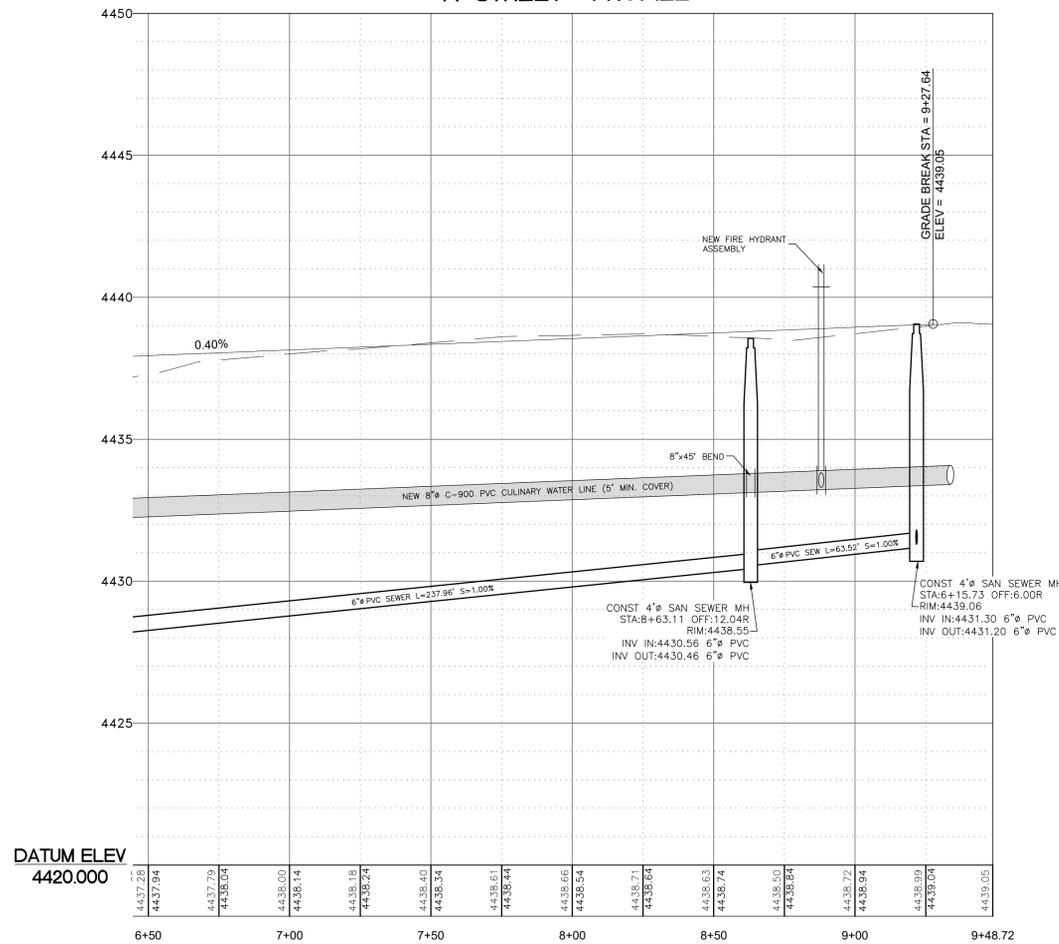
26' WIDE ROAD SECTION
NOT TO SCALE



LEGEND
(NOTE: ALL LINES OR SYMBOLS MAY NOT APPEAR ON EACH SHEET)

---	BOUNDARY LINE
---	CENTERLINE
---	PUBLIC UTILITY AND DRAINAGE EASEMENT
---	RIDGE LINE
---	NEW DRAINAGE SWALE / DITCH
---	EXISTING 5' CONTOUR AND ELEVATION
---	EXISTING 1' CONTOUR AND ELEVATION
---	DESIGN CONTOUR AND ELEVATION
---	ASPHALT PAVING
---	CONCRETE FLATWORK
---	CULINARY WATERLINE
---	CULINARY WATER LATERAL
---	NEW FIRE HYDRANT
WM	WATER METER
---	WATER VALVE
---	STORM DRAIN LINE
---	STORM DRAIN MANHOLE
---	STORM DRAIN CATCH BASIN/INLET SUMP
---	STORM DRAIN INLET BOX
---	SANITARY SEWER PIPE
---	SANITARY SEWER LATERAL
---	SANITARY SEWER MANHOLE
---	LIGHT POLE AND BASE

"A" STREET - PROFILE

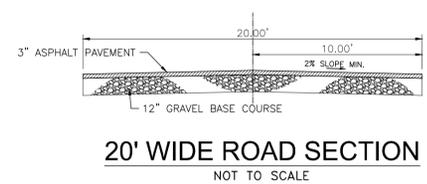
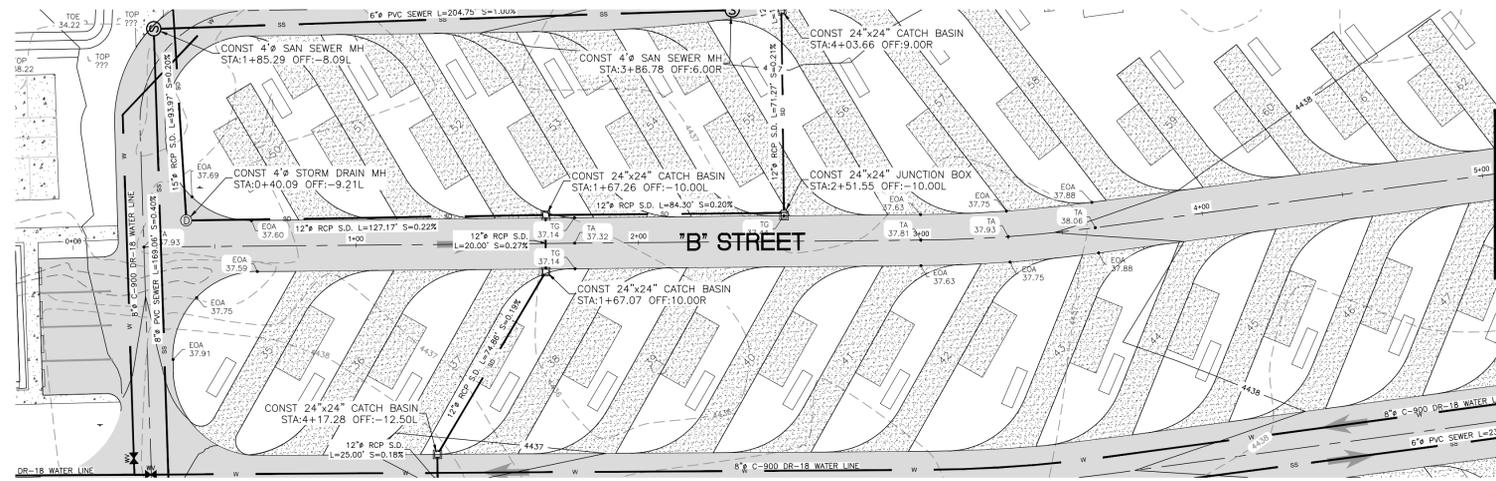


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DESIGN	BSD
DRAWN	BSD
CHECKED	TUN
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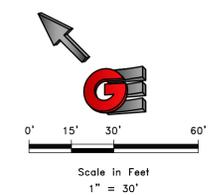


A STREET - PLAN AND PROFILE
RIVERSIDE R.V. PARK
851 COTTONWOOD DRIVE
SOUTH WEBER, DAVIS COUNTY, UTAH

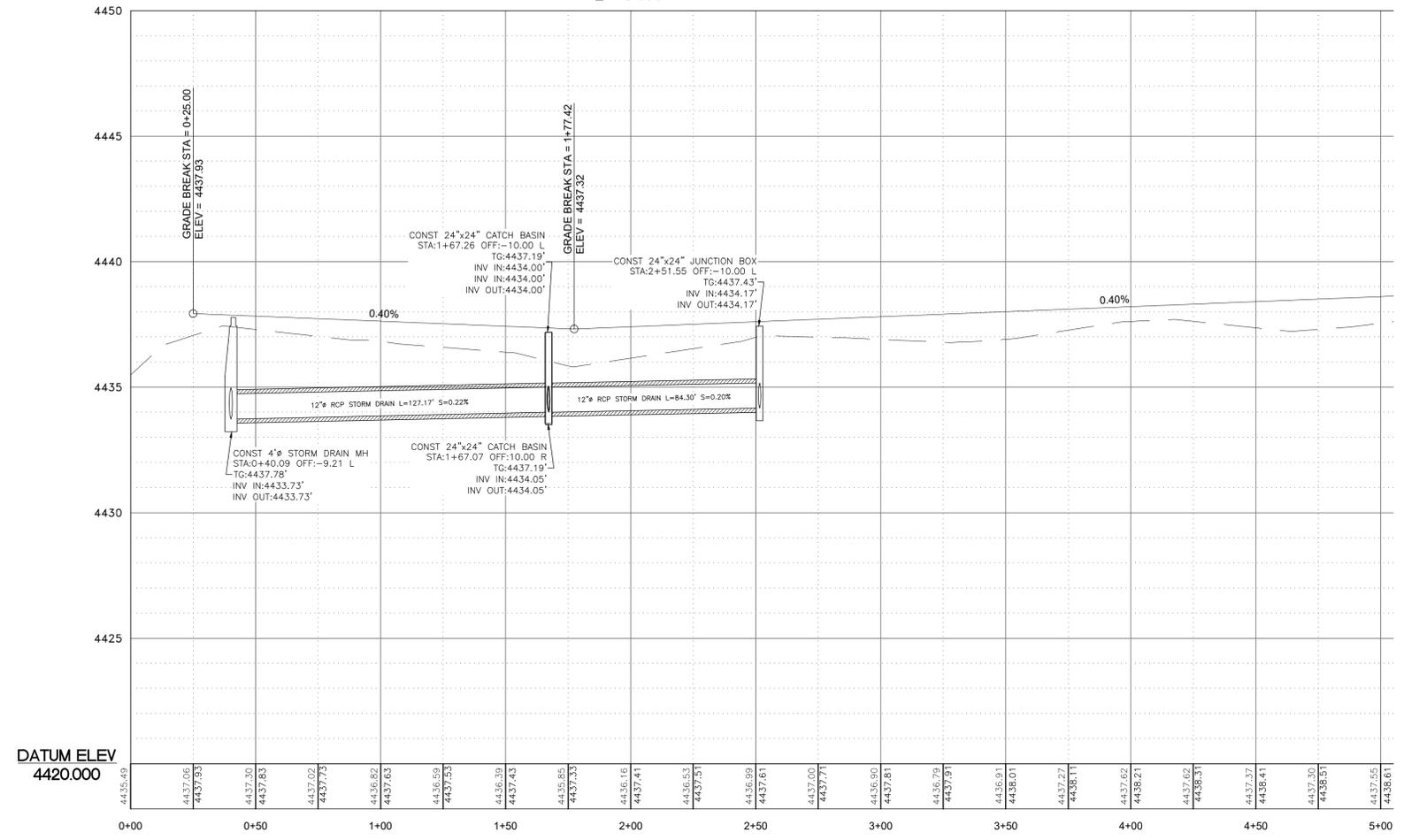
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20' WIDE ROAD SECTION
NOT TO SCALE



"B" STREET - PROFILE



LEGEND
(NOTE: ALL LINES OR SYMBOLS MAY NOT APPEAR ON EACH SHEET)

	BOUNDARY LINE
	CENTERLINE
	PUBLIC UTILITY AND DRAINAGE EASEMENT
	RIDGE LINE
	NEW DRAINAGE SWALE / DITCH
	EXISTING 5' CONTOUR AND ELEVATION
	EXISTING 1' CONTOUR AND ELEVATION
	DESIGN CONTOUR AND ELEVATION
	ASPHALT PAVING
	CONCRETE FLATWORK
	CULINARY WATERLINE
	CULINARY WATER LATERAL
	NEW FIRE HYDRANT
	WATER METER
	WATER VALVE
	STORM DRAIN LINE
	STORM DRAIN MANHOLE
	STORM DRAIN CATCH BASIN/INLET SUMP
	STORM DRAIN INLET BOX
	SANITARY SEWER PIPE
	SANITARY SEWER LATERAL
	SANITARY SEWER MANHOLE
	LIGHT POLE AND BASE

SCALE: 1" = 30'

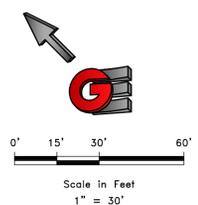
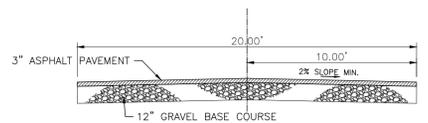
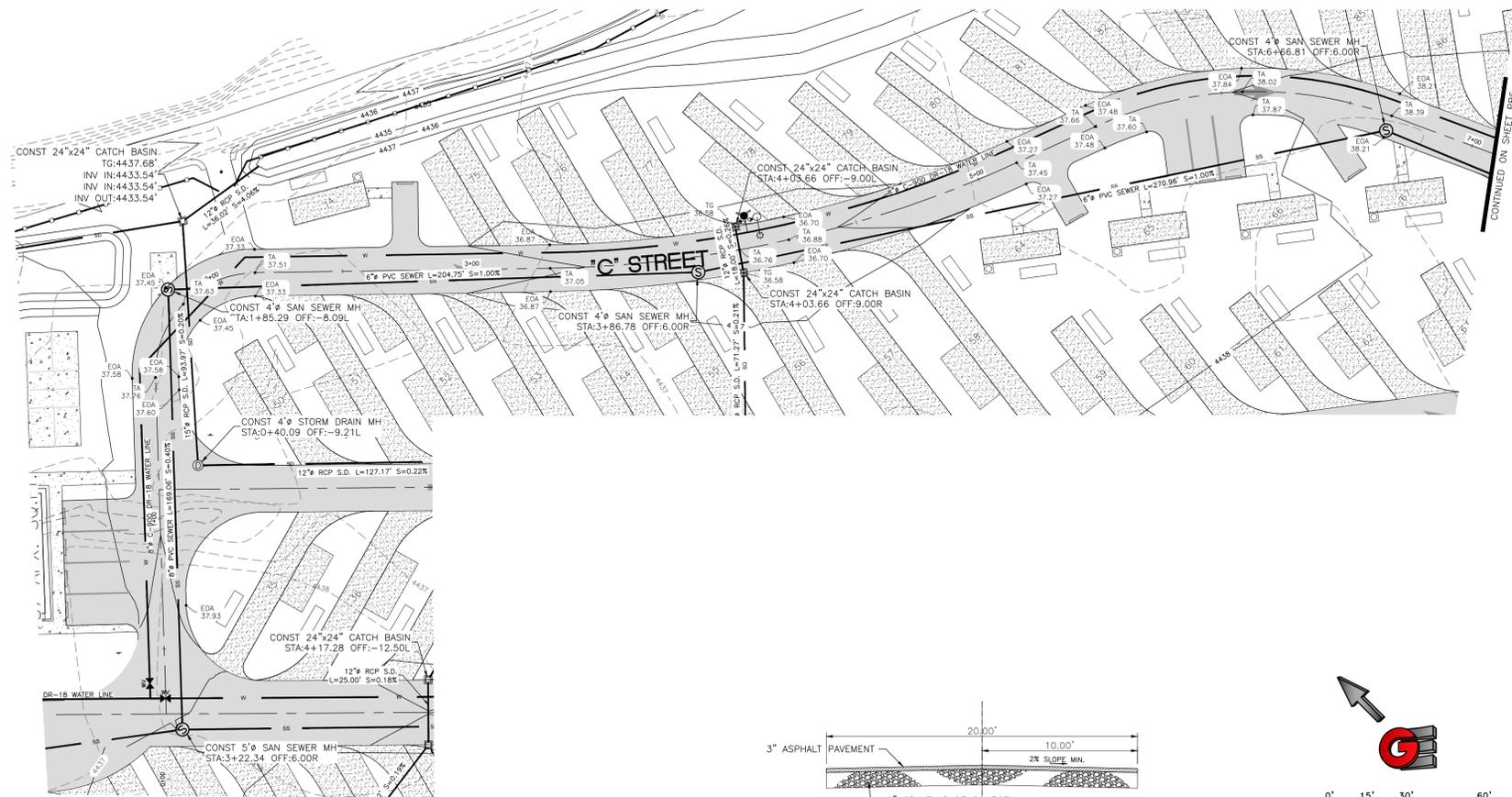
DATE	11-12-2019
DESIGN	BSD
DRAWN	BSD
CHECKED	TUN

REVISIONS	DESCRIPTION
DATE	



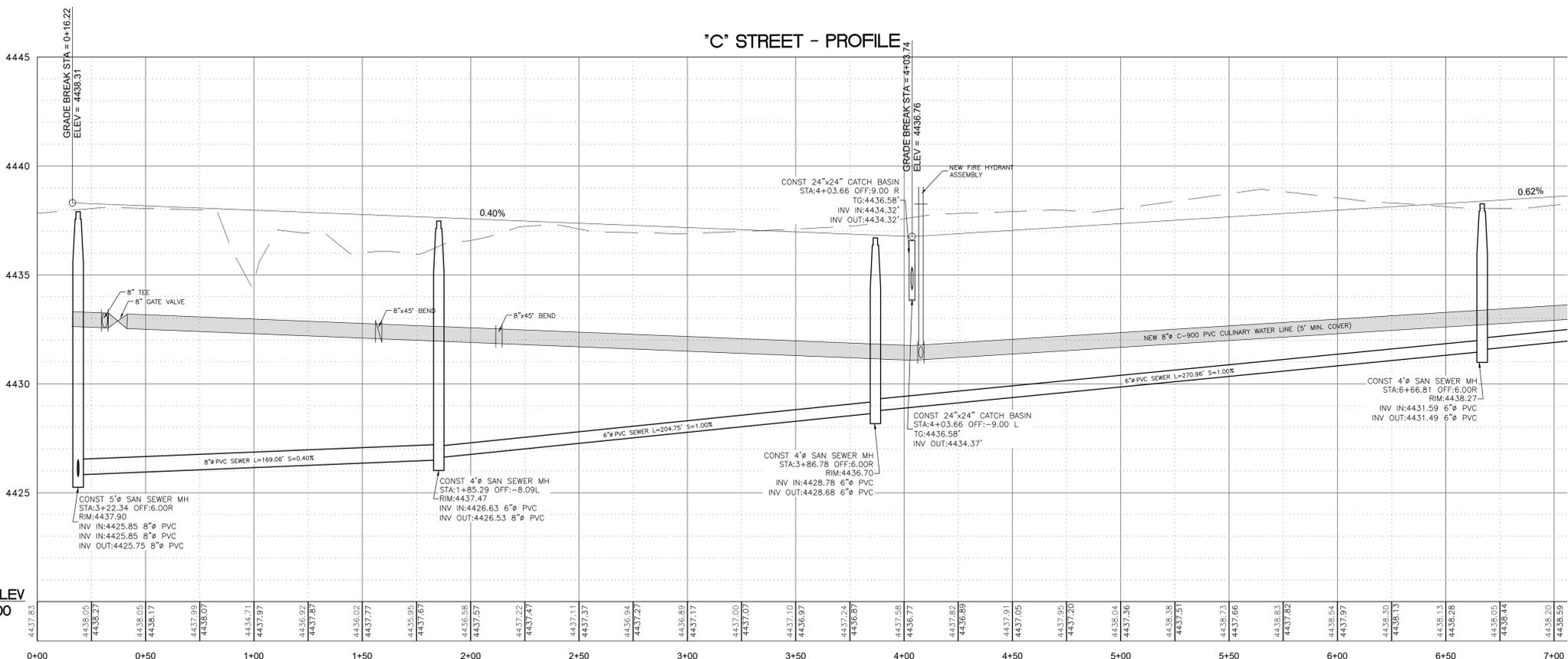
B STREET - PLAN AND PROFILE
RIVERSIDE R.V. PARK
851 COTTONWOOD DRIVE
SOUTH WEBER, DAVIS COUNTY, UTAH

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LEGEND
(NOTE: ALL LINES OR SYMBOLS MAY NOT APPEAR ON EACH SHEET)

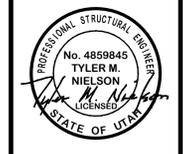
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	PUBLIC UTILITY AND DRAINAGE EASEMENT
	RIDGE LINE
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	LIGHT POLE AND BASE



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DATE	11-12-2019
DESIGN	BSD
DRAWN	BSD
CHECKED	TUN

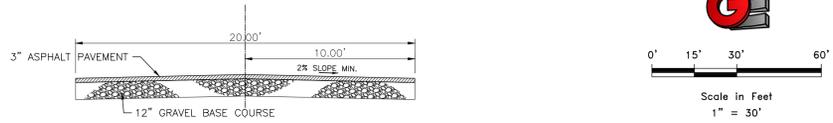
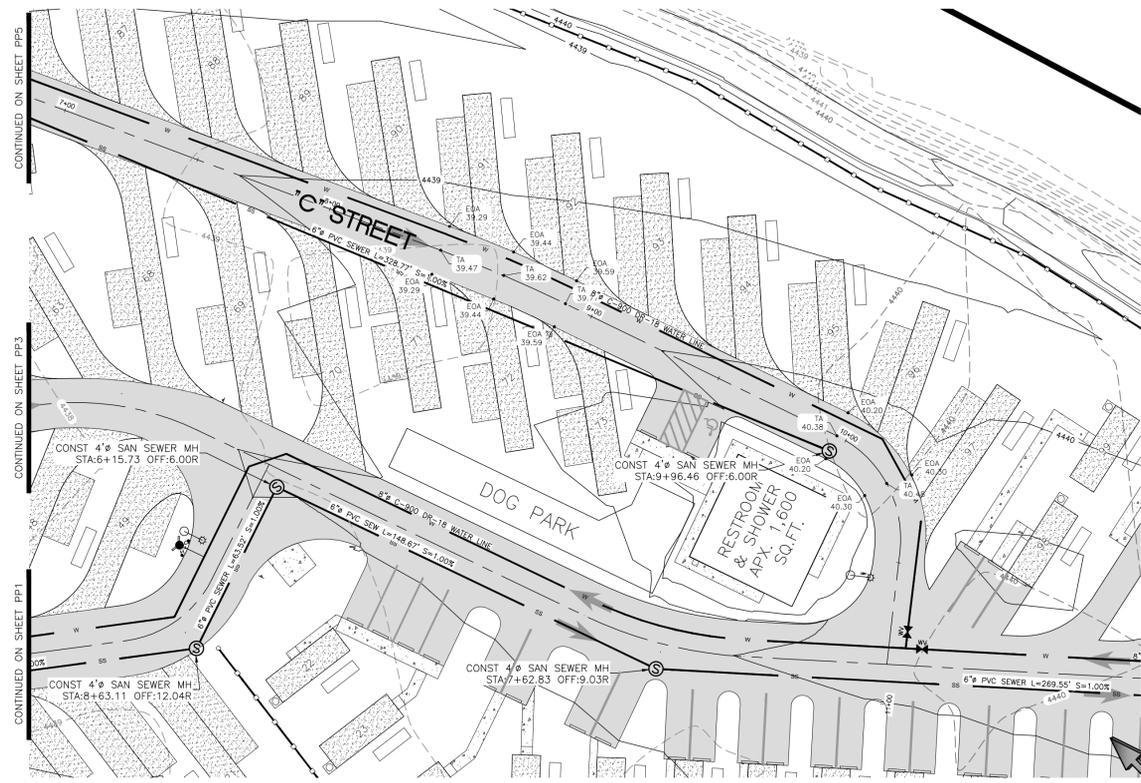
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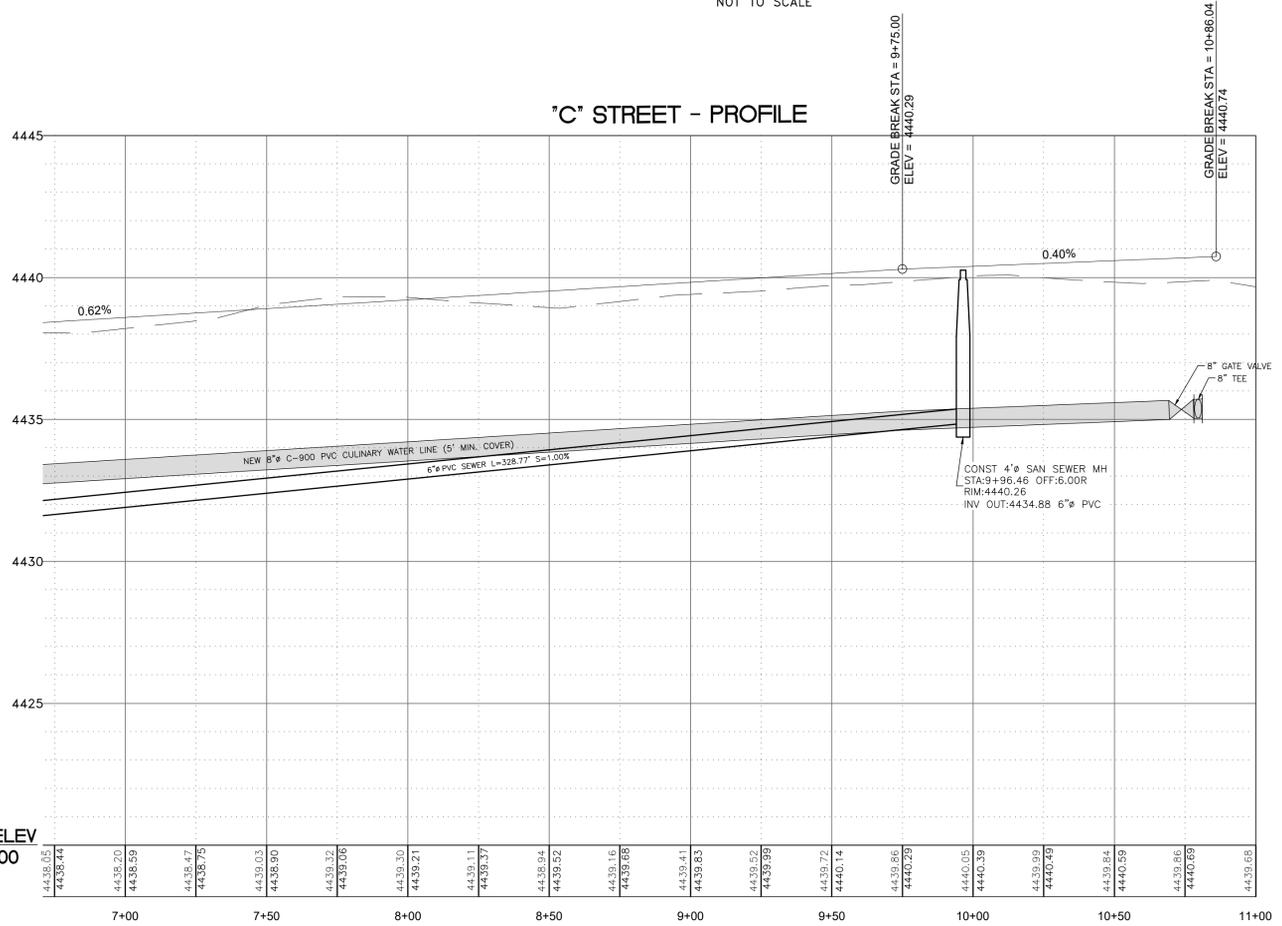
C STREET - PLAN AND PROFILE
RIVERSIDE R.V. PARK
851 COTTONWOOD DRIVE
SOUTH WEBER, DAVIS COUNTY, UTAH

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20' WIDE ROAD SECTION
NOT TO SCALE



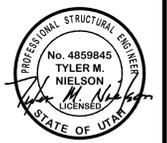
LEGEND
(NOTE: ALL LINES OR SYMBOLS MAY NOT APPEAR ON EACH SHEET)

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SCALE: 1" = 30'

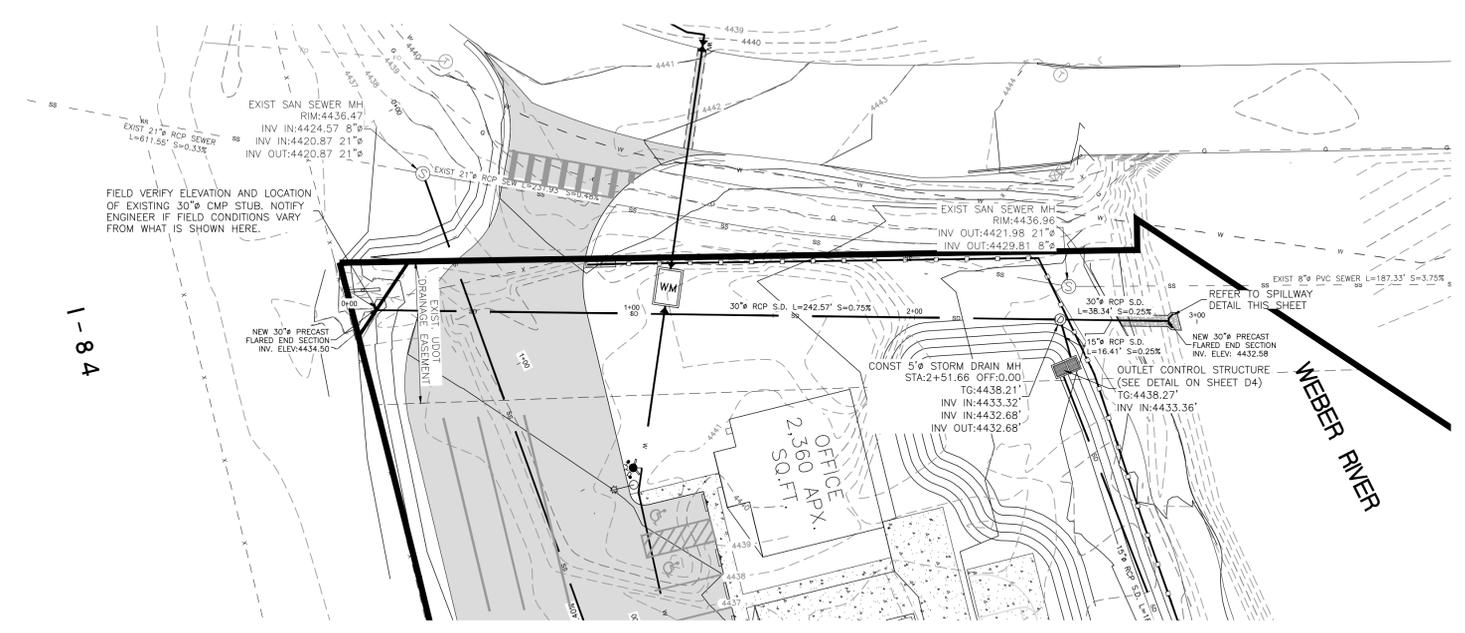
DATE	11-12-2019
DESIGN	BSD
DRAWN	BSD
CHECKED	TJM

REVISIONS	DESCRIPTION
DATE	

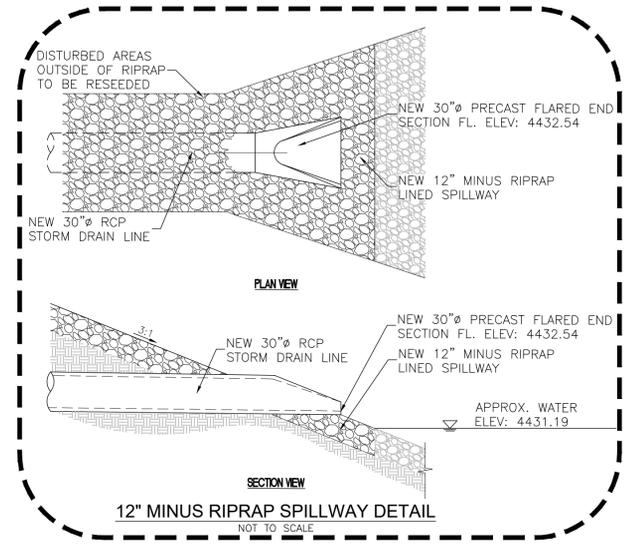


C STREET - PLAN AND PROFILE
RIVERSIDE R.V. PARK
851 COTTONWOOD DRIVE
SOUTH WEBER, DAVIS COUNTY, UTAH

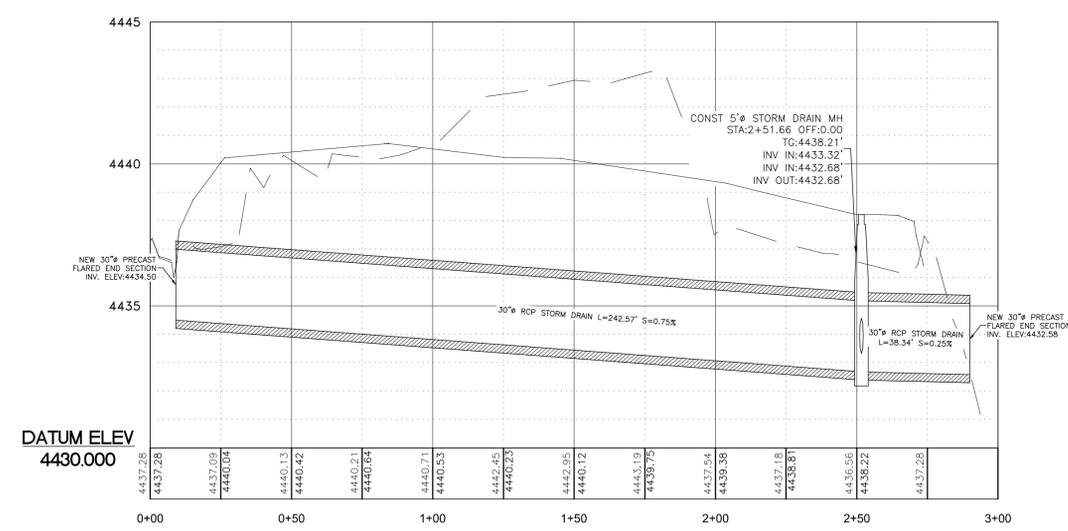
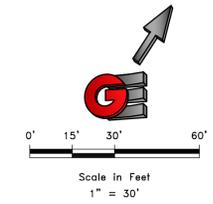
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OFFICE: 801.476.0202 FAX: 801.476.0066



1-84



- GENERAL NOTES:**
1. Best management practices should be implemented and maintained during any streamside or instream work to minimize sedimentation, temporary erosion of stream banks and needless damage or alteration to the streambed.
 2. Disturbed areas must be replanted with appropriate vegetation to help hold the soil around riprap and prevent excessive erosion.
 3. Excavated material and construction debris may not be wasted in any stream channel or placed in flowing waters; this will include material such as grease, oil, joint coating, or any other possible pollutant. Excess materials must be stored on upland site well away from any channel. Construction materials, bedding material, excavated material, etc. may not be stockpiled in channel areas.
 4. Erosion control, revegetation, and noxious weed control must be implemented and monitored until revegetation becomes well established. This is important for all disturbed areas, including fill, in order to prevent sediments from entering flowing water. Particular attention is required to assure that silt fencing is properly installed and left in place until after revegetation becomes established at which time the silt fence can be removed.
 5. Work must be accomplished during a period of low flow. Sediment introduced into stream flows during construction must be controlled to prevent increases in turbidity downstream. Flows must be diverted away from the construction area using a nonerodible catwalk or other means of bypass.
 6. Machinery must be properly cleaned and fueled offsite.
 7. Riprap must consist of only clean, properly sized angular rock, which must be keyed deeply into the streambed to prevent undercutting. A filter must be placed behind if necessary. Demolition debris or refuse will not be allowed, nor material such as bricks, concrete, asphaltic material.
 8. Disturbed areas must be planted with naturally occurring vegetation. Plantings shall be protected from grazing animals by fencing.



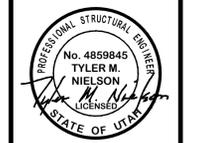
LEGEND
(NOTE: ALL LINES OR SYMBOLS MAY NOT APPEAR ON EACH SHEET)

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	STORM DRAIN INLET BOX
	SANITARY SEWER PIPE
	SANITARY SEWER LATERAL
	SANITARY SEWER MANHOLE
	LIGHT POLE AND BASE

SCALE: 1" = 30'

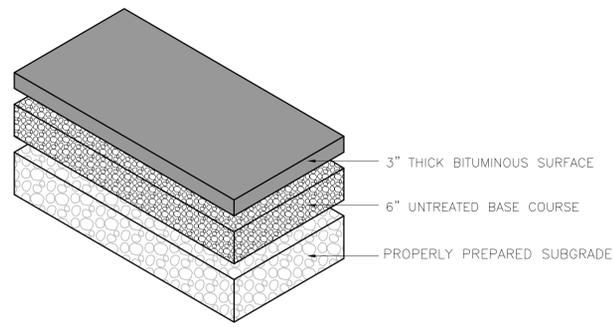
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DESIGN	BSD
DRAWN	BSD
CHECKED	TUN

REVISIONS	DESCRIPTION
DATE	

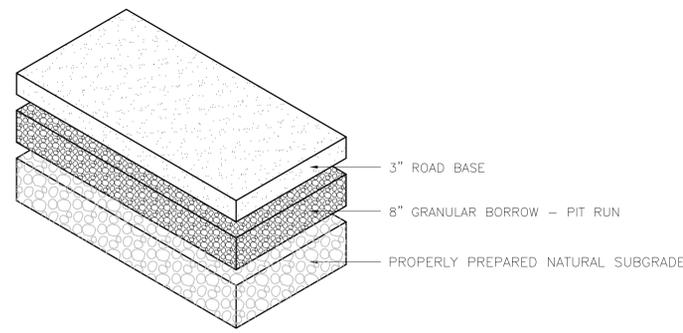


STORM DRAIN - PLAN AND PROFILE
RIVERSIDE R.V. PARK
851 COTTONWOOD DRIVE
SOUTH WEBER, DAVIS COUNTY, UTAH

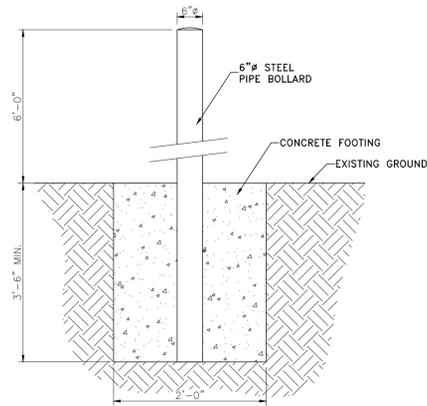
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5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801.476.0202 FAX: 801.476.0066



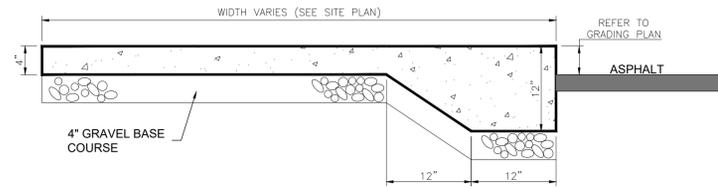
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Scale: (NOT TO SCALE)



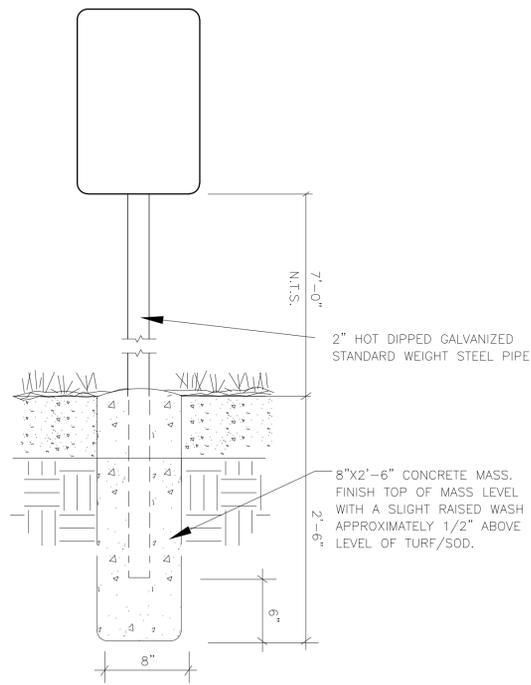
2 TYPICAL GRAVEL PAD SECTION
Scale: (NOT TO SCALE)



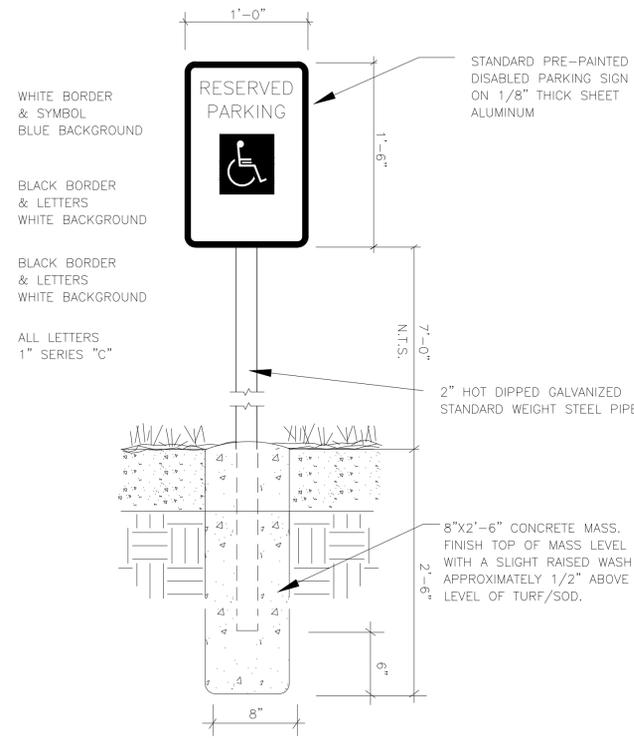
3 6" PIPE BOLLARD DETAIL
Scale: (NOT TO SCALE)



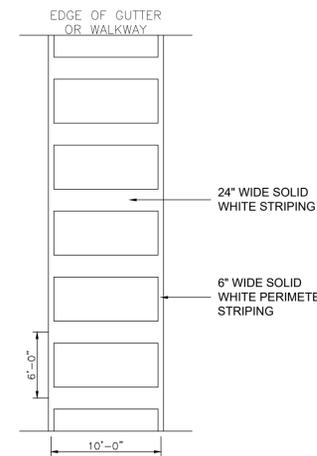
4 THICKENED EDGE WALK
Scale: (NOT TO SCALE)



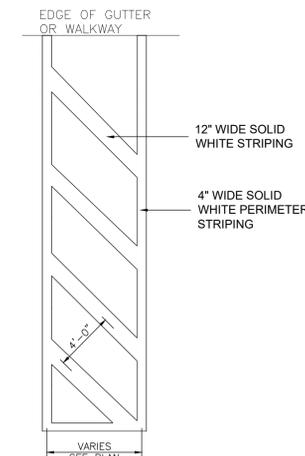
6 MISC. SIGN POST DETAIL
Scale: (NOT TO SCALE)



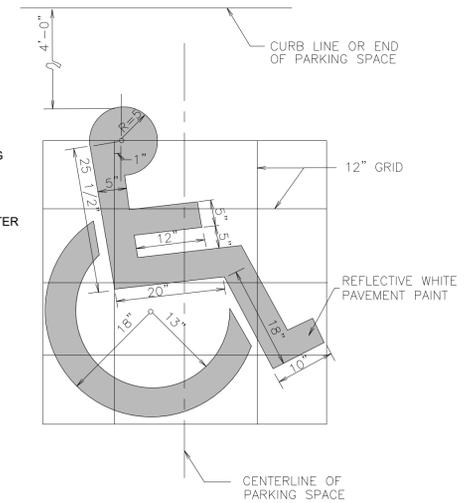
7 ADA PARKING SIGN DETAIL
Scale: (NOT TO SCALE)



8 CROSSWALK STRIPING
Scale: (NOT TO SCALE)

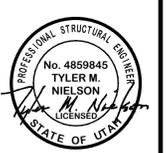


9 NO PARKING STRIPING
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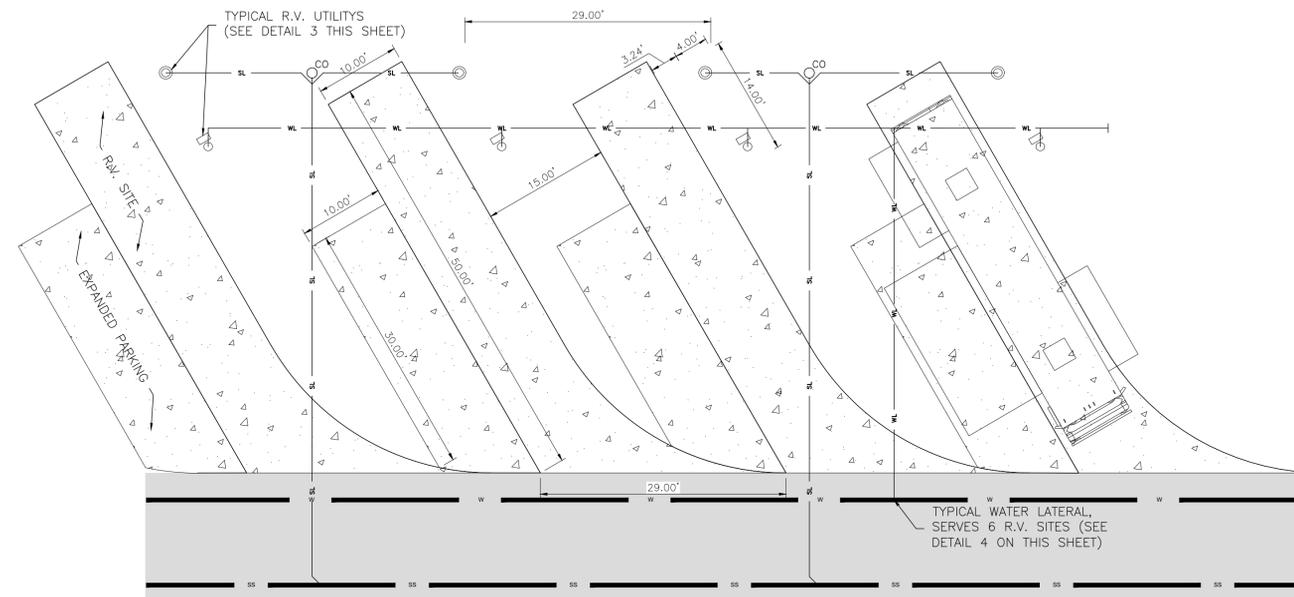
10 ADA PARKING SYMBOL
Scale: (NOT TO SCALE)

SCALE: (AS NOTED)	DATE: 11-12-2019
DESIGN: BSD	DRAWN: BSD
CHECKED: TMN	DWG: R17328 - WHEEL, WALK, DESIGN, P.V. PARK - CDS.DWG



TYPICAL SITE DETAILS
RIVERSIDE R.V. PARK
851 COTTONWOOD DRIVE
SOUTH WEBER, DAVIS COUNTY, UTAH

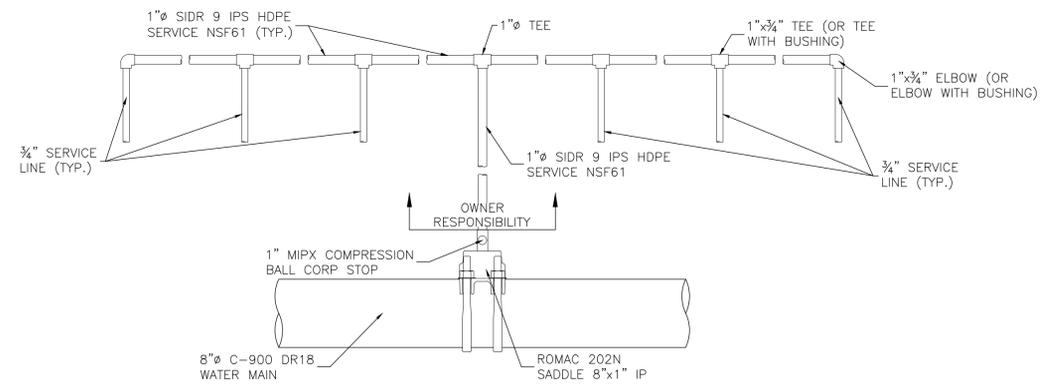
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2 TYPICAL R.V. SITE UTILITY SERVICE LATERAL DETAIL
Scale: (NOT TO SCALE)

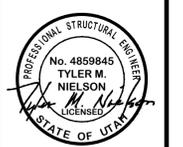


3 TYPICAL R.V. SITE UTILITY DETAIL
Scale: (NOT TO SCALE)



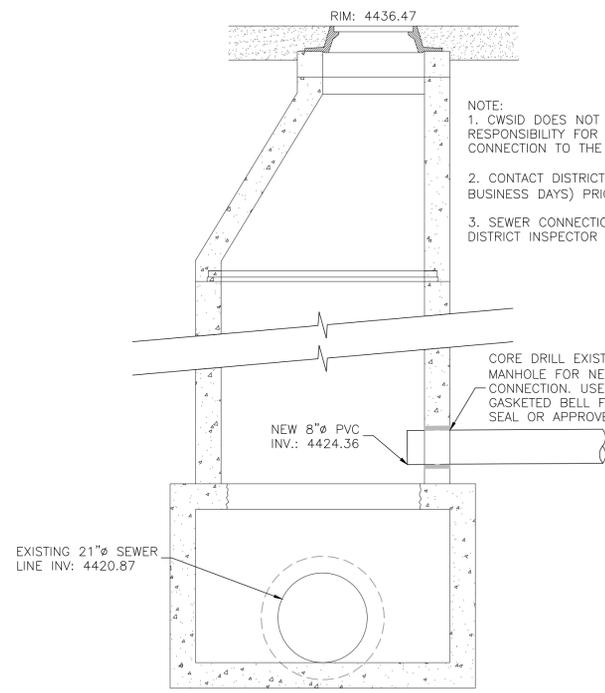
4 TYPICAL R.V. SITE WATER SERVICE LATERAL DETAIL
Scale: (NOT TO SCALE)

SCALE (AS NOTED)	
DATE	11-12-2019
DESIGN	BSD
DRAWN	BSD
CHECKED	TJM
DWG: R17228 - WHEEL, MCKAY DESIGN/DWG R.V. PARK - CDS/DWG	



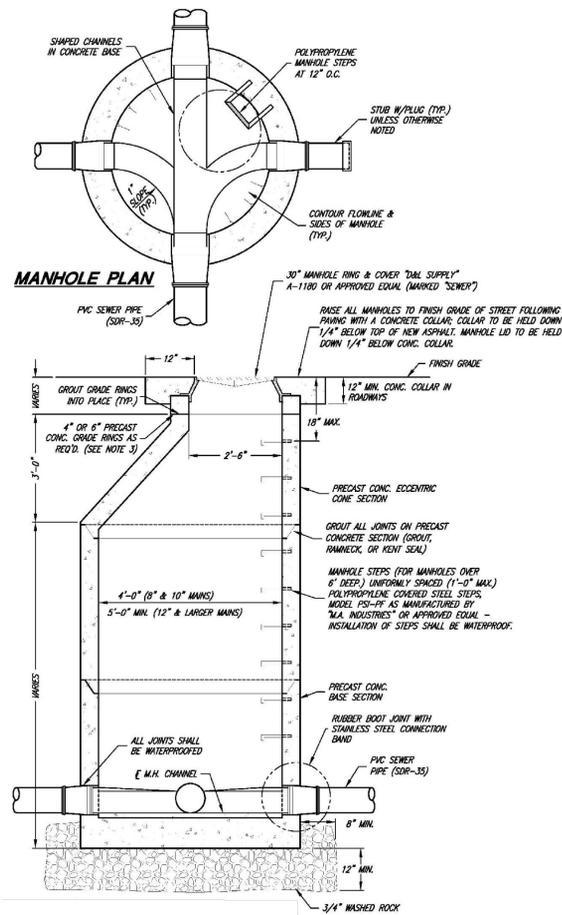
TYPICAL SITE DETAILS
RIVERSIDE R.V. PARK
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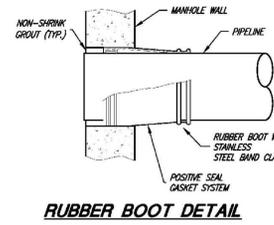
1 EXISTING SEWER MANHOLE CONNECTION DETAIL

Scale: (NOT TO SCALE)



2 TYPICAL SEWER MANHOLE DETAIL

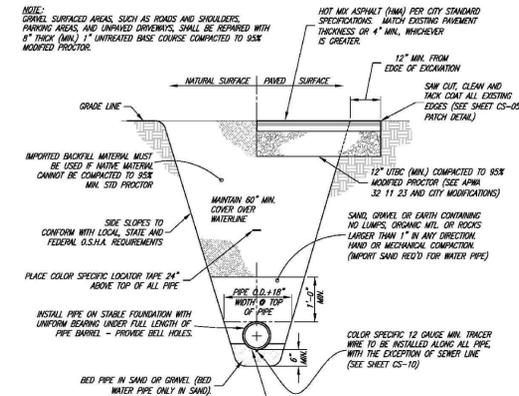
Scale: (NOT TO SCALE)



RUBBER BOOT DETAIL

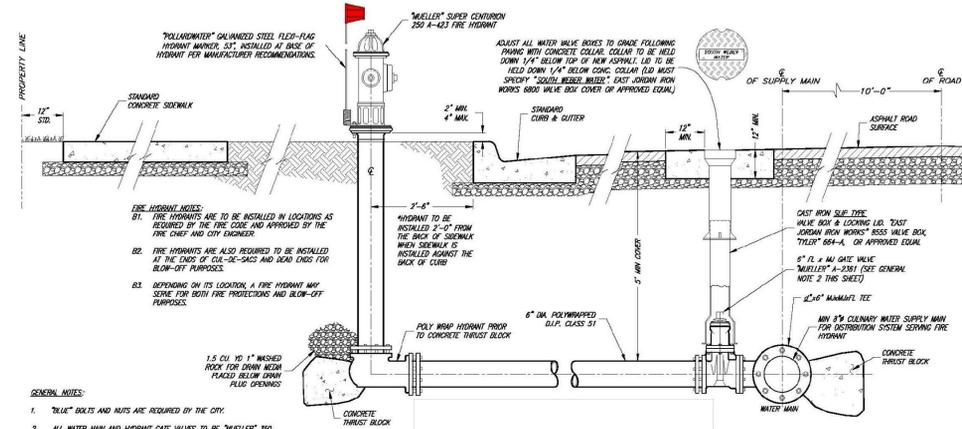
GENERAL NOTES:

1. SECURE INVERTS IN ALL MANHOLES DURING CONSTRUCTION SO AS TO PREVENT GRAVEL AND OTHER DEBRIS FROM COLLECTING INSIDE.
2. A LARGER DIAMETER MANHOLE MAY BE REQUIRED BY THE DESIGN ENGINEER AFTER EVALUATION OF THE NUMBER, SIZE, AND ANGLE OF THE PIPES THAT CONNECT TO THE MANHOLE.
3. NO MORE THAN 12" OF GRADE RISES TO BE ALLOWED ON ANY MANHOLE.
4. ALL TERMINATING SEWER MAINS SHALL END WITH A CITY STANDARD MANHOLE.
5. SERVICE LATERAL CONNECTIONS SHALL NOT BE ALLOWED IN SEWER MANHOLES.
6. ALL SANITARY SEWER LINES SHALL BE INSPECTED BY MEANS OF VIDEO CAMERA AND AIR TESTED WHEN CONSTRUCTED. SEE APWA 33 OR 60 AND CITY MODIFICATIONS FOR MORE INFORMATION.
7. FIBER MESH SHALL BE ADDED TO ALL CONCRETE COLLARS ON VALVES AND MANHOLES.
8. WHERE THE DIFFERENCE IN ELEVATION BETWEEN THE INCOMING SEWER AND MANHOLE INVERT IS LESS THAN 24 INCHES, THE INVERT SHOULD BE FILLETED.



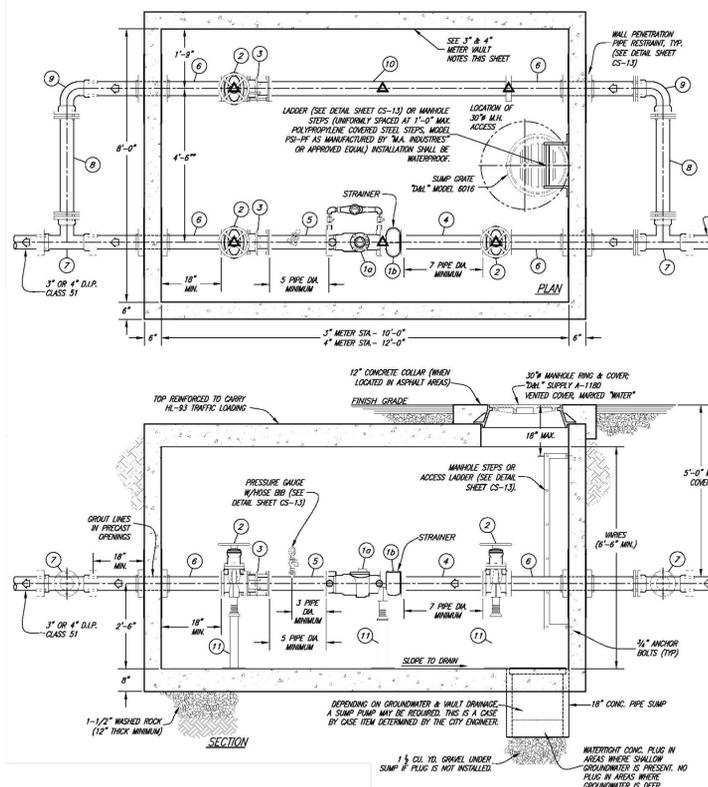
3 TYPICAL TRENCH SECTION

Scale: (NOT TO SCALE)



4 TYPICAL FIRE HYDRANT DETAIL

Scale: (NOT TO SCALE)



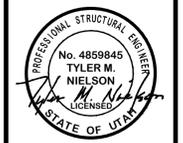
5 4" WATER METER DETAIL

Scale: (NOT TO SCALE)

PIPE & FITTING SCHEDULE			
NO.	DESCRIPTION	JOINT TYPE	LINE LINE
10	"WELLES" SUPER CENTURION 250 A-423 FIRE HYDRANT	FL	3" 4"
11	"WELLES" RESIDENT WIDE GATE VALVE	FL	3" 4"
12	"WELLES" INTERMEDIATE HALF-ET METER	FL	1 1/2" 2"
13	"WELLES" 8-2433-2 METER YOMC (18" RISER)	FL	1 1/2" 2"
14	"WELLES" 110 COMPRESSION COUPLING	FL	1 1/2" 2"

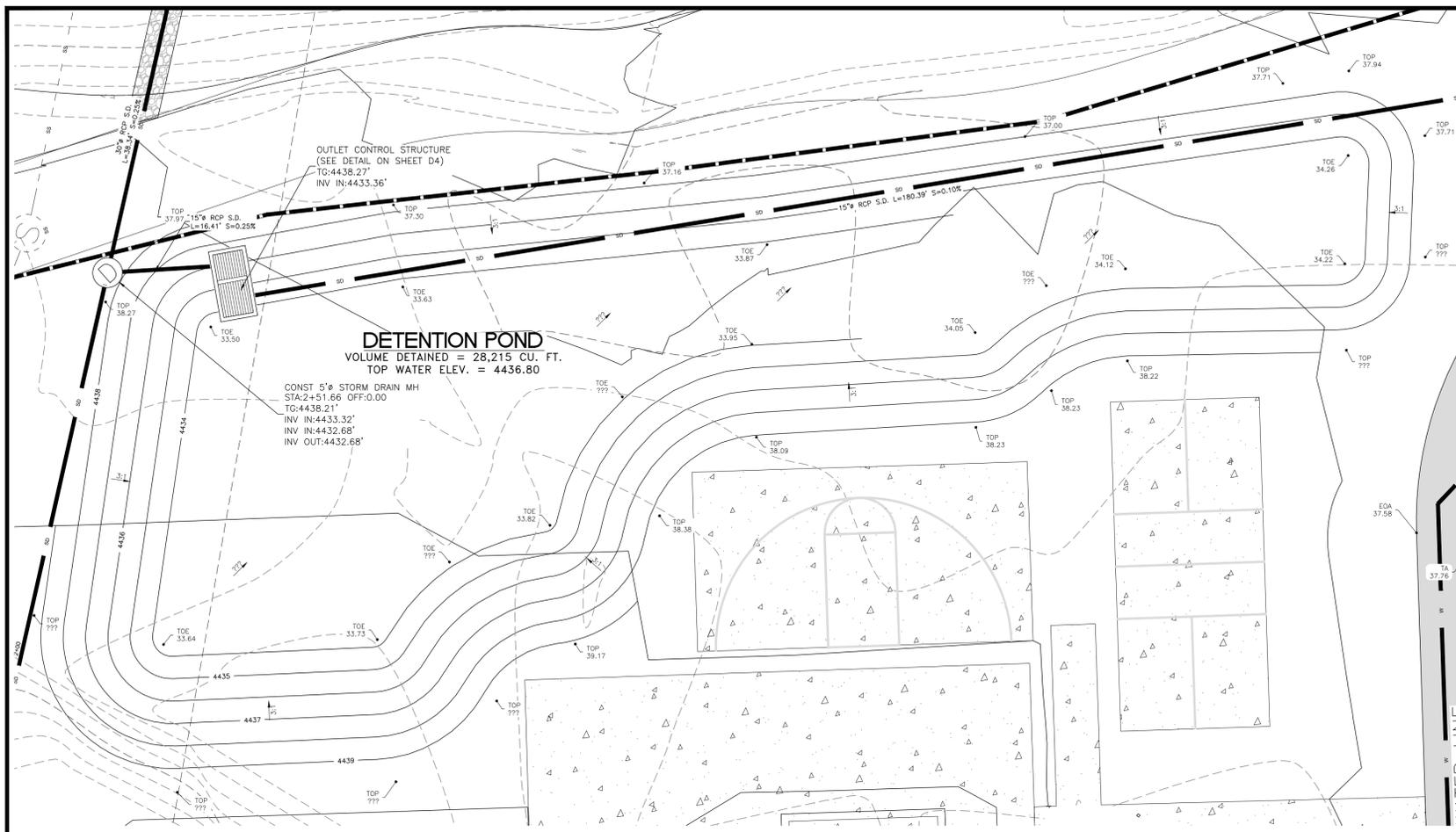
- 3" & 4" METER VAULT NOTES:
1. ALL FITTINGS OUTSIDE OF THE VAULT ARE TO BE DUCTILE IRON OR WITH THRUST RESTRAINT RESTRAINER GLANDS (TROMAC, MARG, OR APPROVED EQUAL).
 2. PENETRATION WALLS NEED TO BE ADEQUATELY DESIGNED STRUCTURALLY FOR ANTICIPATED THRUST.
 3. THE PRECAST VAULT MANUFACTURER IS RESPONSIBLE FOR DESIGN RELATED TO THRUST LOADING AND THRUST VERIFICATION OF PROPOSED DESIGN MUST BE PROVIDED TO THE CITY BY THE DEVELOPER, CONTRACTOR, OR PROPERTY OWNER AS THE CASE MAY BE.
 4. ALL FITTINGS SHALL BE APWA C-110 WITH 125 LB. FLANGES. ALL PIPING SHALL BE DUCTILE IRON PIPE CLASS 300 P.S.I. MIN.
- GENERAL NOTES:
1. PROPERTY OWNER OR CONTRACTOR SHALL PAY FOR ALL COSTS OF INSTALLATION INCLUDING ALL MATERIALS, ALL EXCAVATION AND FILL, ASPHALT REPLACEMENT AND WATER MAIN CONNECTION.
 2. INSPECTION OF ALL WATER LINE INSTALLATIONS WILL BE DONE BY THE CITY WATER DEPARTMENT WITH A 48 HOUR MINIMUM NOTICE REQUIRED PRIOR TO START OF WORK.
 3. IF APPLICABLE, A CITY EXCAVATION PERMIT MUST BE REQUESTED AND APPROVED PRIOR TO START OF WORK.
 4. "TIE" BOLTS AND NUTS ARE REQUIRED BY THE CITY.
 5. FIBER MESH SHALL BE ADDED TO ALL CONCRETE COLLARS ON VALVES AND MANHOLES.

REVISIONS	DESCRIPTION
DATE	



TYPICAL UTILITY DETAILS
 RIVERSIDE R.V. PARK
 851 COTTONWOOD DRIVE
 SOUTH WEBER, DAVIS COUNTY, UTAH

GARDNER ENGINEERING
 CIVIL-LAND PLANNING
 MUNICIPAL-LAND SURVEYING
 5150 SOUTH 375 EAST OGDEN, UT
 OFFICE: 801-476-0202 FAX: 801-476-0066



Riverside R.V. Park
 South Weber, Davis County, Utah



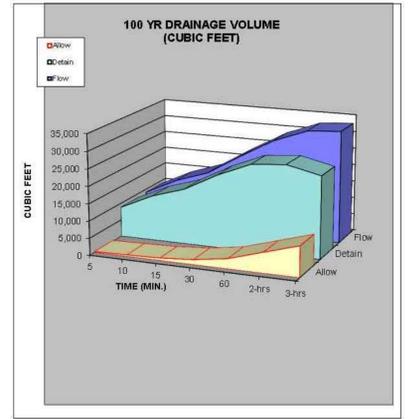
Areas	Sq. Ft.	Acre	C
Hard Surface	185,660	4.2622	0.85
Landscape	174,785	4.0125	0.15
Total/Weighted	360,445	8.2746	0.51

Allow Release Rate (cfs/acre) **0.100**
 Q Allowable (cfs) **0.83**

100yr

MIN	Runoff Vol (cf)	Inch / Hr	Total Vol (cf)	100 YEAR	Detain Vol (cf)
5	248	7.13	9,037	8,788	
10	496	5.42	13,739	13,242	
15	745	4.48	17,034	16,289	
30	1,489	3.01	22,889	21,400	
60	2,979	1.87	28,441	25,462	
120	5,958	1.06	32,243	26,285	
180	8,937	0.723	32,988	24,052	
360	17,873	0.4	36,501	18,628	
720	35,746	0.246	44,897	9,150	
1440	49,642	0.136	49,642	0	

NOAA Data

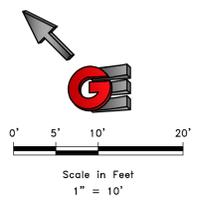
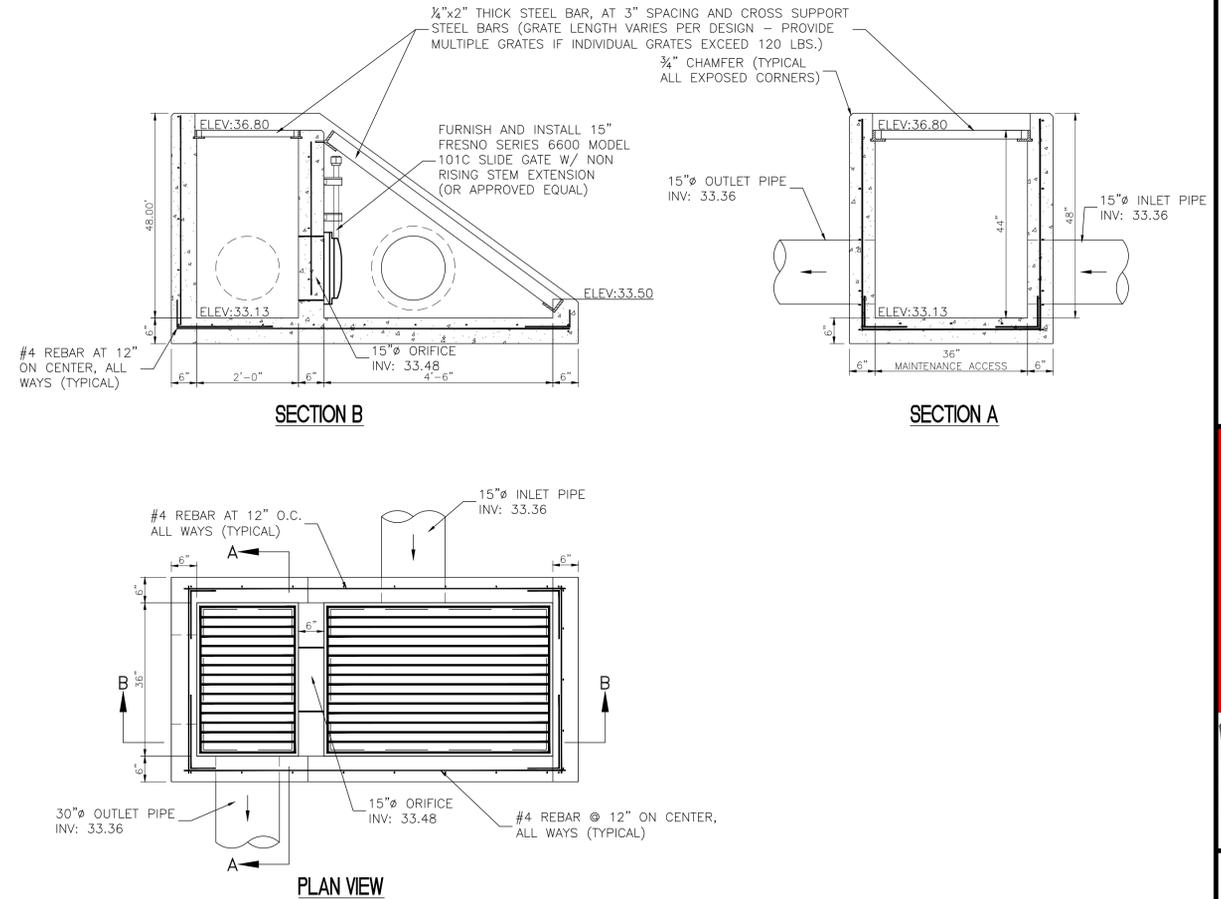


	CUBIC FEET	CUBIC YARDS
100 YEAR STORM RECOMMENDED MIN. VOLUME DETAINED	26,285	974

Orifice Calculation

H = 3.3 Maximum water height (ft)
 Q = 0.83 Flowrate out of orifice (cfs)
 Cc = 0.52 Coefficient of Contraction
 Cv = 0.98 Coefficient of Velocity
 Area = 0.093 Orifice Area (ft²)
 II = 3.14
 g = 32.17 Gravitational Constant
 d = 4.14 Orifice Diameter (in)

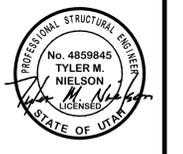
- LEGEND**
 (NOTE: ALL LINES OR SYMBOLS MAY NOT APPEAR ON EACH SHEET)
- BOUNDARY LINE
 - CENTERLINE
 - PUBLIC UTILITY AND DRAINAGE EASEMENT
 - RIDGE LINE
 - NEW DRAINAGE SWALE / DITCH
 - EXISTING 5' CONTOUR AND ELEVATION
 - EXISTING 1' CONTOUR AND ELEVATION
 - DESIGN CONTOUR AND ELEVATION
 - ASPHALT PAVING
 - CONCRETE FLATWORK
 - CULINARY WATERLINE
 - CULINARY WATER LATERAL
 - NEW FIRE HYDRANT
 - WM WATER METER
 - WATER VALVE
 - STORM DRAIN LINE
 - STORM DRAIN MANHOLE
 - STORM DRAIN CATCH BASIN/INLET SUMP
 - STORM DRAIN INLET BOX
 - SANITARY SEWER PIPE
 - SANITARY SEWER LATERAL
 - SANITARY SEWER MANHOLE
 - LIGHT POLE AND BASE



SCALE: 1" = 10'

REVISIONS	DESCRIPTION
DATE	11-12-2019
DESIGN	BSD
DRAWN	BSD
CHECKED	TUN

DATE	DESCRIPTION



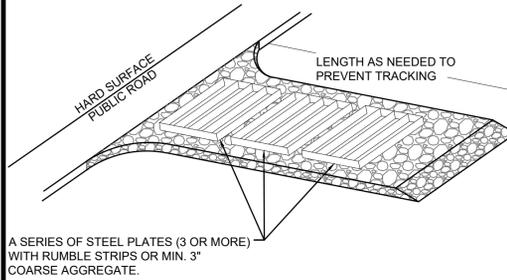
DETENTION POND AND DETAILS
RIVERSIDE R.V. PARK
851 COTTONWOOD DRIVE
SOUTH WEBER, DAVIS COUNTY, UTAH

GARDNER ENGINEERING
 CIVIL • LAND PLANNING
 MUNICIPAL • LAND SURVEYING
 5150 SOUTH 375 EAST OGDEN, UT
 OFFICE: 801.476.0202 FAX: 801.476.0066

OUTLET CONTROL STRUCTURE DETAIL
 NOT TO SCALE

EROSION CONTROL NOTES:

1. SANDBAGS WILL BE PLACED AT DISCHARGE LOCATIONS TO CONTAIN AND DIVERT STORM WATER THROUGH THE INLET PROTECTION.
2. AN EARTHEN BERM 6" HIGH WILL BE CONSTRUCTED TO CONTAIN THE STORM WATER AND DIVERT IT TO DISCHARGE AREAS.
3. STORM WATER WILL BE DISCHARGED INTO AN EXISTING DRAINAGE SYSTEM. EXISTING LINES SHALL BE INSPECTED PRIOR TO CERTIFICATE OF OCCUPANCY AND CLEANED IF NECESSARY.
4. THE STORM WATER POLLUTION PREVENTION PLAN SHALL CONFORM TO ALL STATE DIVISION OF ENVIRONMENTAL PROTECTION REGULATIONS.



ENTRANCE STABILIZATION NOTES:

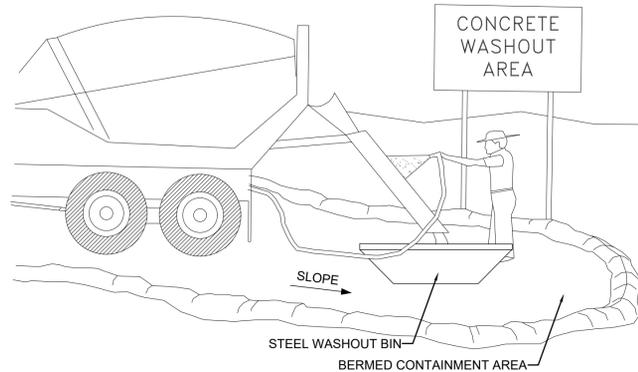
1. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE STORM DRAIN SYSTEMS. DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM.
2. STABILIZED CONSTRUCTION ENTRANCE SHALL BE:
 - a. LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY AND SIDEWALK OR PARKING AREA.
 - b. A SERIES OF STEEL PLATES WITH "RUMBLE STRIPS", AND/OR MIN. 3" COARSE AGGREGATE WITH LENGTH, WIDTH AND THICKNESS AS NEEDED TO ADEQUATELY PREVENT ANY TRACKING ONTO PAVED SURFACES.
3. ADDING A WASH RACK WITH A SEDIMENT TRAP LARGE ENOUGH TO COLLECT ALL WASH WATER CAN GREATLY IMPROVE EFFICIENCY.
4. ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE SITES.

STREET MAINTENANCE NOTES:

1. REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY.
2. SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
3. PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM.

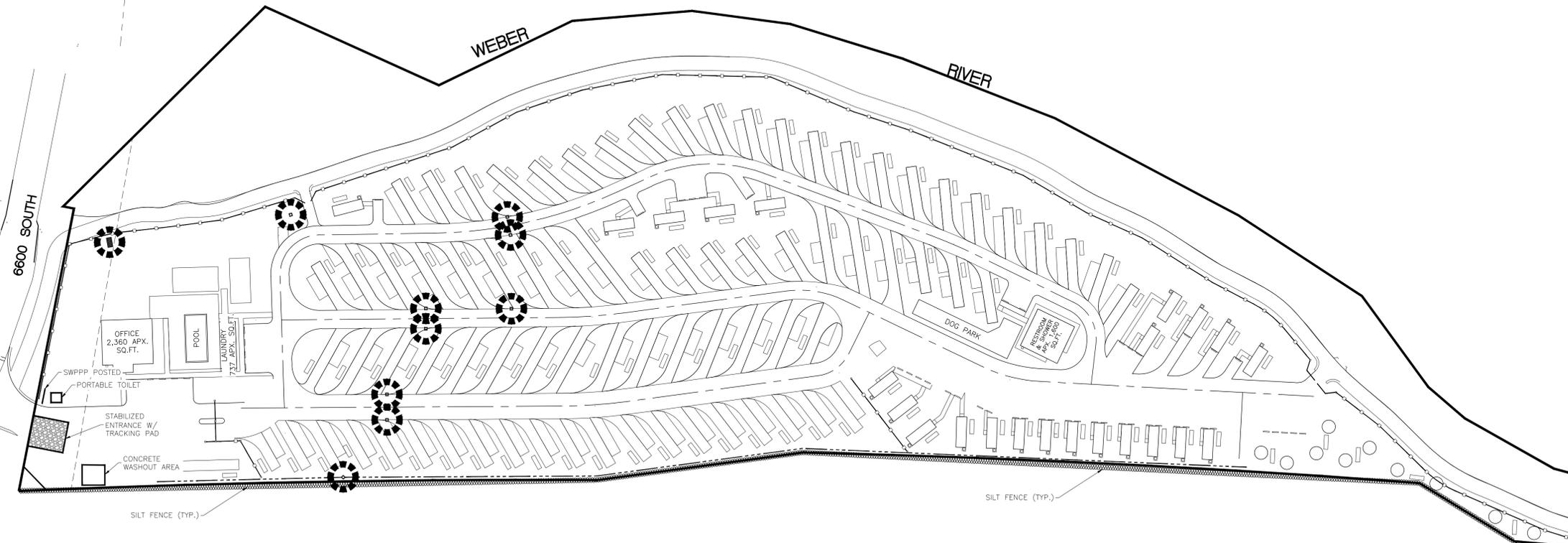
NOTE:

CONTRACTOR SHALL COMPLETE AND SUBMIT A STATE NOTICE OF INTENT (NOI) AND A STORM WATER POLLUTION PREVENTION PLAN BOOKLET

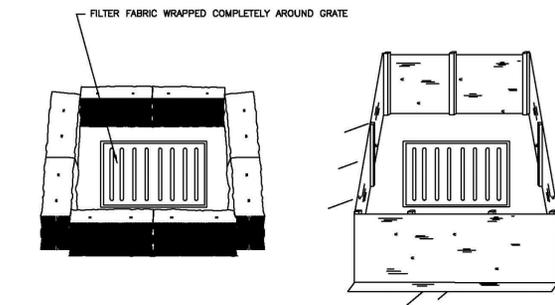


NOTES:

1. EXCESS AND WASTE CONCRETE SHALL BE DISPOSED OF OFF SITE OR AT DESIGNATED AREAS ONLY.
2. EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
3. FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS ONSITE, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED.
4. ONSITE CONCRETE WASHOUT CONTAINMENT FACILITY SHALL BE A STEEL BIN OR APPROVED ALTERNATE.
5. SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP AND DISPOSED OF PROPERLY.

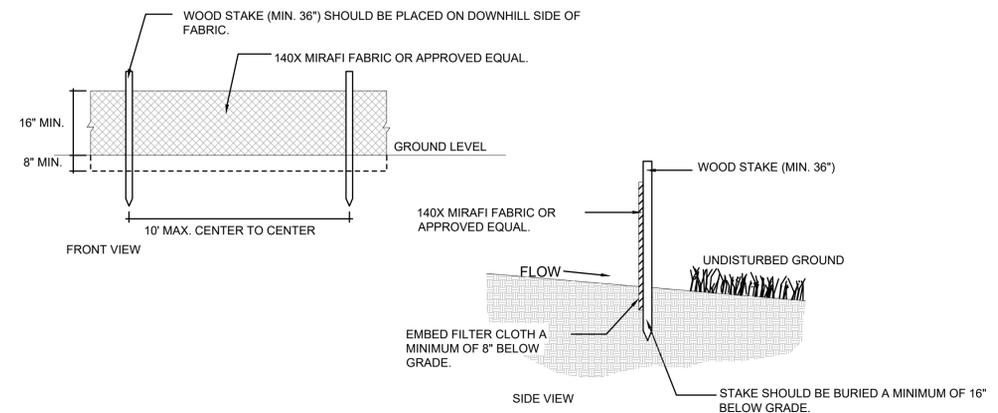


I - 8 4



THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION AND SHOULD BE MODIFIED AS NEEDED.

1 INLET PROTECTION - STRAW BALES OR SILT FENCE
Scale: NTS



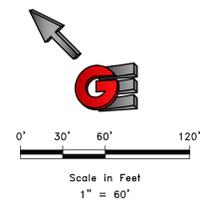
2 SILT FENCE
Scale: NTS

LEGEND

- INLET PROTECTION (EITHER OPTION)
- SILT FENCE

DEVELOPER:

F.M. WINKEL FAMILY LLC
MCKAY WINKEL
3651 NORTH 100 EAST #125
PROVO, UT 84604
(801) 310-3948



SCALE: 1" = 60'	DATE: 11-12-2019	DESIGN: BSD	DRAWN: BSD	CHECKED: TIM
REVISIONS	DATE	DESCRIPTION		
DWG.: R1-2328 - WINKEL, MCKAY DESIGN/OWNER: PARK - CDS/DWG				

STORM WATER POLLUTION PREVENTION PLAN

RIVERSIDE R.V. PARK

851 COTTONWOOD DRIVE

SOUTH WEBER, DAVIS COUNTY, UTAH

GARDNER ENGINEERING
CIVIL-LAND PLANNING
MUNICIPAL-LAND SURVEYING
5150 SOUTH 375 EAST OGDEN, UT
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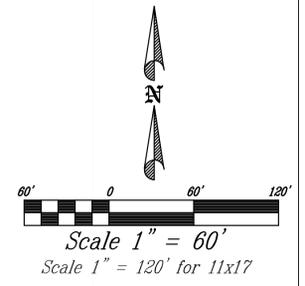
SWP



PLANT SCHEDULE

TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	11	American Hornbeam / <i>Carpinus caroliniana</i>	B&B	2"	Cal
	25	Autumn Blaze Maple / <i>Acer freemanii</i> 'Autumn Blaze'	B&B	2"	Cal
	10	Emerald Queen Maple / <i>Acer platanoides</i> 'Emerald Queen'	B&B	2"	Cal
	13	Maidenhair Tree / <i>Ginkgo biloba</i> 'Autumn Gold'™	B&B		
	13	River Birch / <i>Betula nigra</i>	B&B	2"	Cal
	10	Shademaster Locust / <i>Gleditsia triacanthos inermis</i> 'Shademaster'™	B&B	2"	Cal
EVERGREEN TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	12	Austrian Pine / <i>Pinus nigra</i>	B&B		8-10'
	8	Emerald Green Arborvitae / <i>Thuja occidentalis</i> 'Smaragd'	B&B		6'
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	90	Black Lace Elderberry / <i>Sambucus nigra</i> 'Black Lace'	5 gal		
	56	Blue Mist Shrub / <i>Caryopteris x clandonensis</i> 'Dark Knight'	5 gal		
	32	Creeping Mahonia / <i>Mahonia repens</i>	5 gal		
	16	Dwarf Korean Lilac / <i>Syringa meyeri</i> 'Palbin'	5 gal		
	52	Dwarf Variegated Dogwood / <i>Cornus alba</i> 'Variegata'	5 gal		
	106	Fine Line Buchthorn / <i>Rhamnus frangula</i> 'Fine Line'	5 gal		
	84	Gro-Low Fragrant Sumac / <i>Rhus aromatica</i> 'Gro-Low'	5 gal		
	62	Japanese Spirea / <i>Spiraea japonica</i> 'Anthony Waterer'	5 gal		
	61	Mugo Pine / <i>Pinus mugo</i> 'Slowmound'	5 gal		
	91	Northern Gold Forsythia / <i>Forsythia x 'Northern Gold'</i>	5 gal		
	53	Purple Leaf Sand Cherry / <i>Prunus x cistena</i>	5 gal		
	46	Red Leaf Japanese Barberry / <i>Berberis thunbergii</i> 'Atropurpurea'	5 gal		
	59	Spirea / <i>Spiraea japonica</i> 'Goldmound'	5 gal		
ANNUALS/PERENNIALS	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	167	Emerald Blue Moss Phlox / <i>Phlox subulata</i> 'Emerald Blue'	1 gal		
	153	Stella de Oro Daylily / <i>Hemerocallis x 'Stella de Oro'</i>	1 gal		
	170	Stonecrop / <i>Sedum spurium</i> 'Red Carpet'	1 gal		
	137	Variegated Goutweed / <i>Aegopodium podagraria</i> 'Variegatum'	1 gal		
GRASSES	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	178	Blue Oat Grass / <i>Helictotrichon sempervirens</i>	1 gal		
	208	Feather Reed Grass / <i>Calamagrostis x acutiflora</i> 'Karl Foerster'	1 gal		
GROUND COVERS	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	47,744 sf	2"-4" Calico Cobble Rock / 2"-4" Calico Cobble Rock W/Dewitt Pro-5 Weed Barrier	Mulch		
	15,122 sf	Grey Chat / 4" Grey Chat	Mulch		
	42,345 sf	Kentucky Bluegrass / <i>Poa pratensis</i>	sod		
	70,524 sf	Native Grass & Wildflower Mix / Native Grass & Wildflower Mix	Hydroseed		

EXISTING TREE NOTE:
EXISTING TREES NOT DISTURBED BY CONSTRUCTION SHALL REMAIN



THIS DOCUMENT IS RELEASED FOR REVIEW ONLY. IT IS NOT INTENDED FOR CONSTRUCTION UNLESS SIGNED AND SEALED.
CARL N. BERG L.A.
SERIAL NO. 7162790
DATE: 21 MAR 2019

MCKAY WINKEL
SOUTH WEBER RV PARK

SITE PLAN

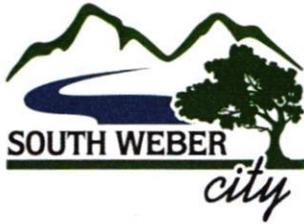
380 E Main St, Suite 204
Midway, UT 84049 ph. (801) 723-2000

DESIGN BY: CNB DATE: 21 MAR 2019 SHEET
DRAWN BY: CNB REV: L1

Commissioner Grubb moved to recommend to the City Council the Final Approval for Riverside RV Park Conditional Use: At approx. 852 E Cottonwood Ln. (11.85 acres) parcel 13-018-0021 & 07-109-0017 by FM Winkel Family LLC subject to the following:

- 1. City Engineer, Brandon Jones, letter of 16 May 2019.**
- 2. City Planner, Barry Burtons, letter of 16 May 2019.**
- 3. 24 hour on site management.**
- 4. Removal of dead trees and shrubs as approved by Wildlife Resource hired Arborist Consultant.**
- 5. No open fires in individual camp sites.**
- 6. Quiet hours 10:00 p.m. to 7:00 a.m.**
- 7. Lighting is to follow quiet hour rule and protect dark sky.**
- 8. A 15' easement for a 10' path minimum be provided to Weber Pathways prior to occupancy and improved for use prior to occupancy thru this property and along the frontage of 6600 South and Cottonwood Drive.**
- 9. RV Park rules must be posted on-site and given to all patrons.**
- 10. Developer provide the elevation certificates for two permanent structures.**
- 11. Provide easement as installed for the culinary water line.**

Commissioner Johnson seconded the motion. Commissioners Grubb, Johnson, Pitts, and Walton voted aye. The motion carried.



1600 E. South Weber Drive
South Weber, UT 84405

www.southwebercity.com

801-479-3177
FAX 801-479-0066

Conditional Use Permit #19-01

Applicant: Riverside RV Park

Proposed Use: RV Park

Address: 852 E Cottonwood Drive, South Weber UT 84405

Along with compliance to all applicable state and city code, the conditional use for the above applicant at the property listed and the use proposed has been approved by the Planning Commission on 23 May 2019 with the following conditions:

1. City Engineer, Brandon Jones, letter of 16 May 2019.
2. City Planner, Barry Burtons, letter of 16 May 2019.
3. 24-hour on-site management.
4. Removal of dead trees and shrubs as approved by Wildlife Resource hired Arborist Consultant.
5. No open fires in individual camp sites.
6. Quiet hours 10:00 p.m. to 7:00 a.m.
7. Lighting is to follow quiet hour rule and protect dark sky.
8. A 15' easement for a 10' path minimum be provided to Weber Pathways prior to occupancy and improved for use prior to occupancy thru this property and along the frontage of 6600 South and Cottonwood Drive.
9. RV Park rules must be posted on-site and given to all patrons.
10. Developer provide the elevation certificates for two permanent structures.
11. Provide easement as installed for the culinary water line.

Note: City Staff shall have the right to inspect and enforce conditions. Any non-compliance will be subject to cancellation of this permit. Any requests for change must be made in writing and approved by the Planning Commission in a public meeting.

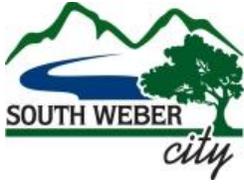
Applicant: _____

Planning Commission: Rob Osborne, Chair _____

Fire Department: Approval: _____

Mayor Sjöblom for Council Approval: _____

Attest: Kimberli Guill, Development Coordinator _____



Council Meeting Date: 12-10-19

Name: Lisa

Agenda Item: 2020 Meeting Schedule

Objective: Approve 2020 meetings

Background: Open and public meeting act, specifically 52-4-202(2)(a) requires posting an annual notice of regularly scheduled meetings.

Summary: Planning, Council and Court schedules for 2020 will be posted as approved.

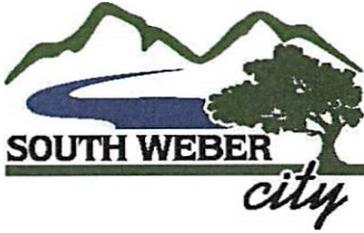
Committee Recommendation: na

Planning Commission Recommendation: na

Staff Recommendation: na

Attachments: na

Budget Amendment: na



2020 Meeting Schedule

All City meetings, hearings, and court sessions are open to the public and held at SWC Hall, 1600 E South Weber Drive, South Weber.

(unless otherwise posted)

Meeting dates and times are subject to change or cancellation.

For the most current information call 801-479-3177

or check www.SouthWeberCity.com

Council	Court	Planning
(2 nd , 3 rd , 4 th Tuesdays)	(1 st , 3 rd Thursdays)	(2 nd Thursday)
Jan: 7,14,21,28	Jan: 2,16	Jan: 9
Feb:11,18,25	Feb:6,20	Feb:13
Mar:10,17,24	Mar:5,19	Mar:12
Apr:14,28	Apr:2,16	Apr:9
May:12,19,26	May:7,21	May:14
Jun:9,16,23	Jun:4,18	Jun:11
Jul:14,21,28	Jul:2,16	Jul:9
Aug:11,18,25	Aug:6,20	Aug:13
Sep:8,15,22	Sep:3,17	Sep:10
Oct:13,20,27	Oct:1,15	Oct:8
Nov:10,17,24	Nov:5,19	Nov:12
Dec:8,15	Dec:3,17	Dec:10